

REVISED REDEVELOPMENT PLAN

FOR

ST. JOHN'S PROJECT AREA

PROJECT NO. - UR N.J. 2-2

JERSEY CITY REDEVELOPMENT AGENCY

JERSEY CITY, NEW JERSEY

February, 1960

Revised June, 1970

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EXHIBIT 'A'

BOUNDARY DESCRIPTION

ST. JOHN'S PROJECT AREA

Located in the City of Jersey City, Hudson County, New Jersey and described as follows:

BEGINNING at the intersection of the north line of Newark Avenue and the east line of Hudson County Boulevard, thence northerly along the east line of Hudson County Boulevard to the south line of Van Winkle Avenue; thence easterly along the said south line of Van Winkle Avenue to the east line of Huron Avenue; thence northerly along said east line of Huron Avenue to the south line of St. Paul's Avenue; thence easterly and southeasterly along the said south line of St. Paul's Avenue to the west line of Summit Avenue; thence southerly along the said west line of Summit Avenue to the north line of Newark Avenue; thence westerly along said north line of Newark Avenue to the point and place of BEGINNING.

Except that the following properties as specifically excluded from the Project Area:

Block 623A - lots M, S1, S2 and S3

Such description being the street lines as they existed on May 6, 1952.

REVISED REDEVELOPMENT PLAN

FOR ST. JOHN'S PROJECT AREA - UR N.J. 2-2

A. LAND ACQUISITION AND DISPOSITION

The Jersey City redevelopment Agency has, or will acquire by purchase, donation, eminent domain or otherwise, all of the land in the project Area hereinafter described, and has or will demolish, or otherwise remove, all buildings and structures therein, or provide for such demolition or removal, and has sold or will sell or lease or otherwise dispose of all land in said Project Area or development in accordance with this Redevelopment Plan.

The Agency has sold or will sell or lease or otherwise dispose of the real property acquired for redevelopment on the basis of the fair value of such property for the uses specified in this Redevelopment Plan as determined by the Agency. In determining the fair value of said real property, the Agency shall have the benefit of appraisals made by competent independent fee appraisers employed by the Agency under contract.

B. PROJECT AREA

The Project Area is as shown on Map #1 attached hereto and made a part hereof, entitled "PROJECT AREA MAP", and is as described in Exhibit "A" attached hereto.

C. LAND USE PLAN

Land Uses in the Project Area shall be as shown on Map #2, Land Use Plan Map. The Project Area shall consist of a residential area and a semi-public area, and public rights-of-way.

1. Residential Reuse Area A

a. Permitted Uses

Permitted uses shall be apartment houses for multiple dwelling units with related limited business, parking areas or other parking facilities.

b. Land Coverage by Buildings

Maximum land coverage by buildings for net residential area shall be 16%. A minimum of 80% of the net residential area will be devoted to the following uses: sitting parks, play areas, walks, parking and general planting and landscaping areas.

c. Building Height

1) The maximum height of buildings shall be twenty (20) stories.

2) Exceptions: Structures permitted above height limits: Penthouses or roof structures for the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building, fire or parapet walls, skylights, may be erected above the height limits herein prescribed, but no penthouse or roof structure or any space above the height limit shall be allowed for the purpose of providing additional floor space for residential use.

d. Density

Maximum family density for the new residential area shall be 110 families per acre.

e. Off-Street Parking

The minimum parking availability shall be 50% of dwelling units constructed.

2. Residential Reuse Area "B"

a. Permitted Uses

Residential structures for multiple dwelling units with related subordinate limited business, parking areas or other parking facilities. The limited business uses shall include but not be restricted to offices, retail and service establishments such as clothing stores, food stores, barber shops, beauty salons dry cleaning establishments, pharmacies, stationary stores,

restaurants; and leasable space available for community uses such as classrooms, community meeting rooms, nurseries, senior citizen golden age centers and indoor recreation facilities. The subordinate limited business office, retail and service establishments other than leasable space available for community uses such as classrooms, community meeting rooms, nurseries, senior citizen golden age centers and indoor recreation facilities shall not exceed 45,000 square feet.

b. Land Coverage

Maximum land coverage shall not exceed 90% of the net resident area. A minimum of 45,000 square feet of developed open space shall be provided for active and passive recreation of which a minimum of 20,000 square feet shall be in one contiguous parcel.

c. Building Height

1. The maximum height of building shall be 30 stories with a maximum floor area ratio of 3:1.
2. Exceptions: Structures permitted above height limits: penthouses or roof structures or the housing of elevators, stairways, tanks, ventilating fans or similar equipment required to operate and maintain the building, fire or parapet walls, skylight, may be erected above the height limits herein prescribed, but no penthouse or roof structure or any space above the height limit shall be allowed for the purpose of providing additional floor space for residential

d. Density

Maximum family density for the net residential area shall not be less than 440 families or more than 550 families.

e. Off-Street Parking

Off-Street parking shall be provided at the rate of two parking spaces for every three dwelling units and two parking spaces for each 2,500 square feet of subordinate use.

f. Off-Street Loading

One off-street loading space shall be provided to serve the subordinate limited business uses.

3. Public Reuse Area

a. Permitted Uses

Permitted uses shall be public uses in accordance with and as designated On Map #2 Land Use Plan.

Public as used herein shall be construed as those uses which contribute to the cultural enlightenment of the community such as a public library, an art museum, or veterans' memorial building, a concert auditorium or other uses consistent with the character of the above listed use.

b. Land Coverage

Land coverage by buildings shall not exceed 30 percent of the net land area.

c. Building Height

The maximum building height shall not exceed 4 stories or 45 feet.

d. Building Setbacks

All buildings shall be set back a minimum of 5 feet from Newark Avenue, 10 feet from Summit Avenue and Hudson County Boulevard

e. Off-Street Parking

Off-street parking shall be provided at a rate of one square foot of parking space for each square foot of building floor area.

f. Off-Street Loading

A minimum of one off-street loading space shall be provided for each structure.

D. UTILITIES PLANS

Utilities for sewer, water, gas and electricity shall be as shown on Map #8, Sewer System, Map #9, Water System, Map #10, Gas System, and Map #11, Electric System, attached hereto and made a part hereof.

The City of Jersey City as part of its local grant-in-aid will provide all the utilities required to service the Project Area such as sewer, war, gas and electric which are located in the boundary streets of the Project Area with connections from the utility lines to the curb-lines on the boundary streets of the Project Area pursuant to the provisions of Chapter 306 of the New Jersey Laws of 1949 as amended.

Any utilities located with the said Project Area that are required be relocated to service said Project Area will be removed and relocated within the above limitations as set forth in the preceding paragraph of the City of Jersey City as part of its local grant-in-aid.

The Redeveloper shall provide all utilities within said Project Area pursuant to the provisions of Chapter 306 of the Laws of 1949, as amended.

E. RIGHT OF WAY ADJUSTMENT PLAN

1. The following streets in the Project Area are to be vacated and the plan: Frazer Place, Porter Street, Ferris Street, Van Winkle Avenue between Summit Avenue and Huron Avenue, Fleet Street, Bevan Street, Van Wart Alley, Holden Lane and Terry Alley. These street vacations are designed to effect an advantageous consolidation the land tracts within the Project Area and to improve the traffic pattern in and around the area. To facilitate further the traffic flow around the Project Area the widening of three boundary streets is desirable. There are no street grade changes contemplated.

Under the plan, Newark Avenue will be widened on its northerly section between Summit Avenue and the Hudson Boulevard; Huron Avenue will be widened on its easterly side from Van Winkle Avenue to St. Pauls Avenue; and Summit Avenue will be widened on its westerly side of Newark Avenue to State Highway.

2. The City of Jersey City as part of its local grant-in-aid will improve, pave and resurface and make all necessary improvements boundary streets within the Project Area.

F. ZONING PLANS

The Project Area is currently zoned for residential use and business use in the area proposed for residential development. Zoning change shall be effected by the City of Jersey City to permit the building and site controls in conformity with the urban renewal plan control Map #3 shows the existing zoning in the Project Area.

G. REGULATIONS AND CONTROLS TO BE APPLIED

The following controls on redevelopment are hereby imposed on the purchaser or lessee of the land in the Project Area from the Jersey City Redevelopment Agency (such purchaser or lessee being hereinafter called the "Redeveloper"), and shall apply, notwithstanding the provisions of any zoning or building ordinance or regulations now or after in force, and shall be implemented by appropriate covenants other provisions in disposition instruments covering the sale or lease of the Project Area.

1. The Redeveloper shall devote the land in the Project Area and buildings or improvements thereon to the uses specified in the Redevelopment Plan for such area and the land and any building improvements thereon shall only be used for the purposes designated in this Redevelopment Plan. This shall be a covenant running the land.
2. The Redeveloper shall begin and complete the development of land for the uses required in this Redevelopment Plan within time specified in such disposition instrument. This shall be covenant running with the land. Provisions may be made for extension of such time limit with the approval of the Agency.

3. To limit speculation in land in the Project Area, the Redeveloper shall agree not to sell, lease, transfer or convey all or any of the land in the Project Area or Project, without the prior written consent of the Jersey City Redevelopment Agency, which consent may contain such terms and conditions as such Agency deem necessary or advisable to limit such speculation. This be a covenant running with the land.
4. The Redeveloper shall be required to submit his plans, specifications and such other information as shall be required by the Jersey City Redevelopment Agency to permit such Agency to determine such data complies with this Redevelopment Plan and the purpose the Redevelopment Agencies Law and provides for the most advantageous development of the Project. The development of structures, buildings, parking areas, playgrounds and landscaping will be the responsibility of the redeveloper and will be subject to the supervision of the Redevelopment Agency in accordance to agreement for sale or lease to be negotiated between the Redevelopment Agency and the Redeveloper.
5. The Redeveloper shall comply with such terms and conditions relating to the use and maintenance of the real property in the Project Area for such periods of time, as in the opinion of the Jersey City Redevelopment Agency, are necessary to prevent recurrence of slum conditions or conditions of blight.
6. No covenant, agreement, lease, conveyance or other instrument shall be effected or executed by the Jersey City Redevelopment Agency or by the Redeveloper or any successors in interest of such Redeveloper, including lessees, whereby land in the Project Area is restricted, either by the Jersey City Redevelopment Agency or by such purchasers, lessees or successors in interest, upon the basis of race, creed or color in the sale, lease or occupancy thereof. This shall be a covenant running with the land.
7. The Redeveloper shall comply with such terms and conditions in the judgment of the Agency are necessary or advisable to retain a continuing control over the use and development of every parcel land to be sold to insure conformity to this Redevelopment Plan and to assure the establishment and maintenance of a safe, attractive and efficient pattern of development or such other covenant provisions and continuing controls as may be deemed necessary to effectuate the purposes of the "New Jersey Redevelopment Agencies Law". The Agency shall include covenants in agreements, deeds and leases requiring off-street parking spaces at least to the minimum extent as set forth in this Redevelopment Plan.

H. RELATIONSHIP OF REDEVELOPMENT PLAN TO LOCAL OBJECTIVES

This Redevelopment Plan is in conformity with the general plan of the City of Jersey City and complies with the local objectives of the City as to appropriate land uses, density of population and improved traffic, public transportation, public transportation, public utilities, recreational and community facilities and other public improvements.

I. RELOCATION

All of the persons and families who formerly lived in the Project Area have been permanently relocated in decent, safe and sanitary dwelling units at rents within the financial means of such persons and families.

J. MODIFICATION AND TERMINATION

1. Modification

This Redevelopment Plan may be modified at any time by the Jersey City Redevelopment Agency with approval of the governing body of the City, provided that if modified after disposition of any land in the Project Area, the modification must be consented to in writing by the Redeveloper or any successors in interest of such Redeveloper of the property affected by the proposed modification.

2. Termination

This Redevelopment Plan and/or any modification thereof for that the Project Area shall be in full force and effect for a period of forty-five (45) years, commencing on March 3, 1955. The termination of this Plan, under this provision, shall not affect the provisions of Sub-Paragraph (6) of Section G hereof.

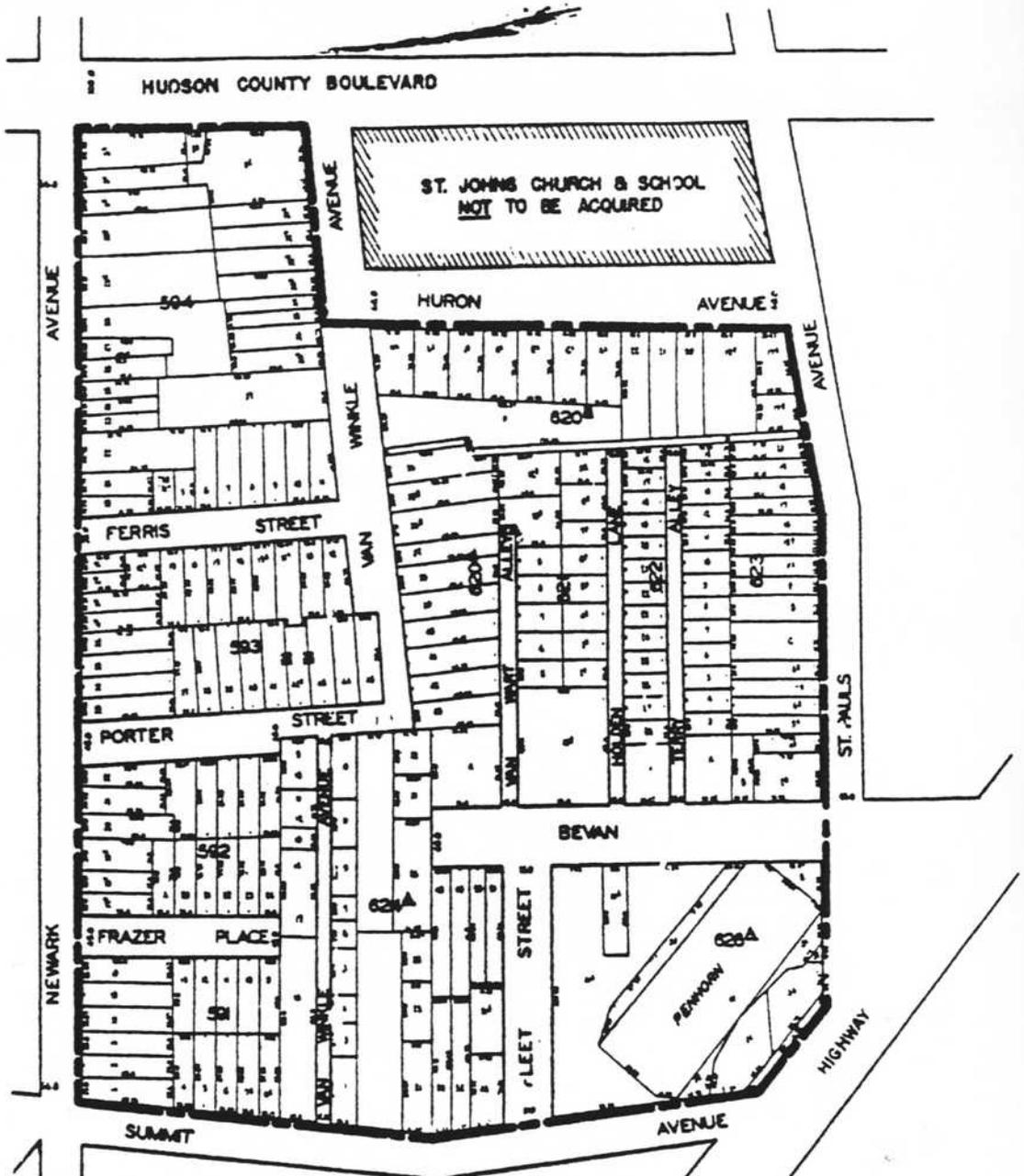
3. The Redevelopment Plan dated March 3, 1955 approved by the Board of commissioners of the City of Jersey City on April 19, 1955, is hereby superseded by this instrument as of the effective date of the adoption hereof by the Board of Commissioners of the City of Jersey City provided that all undertakings affected pursuant to the Redevelopment Plan dated March 3, 195, since its adoption shall not be affected by this provision, and shall be controlling from April 19, 1955, and until the date of adoption hereof by the Board of Commissioners of the City of Jersey City.

K. ADDITIONAL RESTRICTIVE CONTROLS

More restrictive controls may be imposed upon Residential Reuse Area "B" heretofore known as disposition Parcel 4 and the Newark Avenue Strip within the following categories: permitted uses, density, land coverage, building height, off-street parking and building setback, through appropriate language in the "Contract for Sale of Land for Private Development" and conveyance or leasing documents. Such increased restrictions must be approved by the Jersey City Redevelopment Agency and the Department of Housing and Urban Development but will have the same weight and import as set forth herein.

PROJECT BOUNDARY MAP

MAP I REDEVELOPMENT PLAN



LEGEND

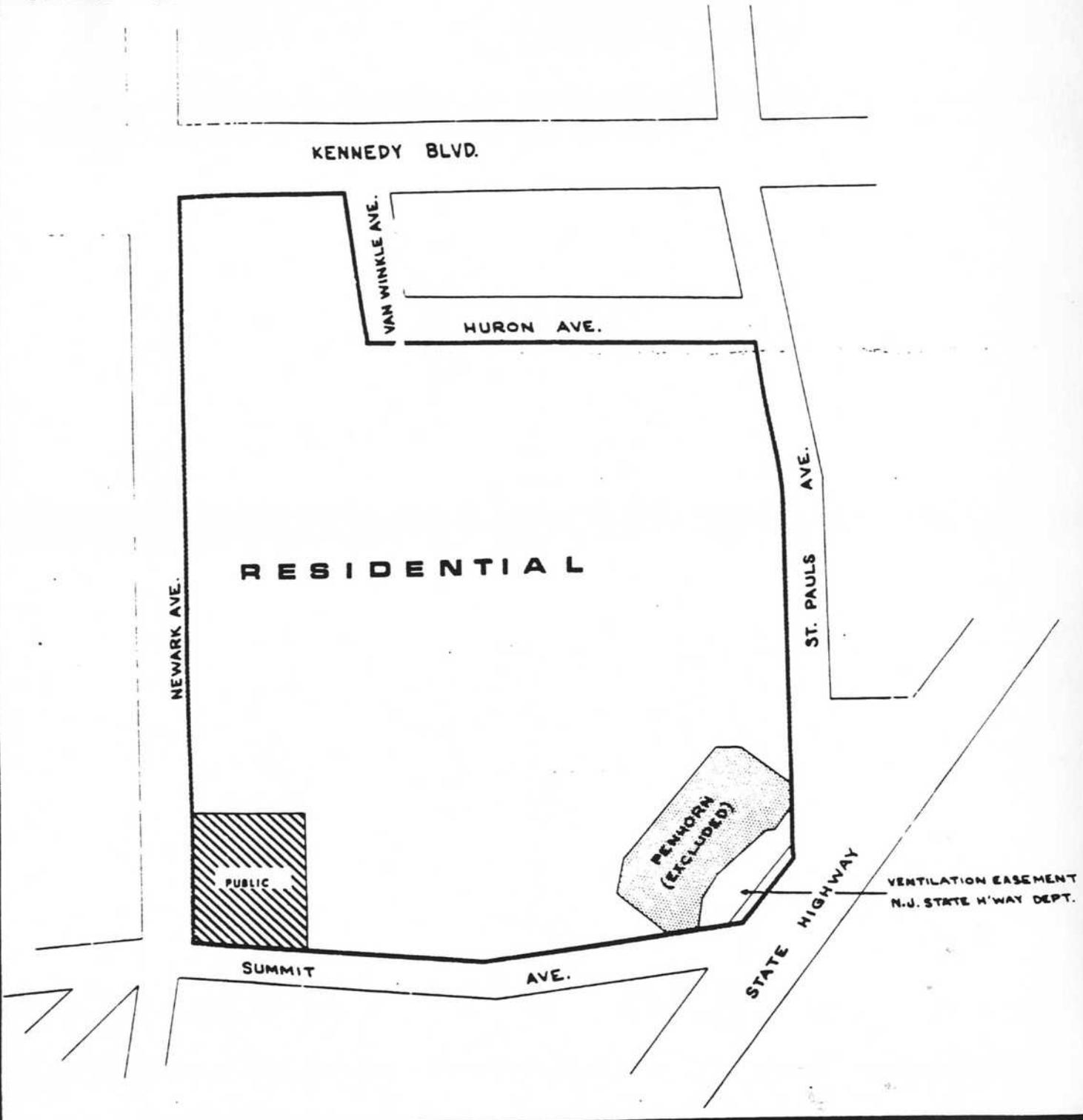
- 1 LOT NUMBER
- 230 BLOCK NUMBER
- LOT LINE
- PROJECT BOUNDARY



ST. JOHN'S PROJECT AREA U.R. N.J. 2-2
 JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY

MAY, 1959

LAND USE PLAN MAP 2

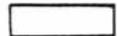


ST. JOHN'S PROJECT AREA U.R.N.J. 2-2
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY



SCALE: 100 200

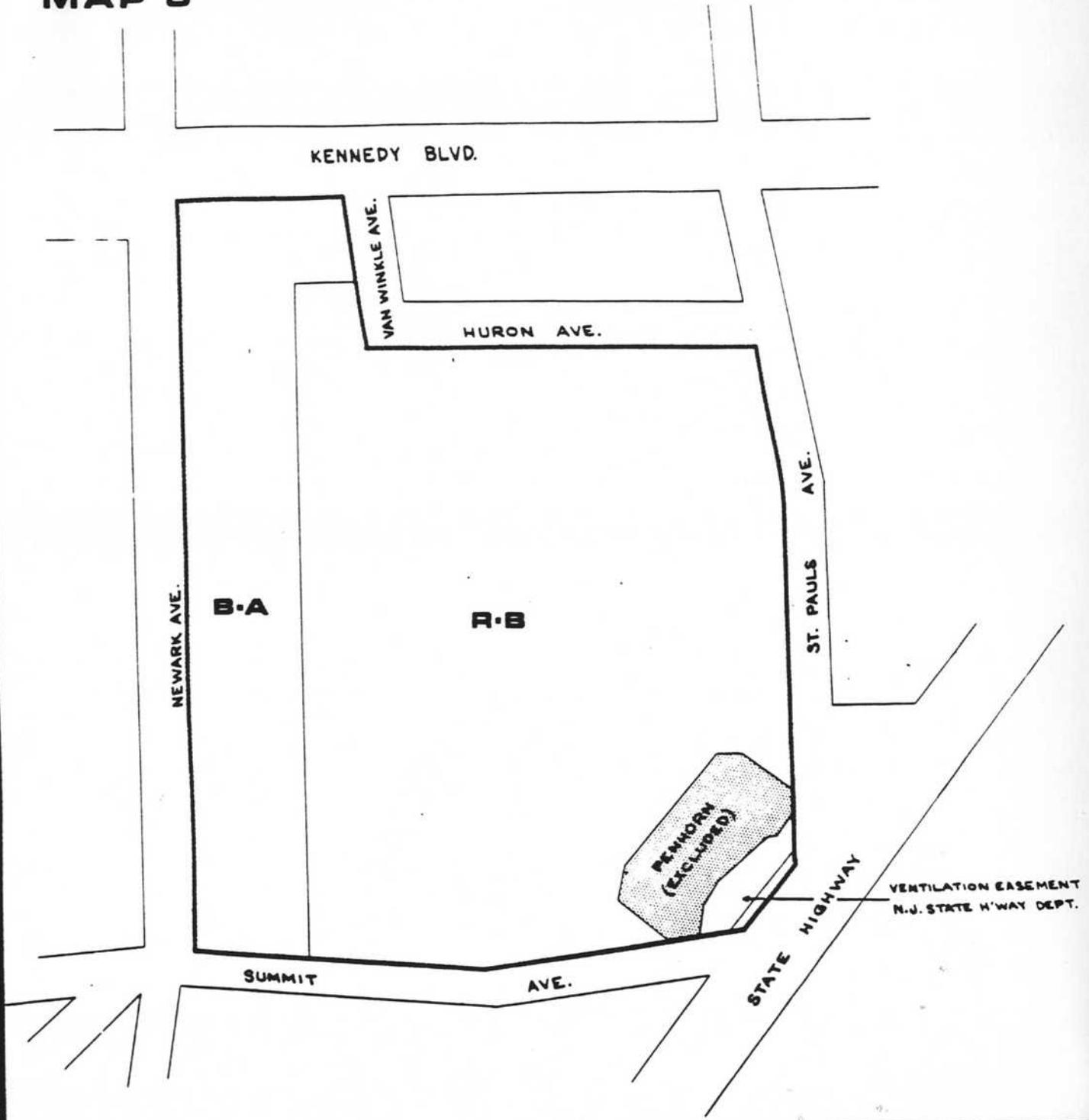
LEGEND

-  PROJECT BOUNDARY
-  PUBLIC
-  RESIDENTIAL

REVISED: AUGUST 1965

CODE NO. R-213

ZONING PLAN MAP 3



ST. JOHN'S PROJECT AREA U.R.N.J. 2-2
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY



SCALE: 100 200

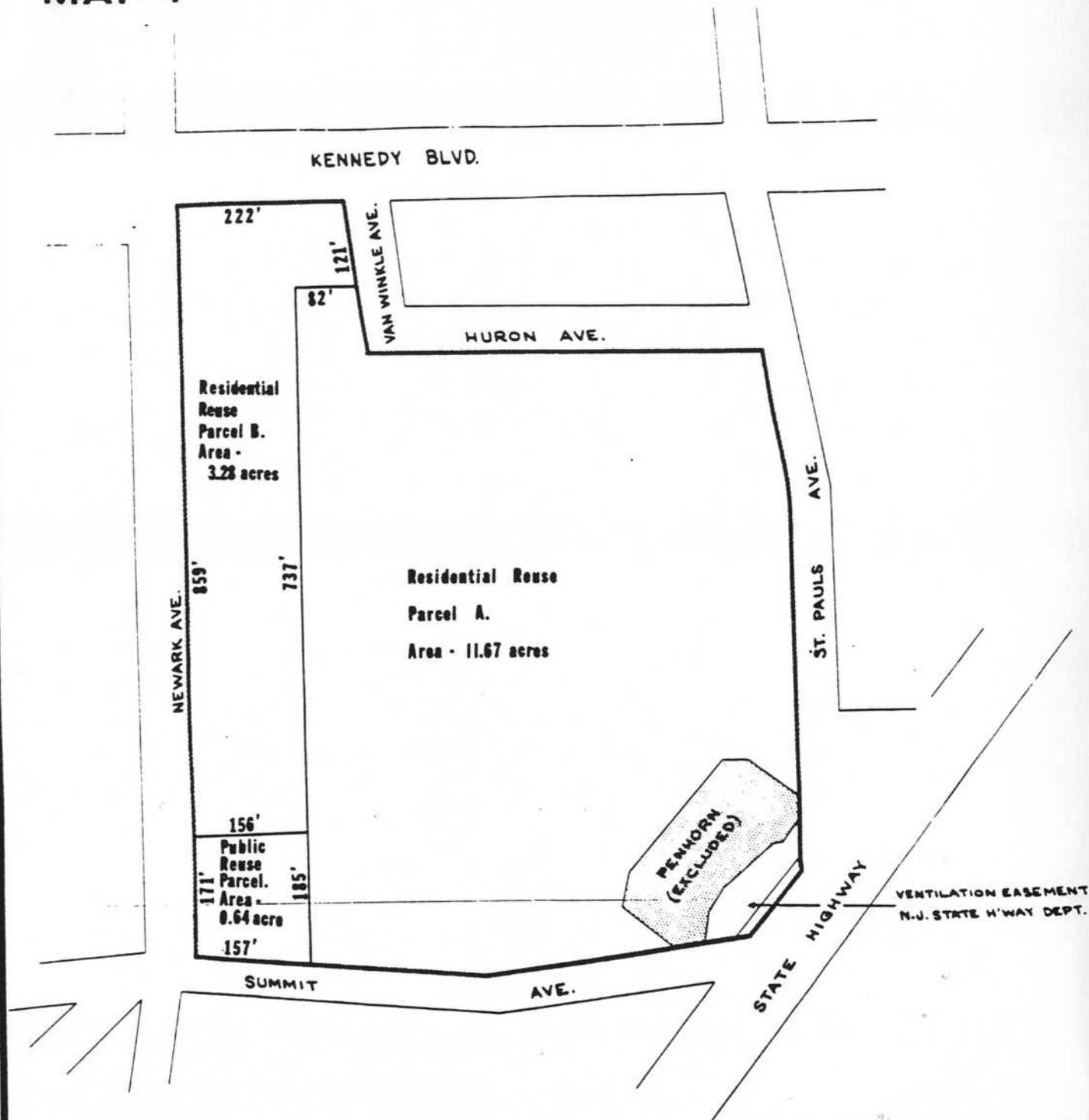
LEGEND

- PROJECT BOUNDARY
- R-B RESIDENTIAL DISTRICT B
- B-A BUSINESS DISTRICT A

REVISED: AUGUST 1965

CODE NO. R-214

DISPOSITION PLAN MAP 4

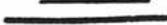


ST. JOHN'S PROJECT AREA U.R.N.J. 2-2
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY

SCALE:



LEGEND

-  PROJECT BOUNDARY
-  PARCEL BOUNDARY
-  BOUNDARY DIMENSION

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CODE NO. R-225

HUDSON

COUNTY

5-115

HURON

AVE

NEW JERSEY

AVENUE

PIONEER

SUMMIT

1	2	3	4	5
100	100	100	100	100
100	100	100	100	100
100	100	100	100	100
100	100	100	100	100

LESLIE CITY
 REDEVELOPMENT AUTHORITY
 37 J.W.A. ST.
 WIFE & SYSTEM
 MISOLO & HANCOCK
 1000 14th Street
 1000 14th Street
 1000 14th Street

HUDSON COUNTY ASSESSOR

ALL DIMENSIONS
ARE IN FEET
UNLESS OTHERWISE
NOTED

NEWARK

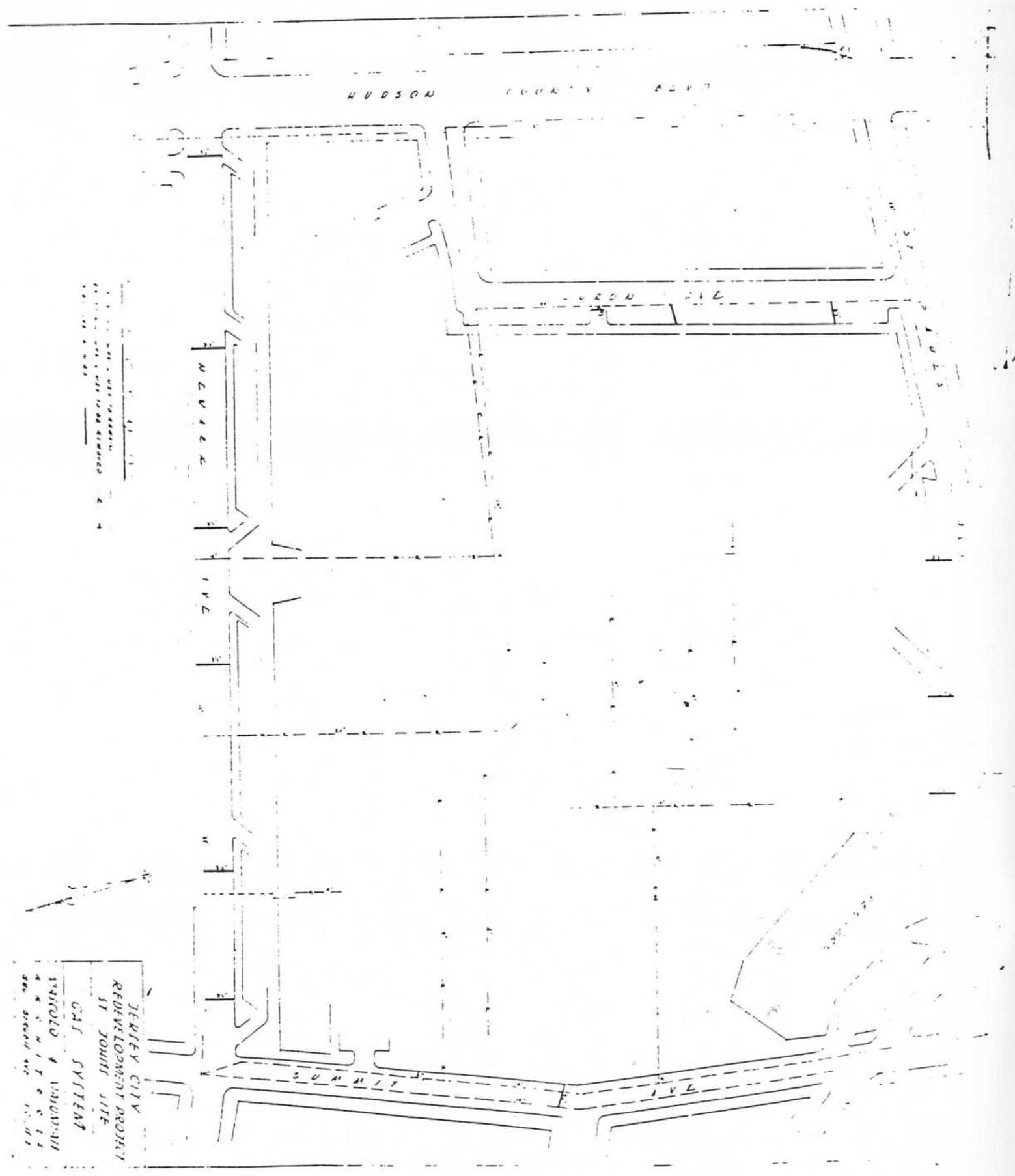
HUDSON

IVE

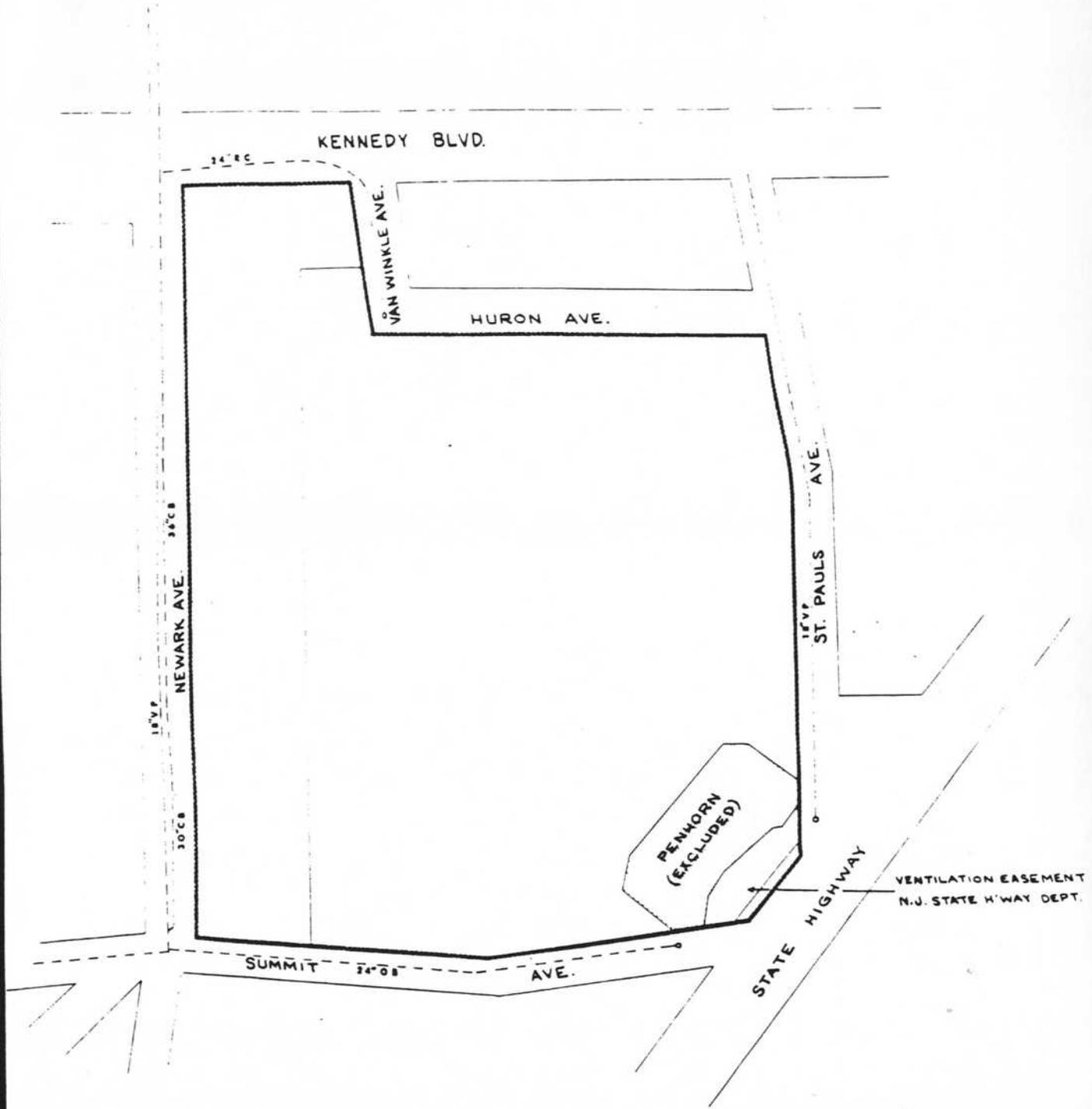
SUMMIT

IVE

JERSEY CITY
REDEVELOPMENT PROJECT
ST JOHN'S SITE
GAS SYSTEM
PAVING & CURBING
4 x 6 x 12 x 12
SEE SHEET NO. 10-11



SEWER SYSTEM MAP 8



ST. JOHN'S PROJECT AREA U.R.N.J. 2-2
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY



SCALE: 100 200

LEGEND

OB
 CB
 VP
 18"

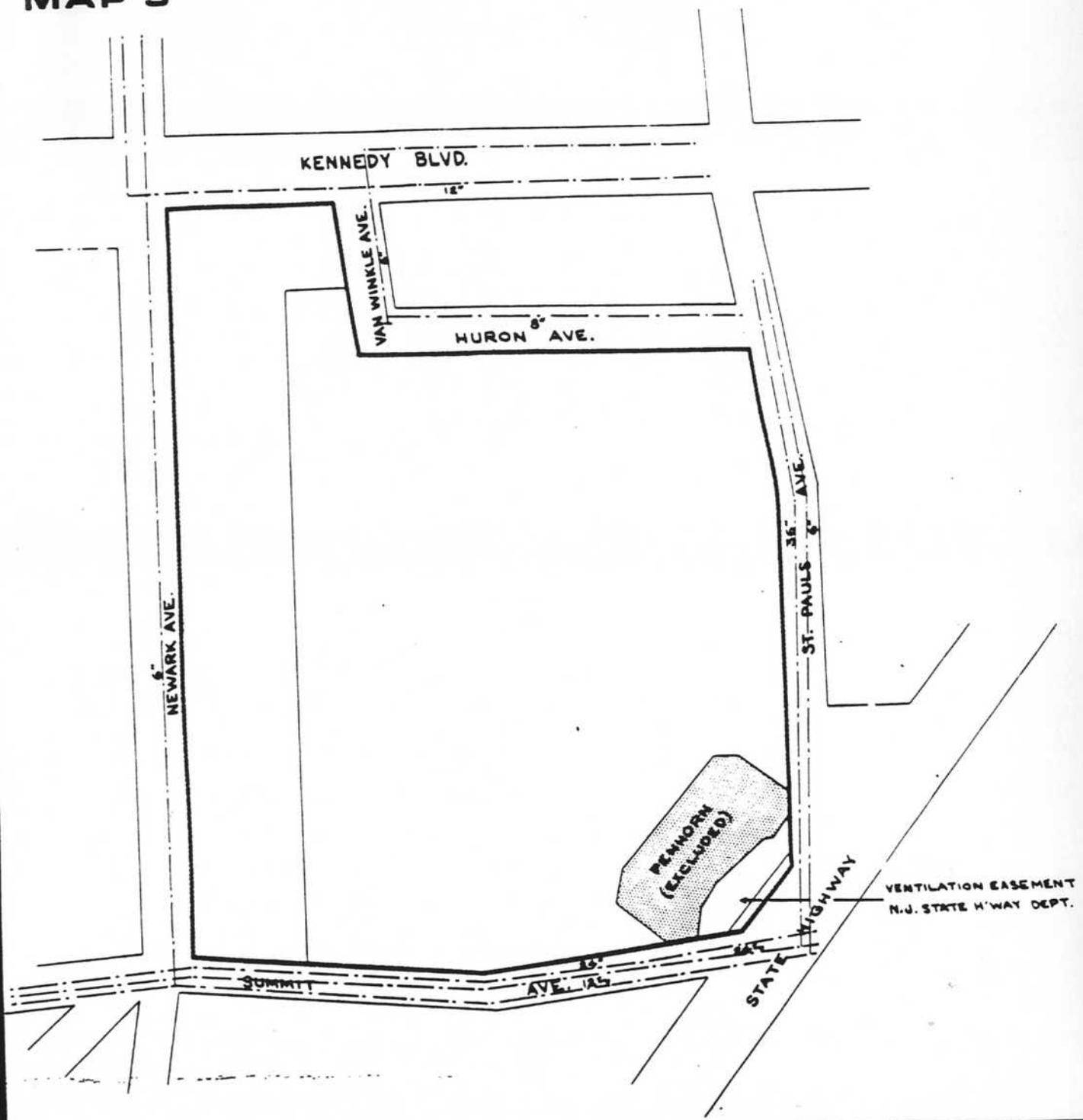
PROJECT BOUNDARY
 EXISTING LINE TO BE RETAINED
 OVAL BRICK SEWER
 CIRCULAR BRICK SEWER
 VITRIFIED PIPE SEWER
 PIPE SIZE

RC REINFORCED CONCRETE SEWER

REVISED: AUGUST 1965

CODE NO.224

WATER SYSTEM MAP 9



ST. JOHN'S PROJECT AREA U.R.N.J. 2-2
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY



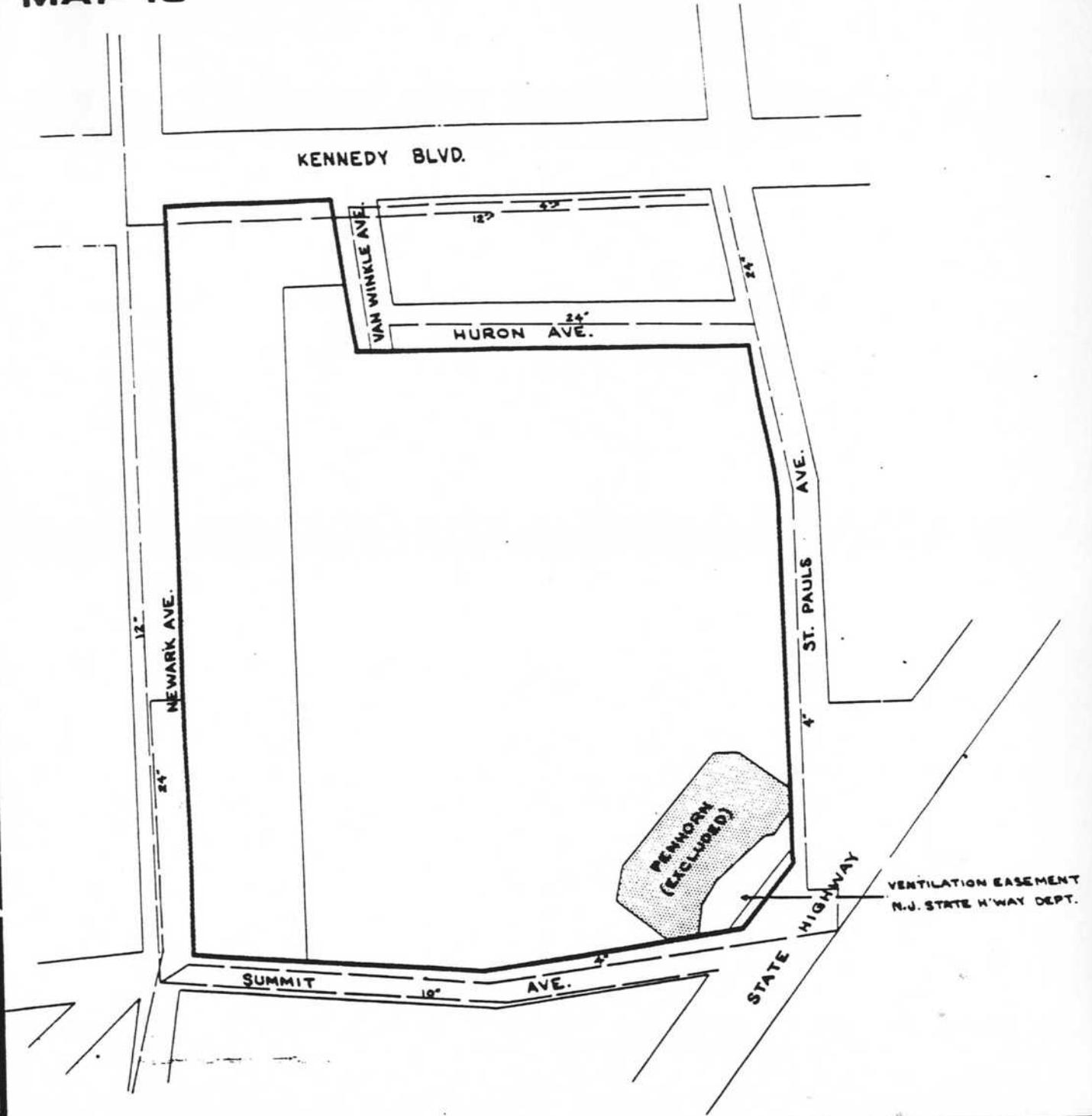
SCALE: 100 200

LEGEND
 PROJECT BOUNDARY
 EXISTING LINE TO BE RETAINED
 PIPE SIZE

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CODE NO. 224

GAS SYSTEM MAP 10



ST. JOHN'S PROJECT AREA U.R.I.J. 2-2
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY



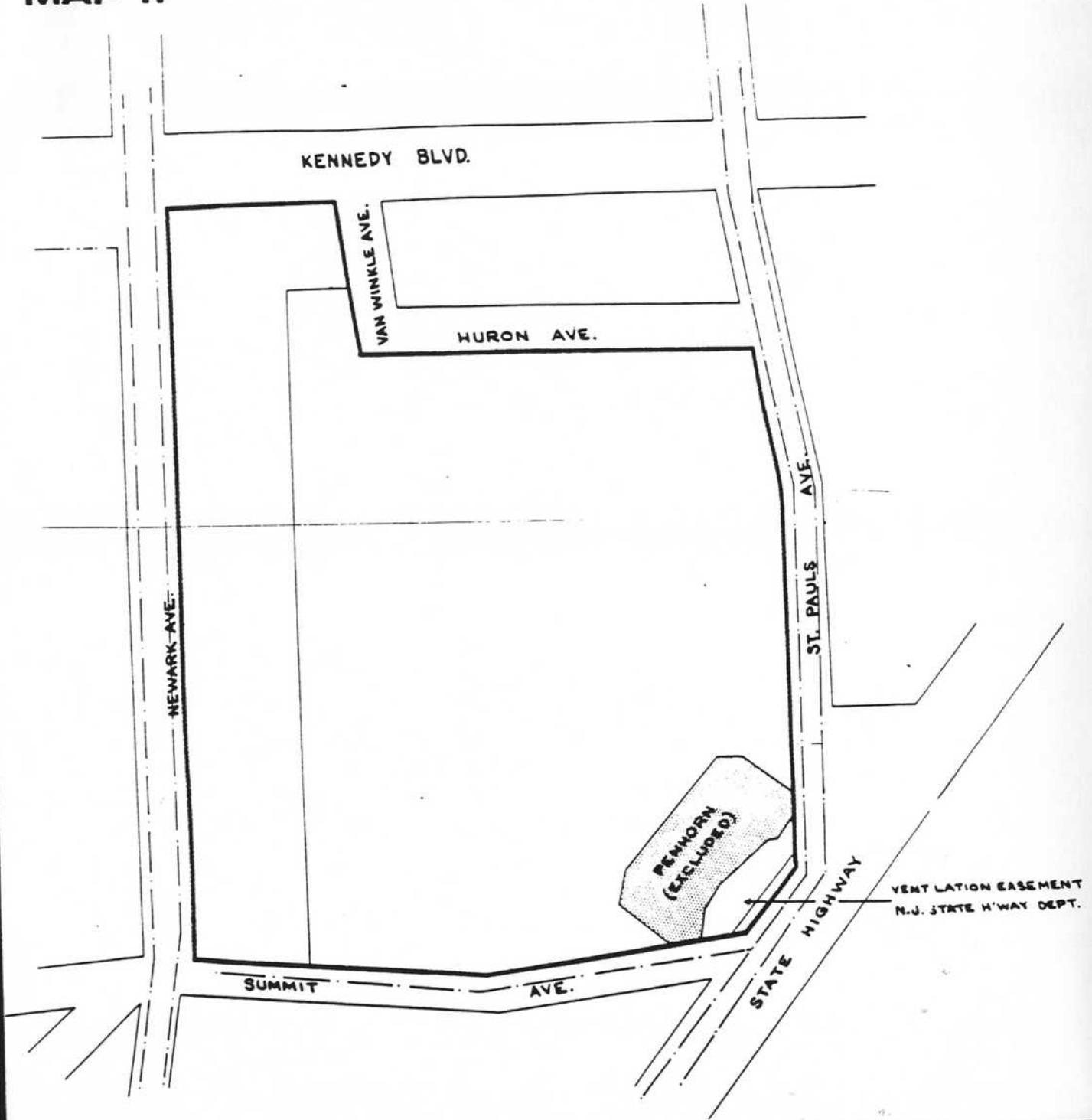
SCALE: 100 200

LEGEND
 PROJECT BOUNDARY
 EXISTING LINES

REVISED: AUGUST 1965

CODE NO. R-224

ELECTRIC SYSTEM MAP II



ST. JOHN'S PROJECT AREA U.R.N.' 2-2
JERSEY CITY REDEVELOPMENT AGENCY
JERSEY CITY, NEW JERSEY



SCALE: 100 200

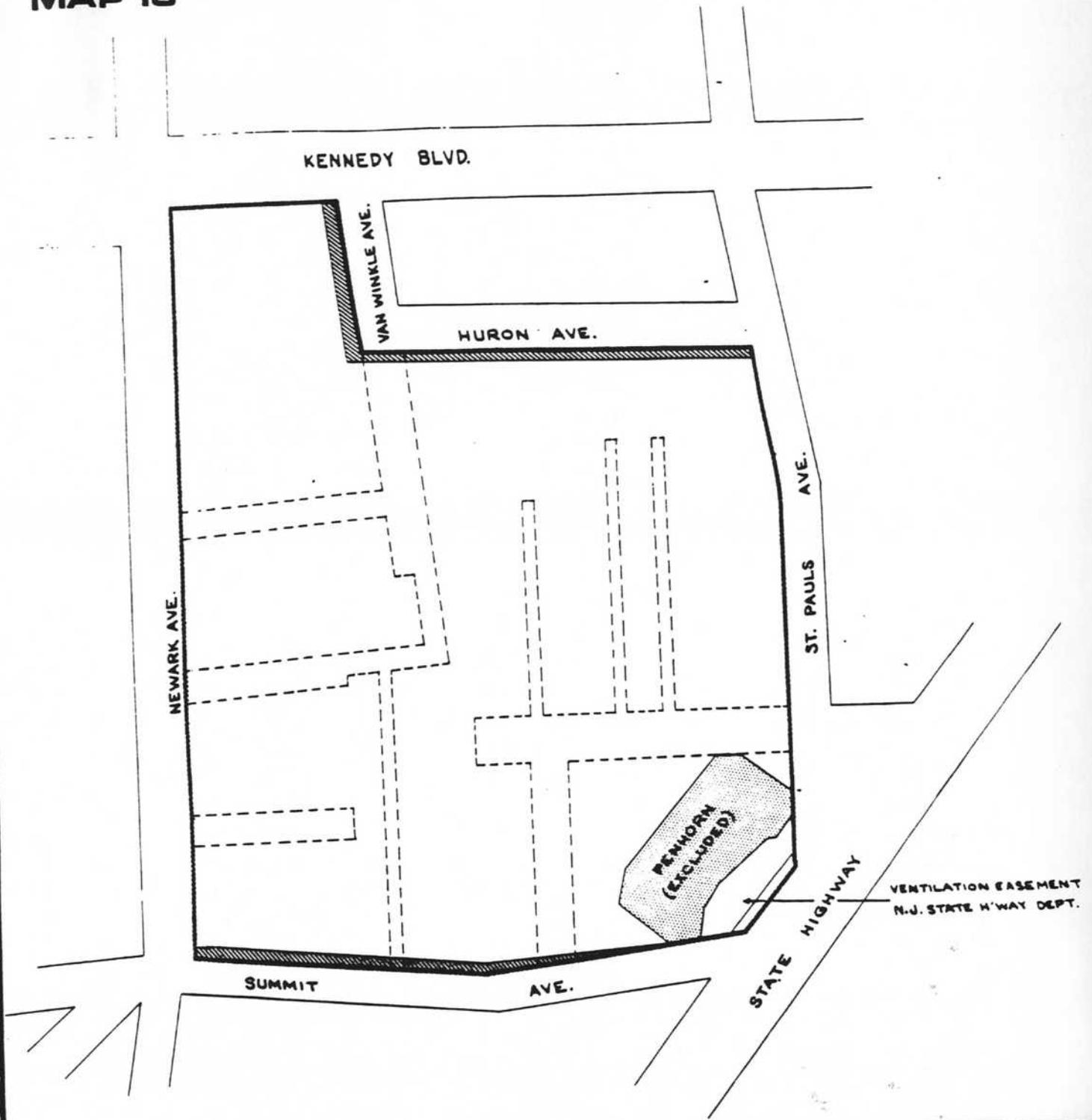
LEGEND

————— PROJECT BOUNDARY
- - - - - EXISTING LINES

REVISED: AUGUST 1965

CODE NO. R-224

STREET LAYOUT MAP 13



ST. JOHN'S PROJECT AREA U.R.N.J. 22
JERSEY CITY REDEVELOPMENT AGENCY
 JERSEY CITY, NEW JERSEY



SCALE: 100 200

- LEGEND**
-  PROJECT BOUNDARY
 -  LINES OF STREETS TO BE CLOSED
 -  LINES OF STREETS TO REMAIN OPEN
 -  AREA OF FUTURE STREET WIDENING

REVISED: AUGUST 1965

CODE NO. R-214, 22