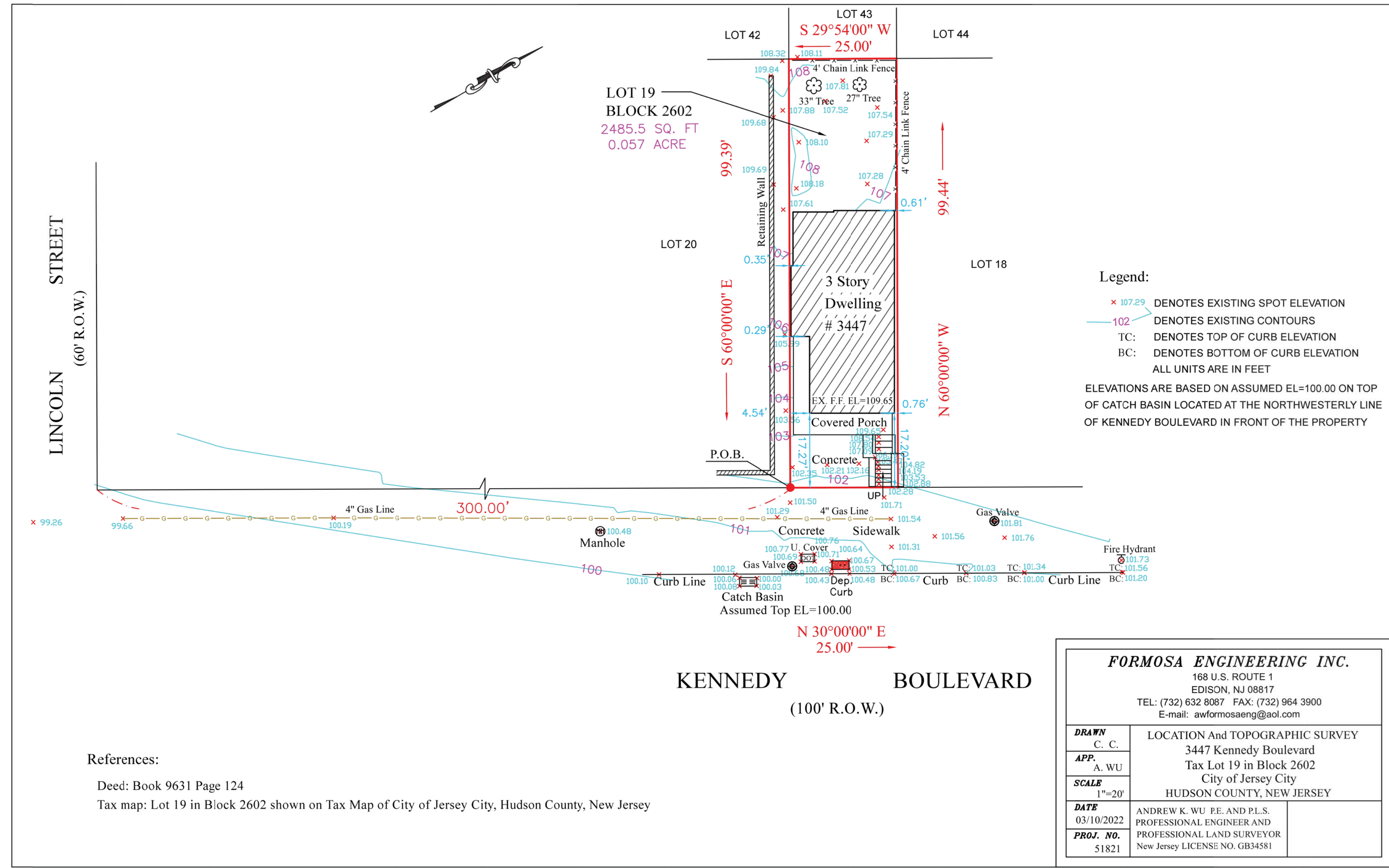


TAX MAP

SCALE: N.T.S.



Legend:
 * 107.29 DENOTES EXISTING SPOT ELEVATION
 102 DENOTES EXISTING CONTOURS
 TC: DENOTES TOP OF CURB ELEVATION
 BC: DENOTES BOTTOM OF CURB ELEVATION
 ALL UNITS ARE IN FEET
 ELEVATIONS ARE BASED ON ASSUMED EL=100.00 ON TOP OF CATCH BASIN LOCATED AT THE NORTHWESTERLY LINE OF KENNEDY BOULEVARD IN FRONT OF THE PROPERTY

FORMOSA ENGINEERING INC.
 188 U.S. ROUTE 1
 EDISON, NJ 08817
 TEL: (732) 632 8087 FAX: (732) 964 3900
 E-mail: awformosaeng@aol.com

DRAWN	C. C.	LOCATION AND TOPOGRAPHIC SURVEY 3447 Kennedy Boulevard Tax Lot 19 in Block 2602 City of Jersey City HUDSON COUNTY, NEW JERSEY
APP.	A. WU	
SCALE	1"=20'	
DATE	03/10/2022	
PROJ. NO.	51821	ANDREW K. WU, P.E. AND P.L.S. PROFESSIONAL ENGINEER AND PROFESSIONAL LAND SURVEYOR New Jersey LICENSE NO. GB34581

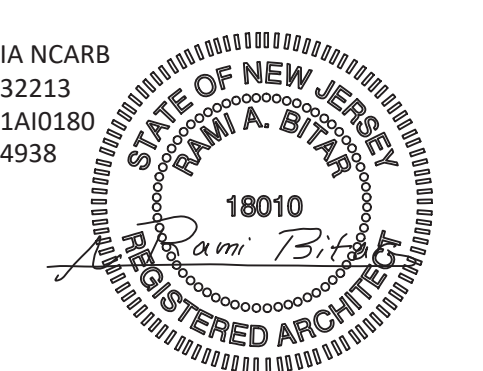
References:
 Deed: Book 9631 Page 124
 Tax map: Lot 19 in Block 2602 shown on Tax Map of City of Jersey City, Hudson County, New Jersey

OWNERS OF PROPERTIES WITHIN 200 Ft. OF 3447 KENNEDY BOULEVARD, CITY OF JERSEY CITY										SURVEY		SCALE: AS NOTED	
BLOCK	LOT	PROPERTY ADDRESS	OWNERS NAME	OWNERS ADDRESS	CITY, STATE	STATE/ZIP							
1.	2605	01	3438 KENNEDY BLVD.	3438 KENNEDY BLVD., LLC	210 BENINGTON TERR	PARAMUS, NJ 07652	31.	2602	17	3451 KENNEDY BLVD.	MOGHUL REALTY GROUP, LLC	1405 HOPKINS AVE	JERSEY CITY, NJ 07306
2.	2605	59	3436 KENNEDY BLVD.	J K BASSI DEVELOPMENT, LLC.	3436 KENNEDY BLVD	JERSEY CITY, NJ 07307	32.	2602	16	3455 KENNEDY BLVD.	SALEEB, JOSEPH & MARIAM	3455 KENNEDY BLVD	JERSEY CITY, NJ 07307
3.	2605	58	3434 KENNEDY BLVD.	LAU, SING & SANDRA	3434 KENNEDY BLVD	JERSEY CITY, NJ 07307	33.	2602	15	3457 KENNEDY BLVD.	MB KENNEDY, LLC.	7 FORT WORTH PL	MONROE, NJ 10950
4.	2605	57	3432 KENNEDY BLVD.	RUSSILLO, GERARD	3432 KENNEDY BLVD	JERSEY CITY, NY 07307	34.	2602	14	3459 KENNEDY BLVD.	ROSS, PHILIP & MACLEARIE, JILLIAN	34575 KENNEDY BLVD	JERSEY CITY, NJ 07307
5.	2605	56	3430 KENNEDY BLVD.	DELAWARE NATIONAL BUILDERS, LLC	341 RAVEN CIRCLE	KENT, DEL 19934	35.	2602	13	3459 KENNEDY BLVD.	CHANG LEUNG, RICHARD & GAIL	3459 KENNEDY BLVD	JERSEY CITY, NJ 07307
6.	2605	55	3428 KENNEDY BLVD.	PATEL, SANKALCHAND & HIRABEN	3428 KENNEDY BLVD	JERSEY CITY, NJ 07307	36.	2602	12	3461 KENNEDY BLVD.	3461 KENNEDY BLVD. APARTMENTS, LLC	43 HOPE ST	EAST RUTHERFORD, NJ 07070
7.	2602	20	3443 KENNEDY BLVD.	JOHN AND MARYAN, LLC	140 BLEECKER ST	JERSEY CITY, NJ 07307	37.	2602	11	3463 KENNEDY BLVD.	JCD TOWNHOUSE 1, LLC	152 HILLCREST AVE	SUMMIT, NJ 07901
8.	2602	25	3437 KENNEDY BLVD.	JOHN AND MARYAN, LLC	140 BLEECKER ST	JERSEY CITY, NJ 07357	38.	2604	47	3444 KENNEDY BLVD.	HUDSON APARTMENTS CONDOMINIUM ASSOC	3444 KENNEDY BLVD	JERSEY CITY, NJ 07307
9.	2602	26	3431 KENNEDY BLVD.	C&S ENTERPRISES OF NEW JERSEY, LLC	34213431 KENNEDY BLVD	JERSEY CITY, NJ 07307	39.	2604	48	3446 KENNEDY BLVD.	UGARTE, LUIS	3446 KENNEDY BLVD	JERSEY CITY, NJ 07307
10.	2602	30	3421 KENNEDY BLVD.	C&S ENTERPRISES OF NEW JERSEY, LLC	34213431 KENNEDY BLVD	JERSEY CITY, NJ 07307	40.	2604	49	3448 KENNEDY BLVD.	JAY AND SAPNA REALTY, LLC	3900 WESTSIDE AVENUE	NORTH BERGEN, NJ 07047
11.	2602	31	152 LINCOLN STREET	CITY OF JERSEY CITY	280 GROVE ST	JERSEY CITY, NJ 07302	41.	2604	50	3450 KENNEDY BLVD.	HUSSAIN, MINHAI	3450 KENNEDY BLVD APT 2	JERSEY CITY, NJ 07307
12.	2602	32	156-158 LINCOLN ST.	40 COLUMBIA OF NJ, L.L.C.	3423 KENNEDY BLVD	JERSEY CITY, NJ 07306	42.	2601	17	71 COLUMBIA AVE.	ORTIZ, JORGE A. & GRACIELA	71 COLUMBIA AVE.	JERSEY CITY, NJ 07307
13.	2602	35	48 COLUMBIA AVE.	40 COLUMBIA OF NJ, L.L.C.	3423 KENNEDY BLVD	JERSEY CITY, NJ 07306	43.	2601	18	69 COLUMBIA AVE.	JADAV, BHUPENDRA & HARSHA	69 COLUMBIA AVE.	JERSEY CITY, NJ 07307
14.	2602	36	50 COLUMBIA AVE.	50 COLUMBIA AVE.CONDOMINIUM ASSOC.	50 COLUMBIA AVE	JERSEY CITY, NY 07307	44.	2601	19	67.5 COLUMBIA AVE.	PATEL, ROCKY	67.5 COLUMBIA AVE.	JERSEY CITY, NJ 07307
15.	2602	37	52 COLUMBIA AVE.	PATEL, PRITESH	41 MONTROSE AVE	JERSEY CITY, NJ 07307	45.	2601	20	67 COLUMBIA AVE.	GARRY, SEAN P.	67 COLUMBIA AVE.	JERSEY CITY, NJ 07307
16.	2602	38	54 COLUMBIA AVE.	HEMA KSHATRIYA TRUSTEE	54 COLUMBIA AVE	JERSEY CITY, NJ 07307	46.	2601	21	65 COLUMBIA AVE.	PATEL, CITAL	138 CHARLES ST.	JERSEY CITY, NJ 07307
17.	2602	39	56 COLUMBIA AVE.	WAHI, VIJAY & PARVEEN	56 COLUMBIA AVE	JERSEY CITY, NJ 07307	47.	2601	22	63 COLUMBIA AVE.	NG, SIMON & PALOMARES, JEAN	63 COLUMBIA AVE.	JERSEY CITY, NJ 07307
18.	2602	40	58 COLUMBIA AVE.	KHATRI, HARISH & LATIKA	58 COLUMBIA AVE	JERSEY CITY, NJ 07307	48.	2601	23	61 COLUMBIA AVE.	PATEL, JAYESHBHAI & BHAVNABEN	61 COLUMBIA AVE.	JERSEY CITY, NJ 07307
19.	2602	41	60 COLUMBIA AVE.	PARAJULI, SHARMA TIKARAM	60 COLUMBIA AVE	JERSEY CITY, NJ 07307	49.	2601	24	59 COLUMBIA AVE.	PATEL, DEVENDRA K & BHAVANA D	59 COLUMBIA AVE.	JERSEY CITY, NJ 07307
20.	2602	42	62 COLUMBIA AVE.	PARMAR, NILIMA & RAMESH	62 COLUMBIA AVE	JERSEY CITY, NJ 07307	50.	2601	25	57 COLUMBIA AVE.	NACIPUCHA, CARLOS & JARAPAREDES, M	57 COLUMBIA AVE.	JERSEY CITY, NJ 07307
21.	2602	43	64 COLUMBIA AVE.	RANA, DIVYESHKUMAR R.	62 COLUMBIA AVE	JERSEY CITY, NJ 07307	51.	2601	26	55A COLUMBIA AVE.	SHAH, NIMESH P. & URVASHI N.	55A COLUMBIA AVE.	JERSEY CITY, NJ 07307
22.	2602	44	66 COLUMBIA AVE.	RAMANI, HIREN & HEMALL	23 JANI COURT	CLIFTON, NJ 07013	52.	2601	27	55 COLUMBIA AVE.	HARASEK, CHRISTINE	55 COLUMBIA AVE.	JERSEY CITY, NJ 07307
23.	2602	45	68 COLUMBIA AVE.	DOSHI, DINESH S. & HANSA D.	68 COLUMBIA AVE	JERSEY CITY, NJ 07307	53.	2601	28	53 COLUMBIA AVE.	PUCHOWSKI, DAVID & LAUREN	53 COLUMBIA AVE.	JERSEY CITY, NJ 07307
24.	2602	46	70 COLUMBIA AVE.	PATEL, JAYESH G. & BHAVNABEN J.	70 COLUMBIA AVE	JERSEY CITY, NJ 07307	54.	2601	29	51 COLUMBIA AVE.	AHER, SWAPNIL & CHAVAN, RUTUJA	51 COLUMBIA AVE.	JERSEY CITY, NJ 07307
25.	2602	47	72 COLUMBIA AVE.	72 COLUMBIA AVE.CONDOMINIUM ASSOC.	206 HUDSON ST	HOBOKEN, NJ 07030	55.	2602	10	3463A KENNEDY BLVD.	D'SA, NIREN	1917 STONY BROOK CIRCLE	SCOTCH PLAINS, NJ 07307
26.	2602	48	74 COLUMBIA AVE.	RAMOS, RICHARD L. & VAZQUEZ, DIANA	70 COLUMBIA AVE	JERSEY CITY, NJ 07307	56.	2604	46	260 BOWERS ST.	GUZMAN, MARISELA & ROSENDO	260 BOWERS ST.	JERSEY CITY, NJ 07307
27.	2602	49	76 COLUMBIA AVE.	CHULANI, JITESH M & SANGEETA S	21 MORSE AVE	RUTHERFORD, NJ 07070	57.	2604	51	3452 KENNEDY BLVD.	GOVONI, MALINDA JEAN	3452 JFK BLVD.	JERSEY CITY, NJ 07307
28.	2602	50	78 COLUMBIA AVE.	GRILLI, GINA & ROGERS, JOHN	70 COLUMBIA AVE	JERSEY CITY, NJ 07307	58.	2604	52	3454 KENNEDY BLVD.	CARDOZA, JOSE E. & BOSSANO, DIANA	3454 KENNEDY BLVD.	JERSEY CITY, NJ 07307
29.	2602	51	80 COLUMBIA AVE.	RAJARAM, VIJAY & NATHAN, SUDHA	70 COLUMBIA AVE	JERSEY CITY, NJ 07302	59.	2604	53	3456 KENNEDY BLVD.	HERAPARA, MAYANK & KHYATI M.	3456 KENNEDY BLVD.	JERSEY CITY, NJ 07307
30.	2602	18	3449 KENNEDY BLVD.	LAO, HENRY & FRANCISCA	3449 KENNEDY BLVD	JERSEY CITY, NJ 07307	60.	2604	54	3458 KENNEDY BLVD.	PETKOVIC, JOVE	3458 KENNEDY BLVD.	JERSEY CITY, NJ 07307
							61.	2604	52	3454 KENNEDY BLVD.	CARDOZA, JOSE E. & BOSSANO, DIANA	3454 KENNEDY BLVD.	JERSEY CITY, NJ 07307

Client:
KUNI CHOWHAN GN MANAGEMENT LNC.
 101 HUDSON ST. SUIT E 1702,
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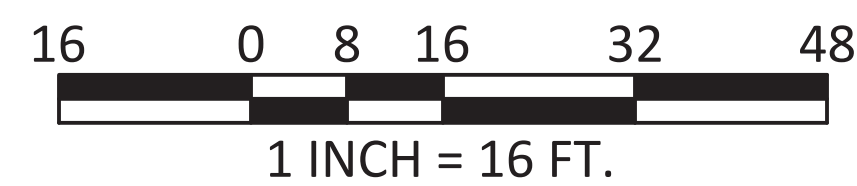
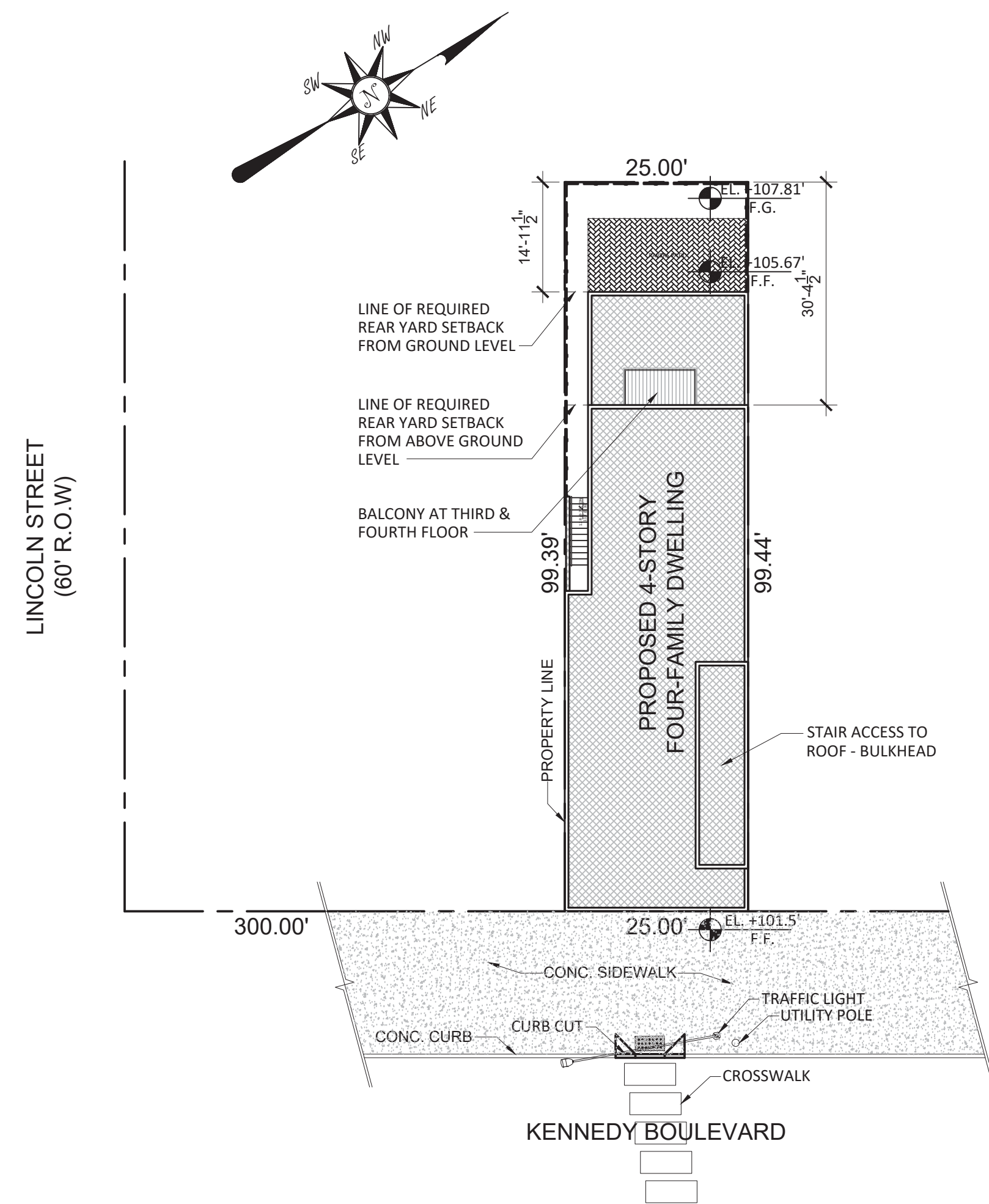
Seal & Signature:
RAMI A. BITAR, AIA NCARB
 R.A. NJ LIC. NO. 032213
 R.A. NY LIC. NO. 21A0180
 NCARB CERT. NO. 64938



Project:
3447 KENNEDY BOULEVARD, JERSEY CITY, NJ

Block - 2602, Lot - 19

Drawn by:	M.C.	Project No.	22181.1
Checked by:	R.B.	Drawing No.	A-001
Date:	12.29.22		
Scale:	NTS		
Sheet:	24"x36"	Page:	2 OF 11



SOIL CALCULATION:

- SEE NOTE "B" BELOW.
- EXCAVATION FOR FOOTINGS AND FOUNDATIONS.
 - FOUNDATION WALL 94.00 Ln. Ft.
 - EXCAVATED SOIL 215.00 CUBIC YARDS
 - REGRADE EXISTING YARDS 215.00 CUBIC YARDS
- ALL EXCAVATED SOIL TO BE USED TO BACKFILL EXCAVATED AREAS OR RE-GRADE EXISTING YARDS.

NOTES:

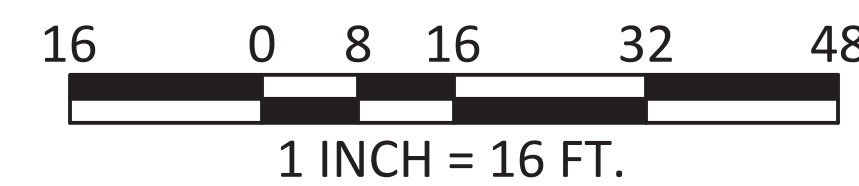
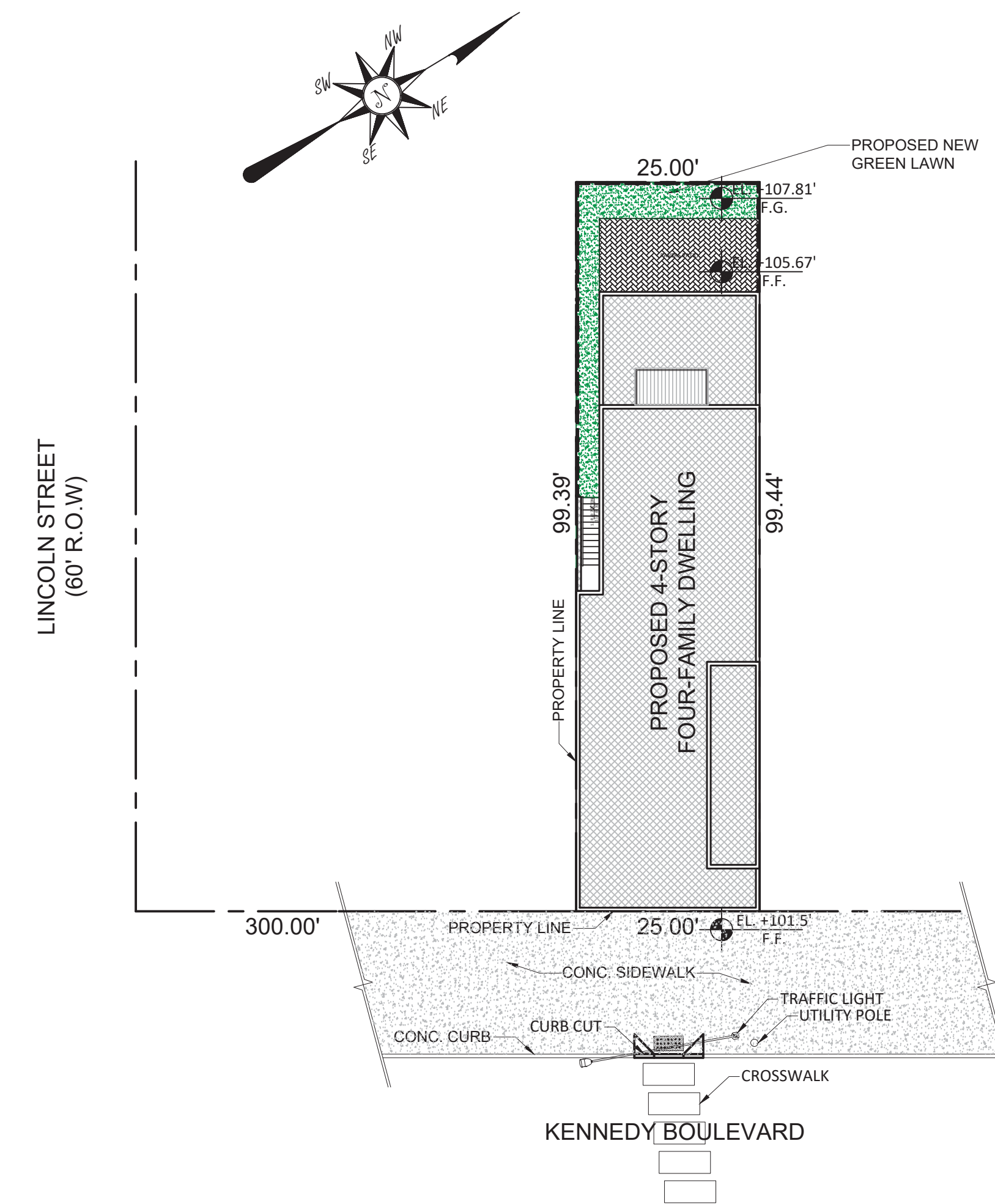
- ALL INFORMATION TAKEN FROM SURVEY PROVIDED BY FORMOSA ENGINEERING INC. DATED 03.10.2022 AND SIGNED BY ANDREW K. WU P.E. AND P.L.S. N.J. LIC. NO. GB34581.
- NO SOIL REMOVAL FROM THE SITE IS PROPOSED. SOIL EXCAVATED TO BUILD FOOTINGS AND FOUNDATIONS TO BE USED TO REGRADE EXISTING YARDS.
- PROVIDE MIN. 3'-0" HIGH TEMPORARY SILT FENCE (SYNTHETIC FILTER FABRIC) AROUND CONSTRUCTION AREA AND AT DRIP LINE OF ALL EXISTING TREES TO REMAIN FOR THE ENTIRE DURATION OF ALL CONSTRUCTION ACTIVITIES, TYP.
- INFILTRATION TRENCH TO BE WRAPPED WITH NONWOVEN GEOTEXTILE.
- PRECAST CONCRETE DRYWELL SHALL HAVE 50% Voids. BOTTOM OF DRYWELL TO BE MIN. TWO FEET ABOVE WATER TABLE.
- STORMWATER DRYWELL MUST NEVER BE COMBINED WITH EXISTING, REHABILITATED, OR NEW SEPTIC SEEPAGE PITS. DISCHARGE OF SEWAGE TO STORMWATER DRYWELLS IS STRICTLY PROHIBITED.
- DRYWELL SHOULD BE INSPECTED AT LEAST 4 TIMES ANNUALLY AS WELL AS AFTER LARGE STORM EVENTS.
- REGULARLY CLEAN OUT GUTTERS AND ENSURE PROPER CONNECTIONS TO DRYWELL.
- PROVIDE A MIN. OF 1/4" PER FOOT SLOPE AT DRIVEWAY AND PARKING TOWARD INFILTRATION TRENCH AT THE FRONT OF DRIVEWAY.

AREA CALCULATIONS:

- BUILDING COVERAGE:
 - PROPOSED BUILDING +1,981.38 Sq. Ft.
 - PROPOSED ACCESSORY STRUCTURE +000.00 Sq. Ft.
 - TOTAL BUILDING COVERAGE **+1,981.38 Sq. Ft.**
- LOT COVERAGE
 - PROPOSED DRIVEWAY +00.00 Sq. Ft.
 - PROPOSED ACCESSORY STRUCTURES +00.00 Sq. Ft.
 - PROPOSED WALKS AND STEPS +38.33 Sq. Ft.
 - PROPOSED PAVERS PATIO +218.34 Sq. Ft.
 - TOTAL NEW LOT COVERAGE **+256.67 Sq. Ft.**
- TOTAL
 - PROPOSED IMPROVED LOT COVERAGE **+2,238.05 Sq. Ft.**

SITE PLAN

SCALE: 1/16"=1'-0"



NOTES:

- EVERY EFFORT TO BE MADE BY THE CONTRACTOR TO PREVENT / MINIMIZE COMPACTION OF SOIL IMMEDIATELY OVER THE TREES ROOT SYSTEM WITHIN THE DRIP LINE.
- ALL STUMPS AND OTHER TREE PARTS, LITTER, WEEDS, EXCESS OR SCRAP BUILDING MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS. NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE ON SITE. ALL DEAD OR TYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
- PRIOR TO ANY EXCAVATION FOR THE INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF ANY AND ALL UNDERGROUND UTILITIES.
- THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY OPSOILING OR PLANTING TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BE THE RESPONSIBILITY OF THE LANDSCAPE CONTRACTOR.
- TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER TO ALL AREAS TO BE PLANTED AND SHALL BE STABILIZED BY SEEDING, SODDING OR PLANTING.
- TOPSOIL SHALL BE A NATURAL, FRIABLE TOPSOIL, REPRESENTATIVE OF PRODUCTIVE SOILS IN THE VICINITY. IT SHALL BE OBTAINED FROM WELL-DRAINED AREAS, FREE OF SUBSOIL, FOREIGN MATTER, TOXIC SUBSTANCES AND ANY HARMFUL MATERIAL.
- BACKFILL MATERIAL FOR BACKFILLING AROUND TREE / SHRUB BALLS SHALL BE A MIXTURE BY VOLUME OF THE FOLLOWING MATERIALS IN QUANTITIES SPECIFIED: 2/3 PEAT MOSS, 1/3 TOPSOIL. ADD 15 LBS. OF 20-10-5 FERTILIZER PER CUBIC YARD OF BACKFILL. BACKFILL MATERIAL BY ANALYSIS SHALL HAVE AT LEAST 15% ORGANIC MATTER.
- ALL PLANT MATERIAL THAT IS TO BE INSTALLED TO BE IN FULL COMPLIANCE WITH THE SPECIFICATIONS CITED IN THE "PLANT LIST". ANY EVIATION / SUBSTITUTION FROM THE PLANT LIST TO BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PURCHASE OF THE MATERIAL.
- ALL LANDSCAPE MATERIALS TO BE OF NURSERY STOCK AND FREE OF INSECTS AND DISEASE. ALL TREES, SHRUBS, AND GROUND COVERS TO COMPLY WITH THE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK AND AS FURTHER SPECIFIED.
- ALL TREES TO BE STRAIGHT TRUNKED AND LEADER(S) INTACT.
- PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A COMPLIANCE WITH THE SPECIFICATIONS CITED IN THE "PLANT LIST". ANY DEVIATION/SUBSTITUTION FROM THE PLANT LIST TO BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PURCHASE OF THE MATERIAL.
- IF AFTER REGRADEING ROCK IS EXPOSED PLANTINGS SHALL BE ADJUSTED ACCORDINGLY.
- MAINTENANCE
 - BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
 - MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL FINAL ACCEPTANCE, BUT IN NO CASE LESS THAN 30 DAYS AFTER SUBSTANTIAL COMPLETION OF PLANTING.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH, RESTORE PLANTING SAUCERS, TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES AND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWN FOR NOT LESS THAN THE PERIOD STATED BELOW, AND LONGER AS REQUIRED TO ESTABLISH AND ACCEPTABLE LAWN.
 - SEEDED LAWN, NOT LESS THAN 60 DAYS AFTER SUBSTANTIAL COMPLETION.
 - IF SEEDED IN FALL AND NOT GIVE FULL 60 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE MAINTENANCE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
 - SODDED LAWN, NOT LESS THAN 30 DAYS AFTER SUBSTANTIAL COMPLETION. MAINTAIN LAWN BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADEING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACCEPTABLE LAWN, FREE OF ERODED OR BARE AREA.

LANDSCAPING PLAN

SCALE: 1/16"=1'-0"

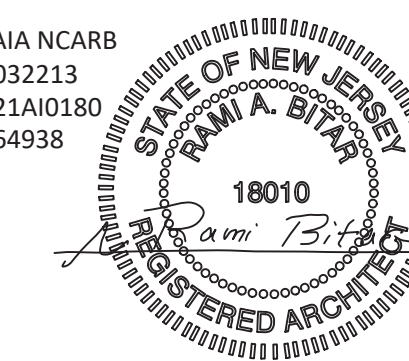
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No.	Date.	Issue.

Seal & Signature.

RAMI A. BITAR, AIA NCARB
R.A. NJ LIC. NO. 032213
R.A. NY LIC. NO. 21A10180
NCARB CERT. NO. 64938

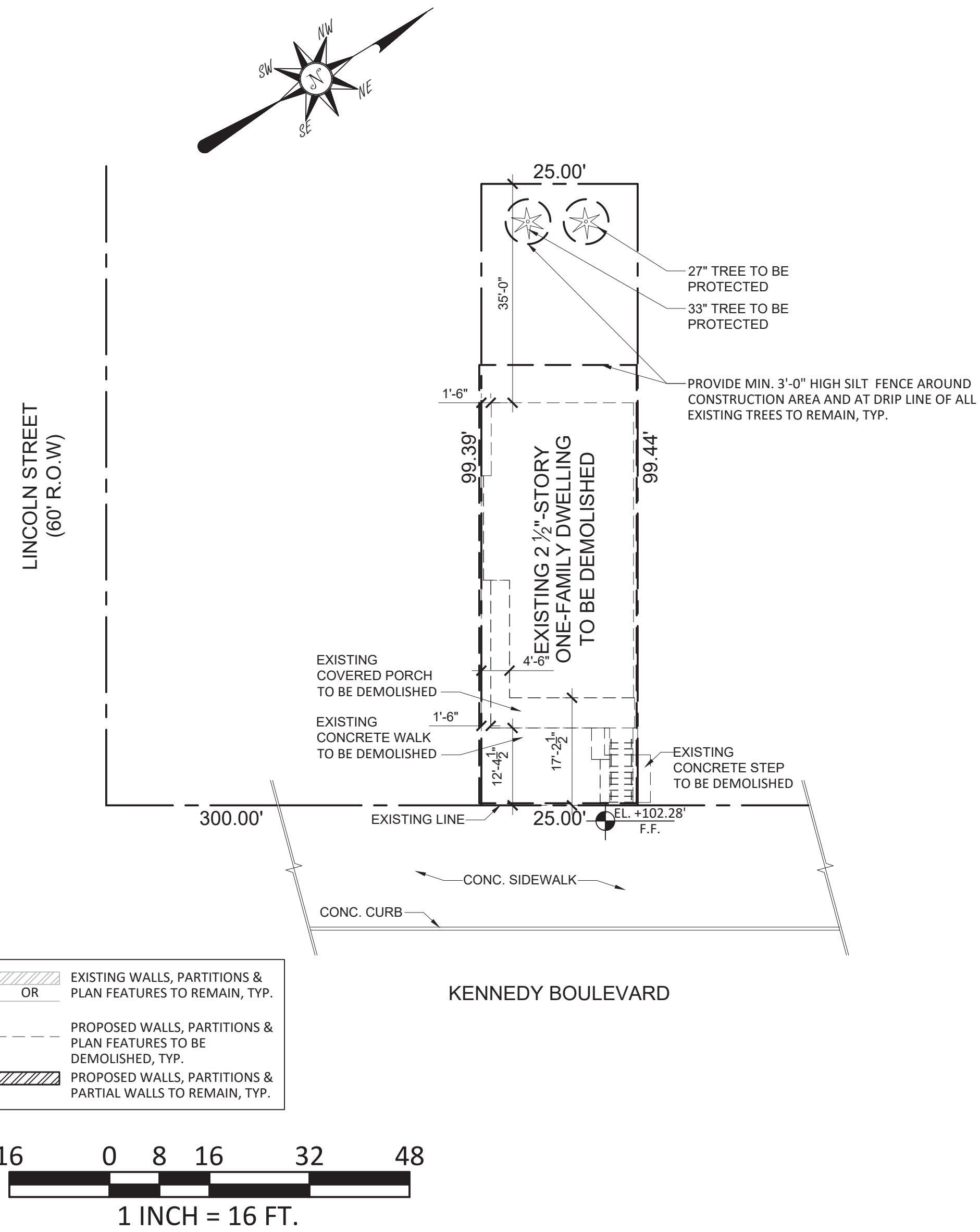


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Project.
3447 KENNEDY BOULEVARD,
JERSEY CITY, NJ
BLOCK - 2602, LOT - 19

Sheet.
**SITE PLAN AND
LANDSCAPING PLAN**

Drawn by.	A.C.	Project No.	22181.1
Checked by.	R.B.	Drawing No.	A-002
Date.	12.29.22		
Scale.	NTS		
Sheet.	24"x36"	Page.	3 OF 11



DEMOLITION NOTES:

- ALL WORK SHALL CONFORM TO APPLICABLE PROVISIONS OF ALL STATE AND LOCAL CODES AND ORDINANCES.
- IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO CONSTRUCTION AND DEMOLITION. REPORT TO THE OWNER AND STRUCTURAL ENGINEER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. IN AREAS OF DISCREPANCY, DEMOLITION SHALL NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD.
- WHERE DETAILS FOR SPECIFIC CONDITIONS ARE NOT SHOWN ON THESE PLANS, USE DETAILS FOR THE MOST NEARLY SIMILAR CONDITIONS SHOWN ON THE STRUCTURAL DRAWINGS AS DETERMINED BY THE OWNER AND STRUCTURAL ENGINEER OF RECORD. REPORT ANY COORDINATION ISSUES IMMEDIATELY TO THE ARCHITECT FOR REVIEW.
- IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE EXISTING STRUCTURE AS REQUIRED DURING ALL DEMOLITION AND CONSTRUCTION PHASES. NOTE THAT TEMPORARY BRACING IS REQUIRED FOR ALL COLUMNS AND WALLS TO REMAIN WHERE INTERCONNECTED FRAMING MEMBERS ARE TO BE REMOVED.
- DEMOLITION OF FRAMING ELEMENTS SHOWN ON THESE DRAWING MAY VARY BASED ON THE CONSTRUCTION SEQUENCE AND THE SCHOOL REQUIREMENTS TO REMAIN OPERATIONAL DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONTINGENCY IN BUDGET AND SCHEDULE TO ALLOW FOR MODIFICATIONS AND REVISIONS AS REQUIRED DUE TO THESE SPECIAL CONDITIONS.
- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS, INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NON-LOAD BEARING CONSTRUCTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS APPLICABLE. MINIMUM DESIGN LOAD VALUES SHALL BE AS FOLLOWS:
 - 100 P.S.F. LIVE LOAD (FIRST FLOOR)
 - 35 P.S.F. LIVE LOAD (SNOW)
 - 20 P.S.F. DEAD LOAD (FLOORS/ROOF)
 - MAXIMUM ALLOWABLE DEFLECTION @ L/360 OF SPAN
- PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC., TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
- PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
- WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER, LICENSED IN THE STATE OF NEW JERSEY TO PROVIDE STAMPED STRUCTURAL CALCULATIONS AND DRAWINGS FOR ALL TEMPORARY SHORING AND BRACING SYSTEMS, AS WELL AS AN ANALYSIS OF ANY TEMPORARY LOADS THAT THE CONTRACTOR CHOOSES TO IMPOSE UPON THE EXISTING STRUCTURE.
- DEMOLITION WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO PRESERVE THE INTEGRITY OF ALL ADJACENT STRUCTURAL ELEMENTS. WHERE NECESSARY, PRECUT CONNECTIONS TO STRUCTURAL ELEMENTS TO REMAIN IN ORDER TO AVOID DAMAGE DURING REMOVAL OF CONNECTED FRAMING MEMBERS. UTILIZE HAND TOOLS WHERE REQUIRED. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE EXISTING BUILDING ELEMENTS TO REMAIN DURING DEMOLITION. DO NOT CUT OR ALTER ANY OF THE EXISTING STRUCTURE OR ARCHITECTURAL ELEMENTS TO REMAIN WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER OF RECORD. PROVIDE PROTECTION FOR EXISTING WALLS, COLUMNS, BRACES, AND OTHER BUILDING ELEMENTS TO REMAIN FROM FALLING DEBRIS. ANY DAMAGE TO EXISTING ELEMENTS TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- ALL BIDDERS SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING FACILITY, LIMITATIONS TO ACCESS THE BUILDING FOR PERSONNEL AND EQUIPMENT, AND OTHER COORDINATION RELATED ISSUES. ANY DISCREPANCIES, OMISSIONS, OR VARIATIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS THAT ARE DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE OWNER AND ENGINEER.

DEMOLITION PLAN

SCALE: 1/16"=1'-0"

Client:
**KUNI CHOWHAN GN
 MANAGEMENT LNC.**
 101 HUDSON ST. SUIT E 1702,
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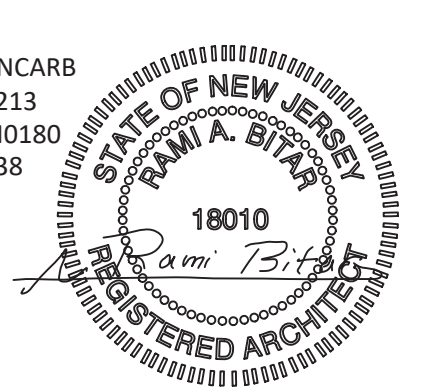


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 R.A. NY LIC. NO. 21A10180
 NCARB CERT. NO. 64938



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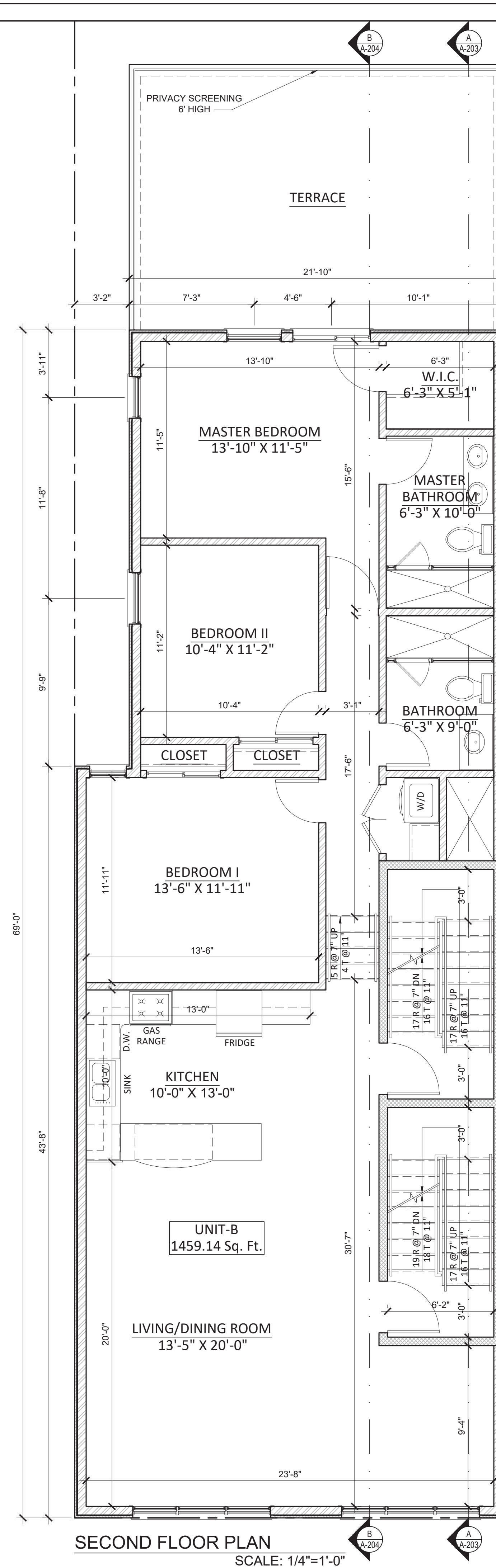
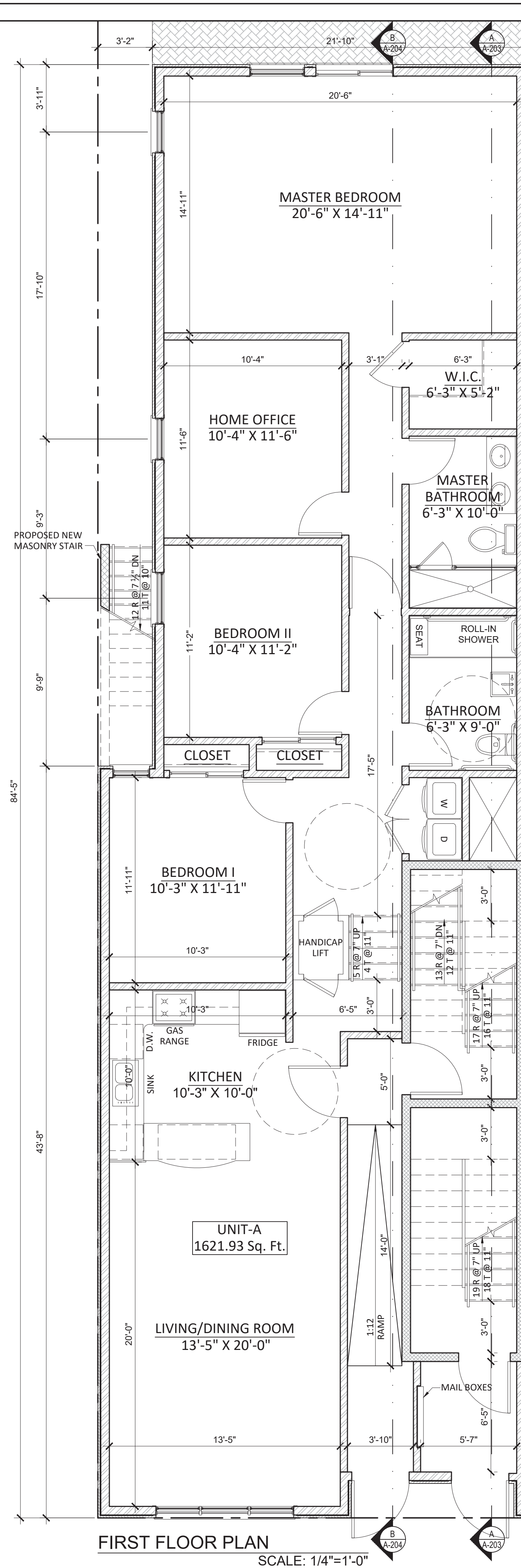
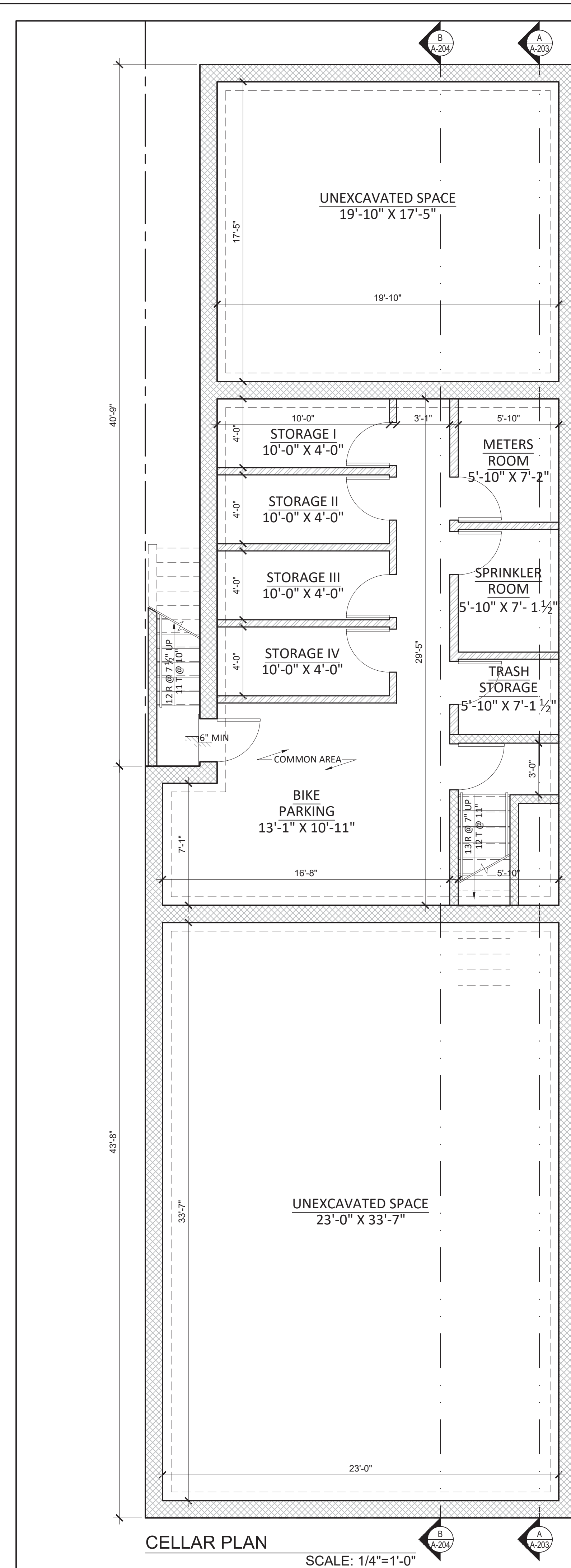
Project:
**3447 KENNEDY BOULEVARD,
 JERSEY CITY, NJ**

BLOCK - 2602, LOT - 19

Sheet:

DEMOLITION PLAN

Drawn by: M.C.	Project No. 22181.1
Checked by: R.B.	Drawing No. A-003
Date: 12.29.22	
Scale: NTS	
Sheet: 24"x36"	Page: 4 OF 11



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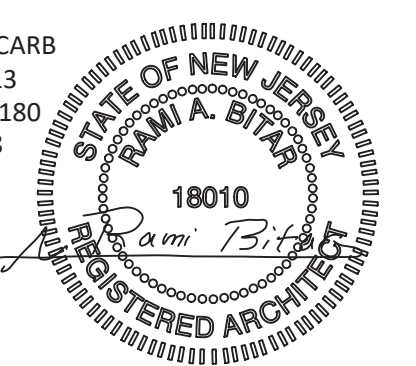


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BLOCK - 2602, LOT - 19

Sheet.

**PROPOSED
CELLAR, FIRST &
SECOND FLOOR
PLANS**

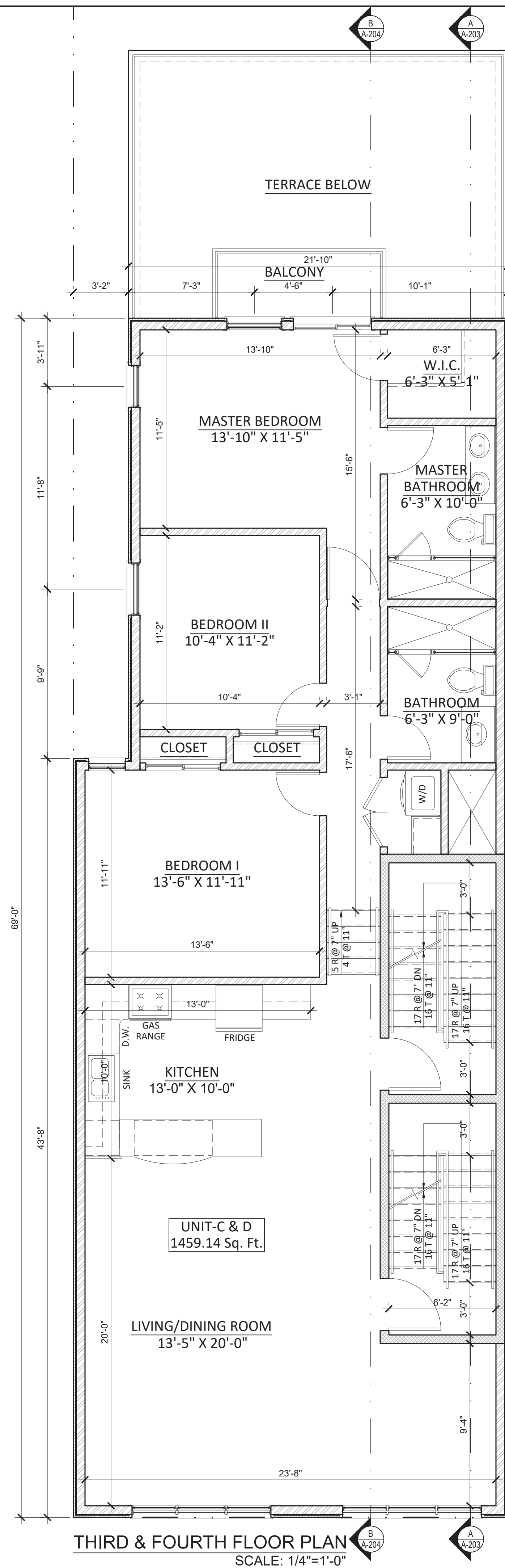
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Checked by. R.B. Drawing No.

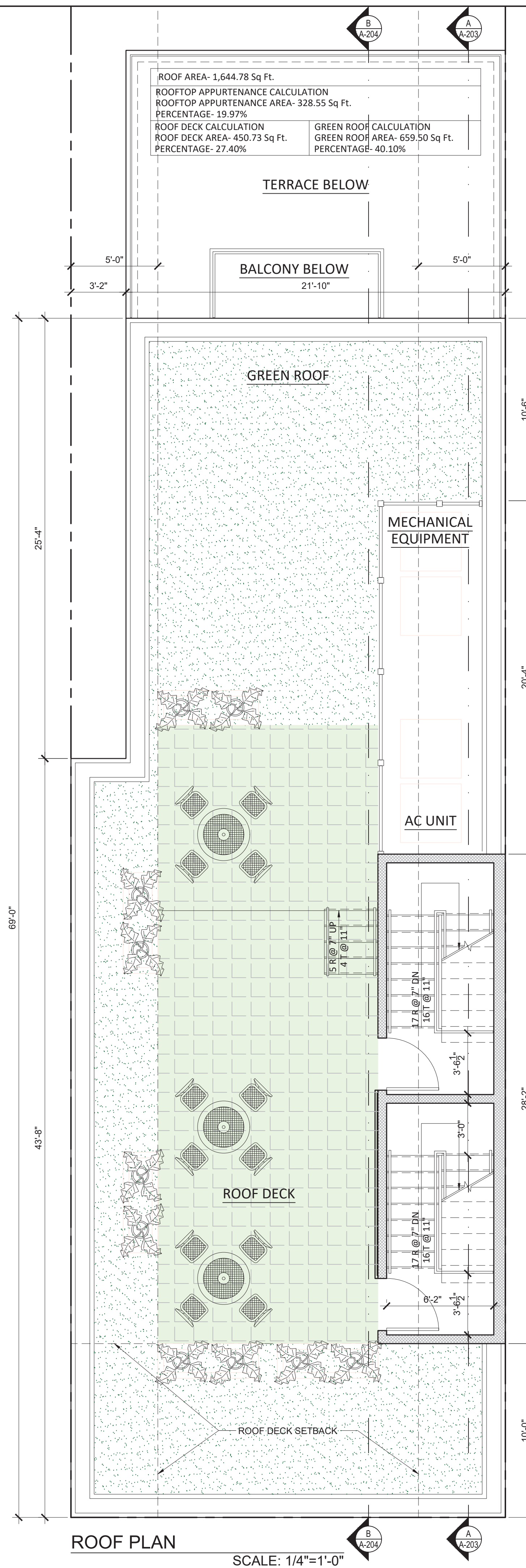
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Scale. 1/4"=1'-0"

Sheet. 24"x36" Page. 5 OF 11



THIRD & FOURTH FLOOR PLAN
SCALE: 1/4"=1'-0"



ROOF PLAN
SCALE: 1/4"=1'-0"

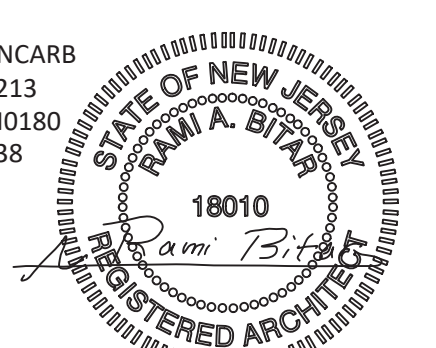
Client.
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101 HUDSON ST. SUIT E 1702,
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**PROPOSED
THIRD, FOURTH &
ROOF PLAN**

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Checked by. R.B.	Drawing No.
Date. 12.29.22	A-101
Scale. 1/4"=1'-0"	
Sheet. 24"x36"	Page. 6 OF 11

Client.
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FRONT ELEVATION (EAST)
 SCALE: 1/4"=1'-0"



REAR ELEVATION (WEST)
 SCALE: 1/4"=1'-0"

No.	Date.	Issue.

Seal & Signature.
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 R.A. NY LIC. NO. 21A10180
 NCARB CERT. NO. 64938

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BLOCK - 2602, LOT - 19

Sheet.
**FRONT & REAR
 ELEVATIONS**

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Date.	12.29.22	Scale.	
Sheet.	24"x36"	Page.	7 OF 11



SIDE ELEVATION (SOUTH)
SCALE: 1/4"=1'-0"

Client.
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101 HUDSON ST. SUIT E 1702,
JERSEY CITY, NJ



No.	Date.	Issue.

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NCARB CERT. NO. 64938

Project.
3447 KENNEDY BOULEVARD,
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BLOCK - 2602, LOT - 19

Sheet.
**SIDE ELEVATION
SOUTH**

Drawn by.	M.C.	Project No.	22181.1
Checked by.	R.B.	Drawing No.	A-201
Date.	12.29.22		
Scale.	1/4"=1'-0"		
Sheet.	24"x36"	Page.	8 OF 11

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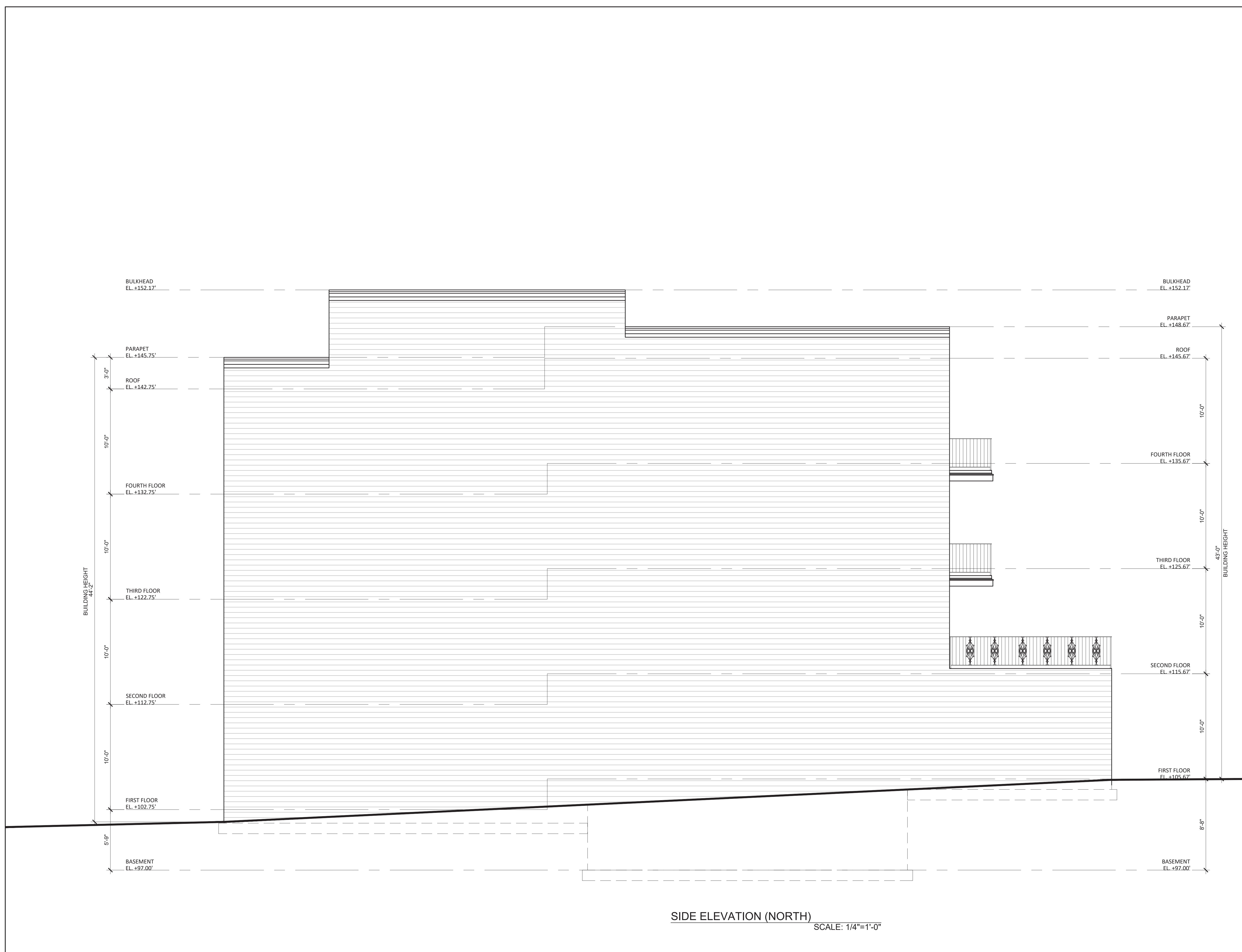
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BLOCK - 2602, LOT - 19

Sheet.
**SIDE ELEVATION
 NORTH**

Drawn by.	M.C.	Project No.	22181.1
Checked by.	R.B.	Drawing No.	A-202
Date.	12.29.22	Scale.	
Scale.	1/4"=1'-0"	Sheet.	24"x36"
Sheet.	24"x36"	Page.	9 OF 11

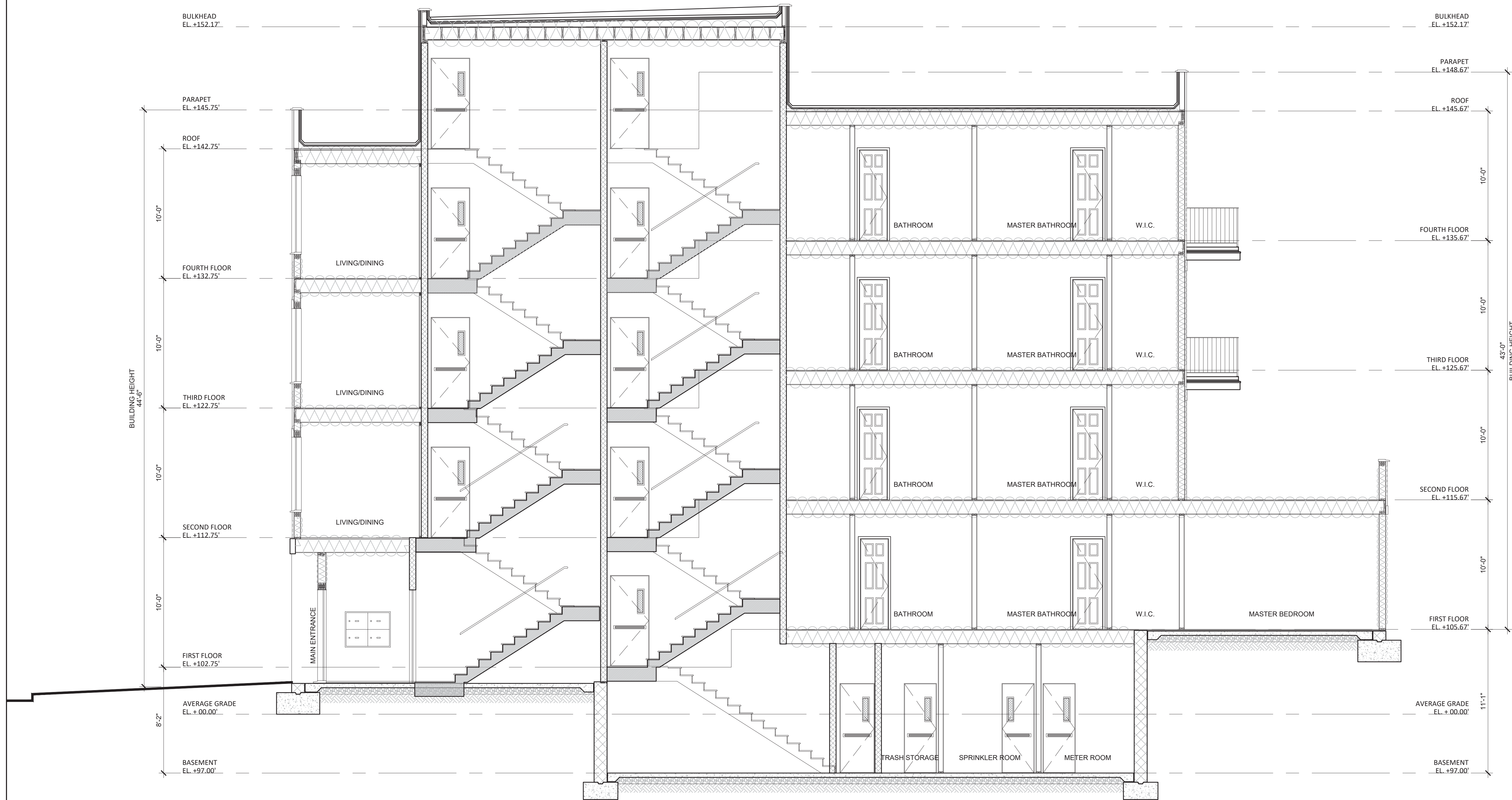


SIDE ELEVATION (NORTH)
 SCALE: 1/4"=1'-0"

Client:
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SECTION A
 SCALE: 1/4"=1'-0"

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 NCARB CERT. NO. 64938

Project:

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 JERSEY CITY, NJ
 BLOCK - 2602, LOT - 19

Sheet:

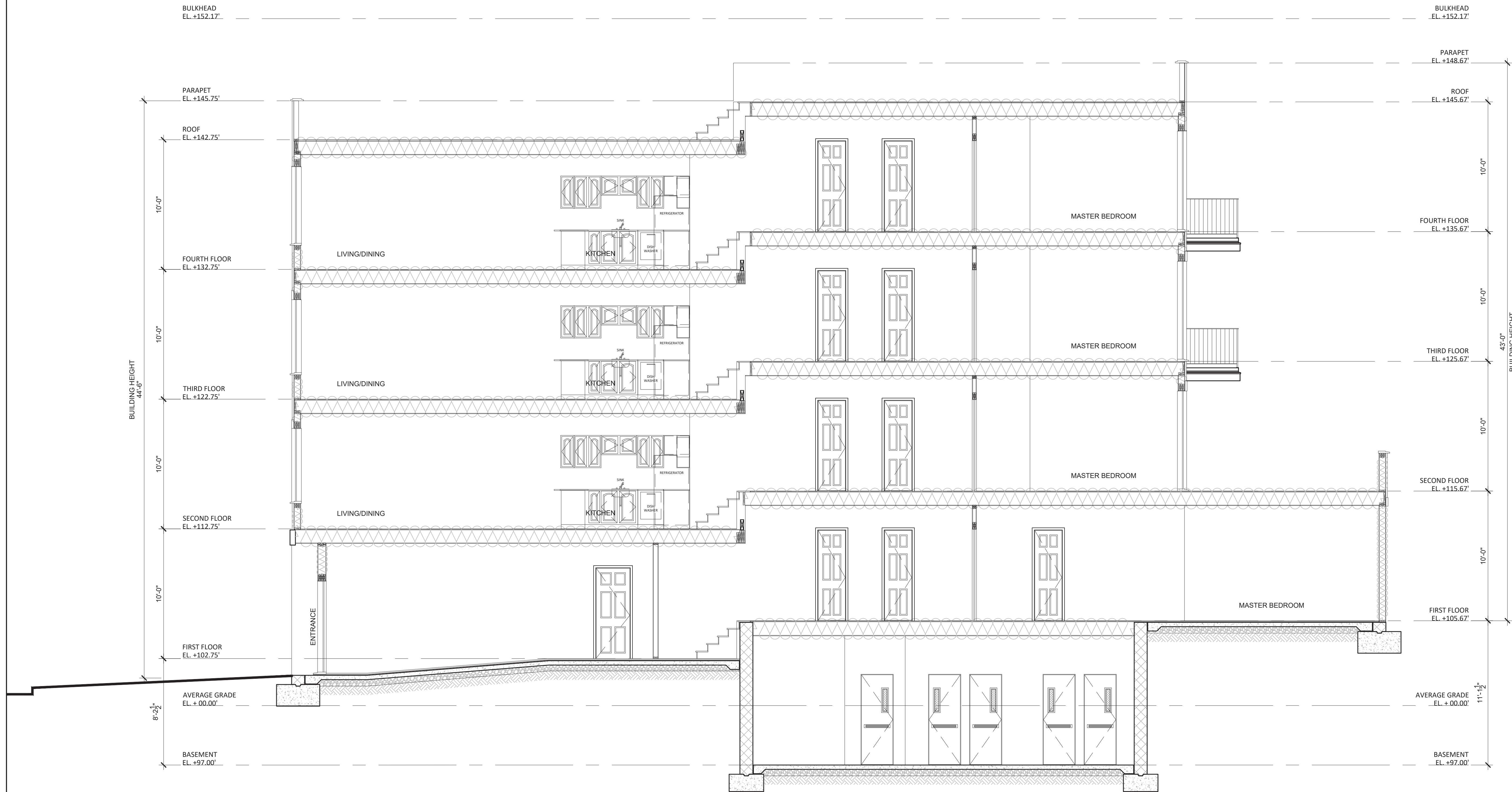
**PROPOSED
 SECTION A**

Drawn by: A.C.	Project No. 22181.1
Checked by: R.B.	Drawing No. A-203
Date: 12.29.22	
Scale: 1/4"=1'-0"	
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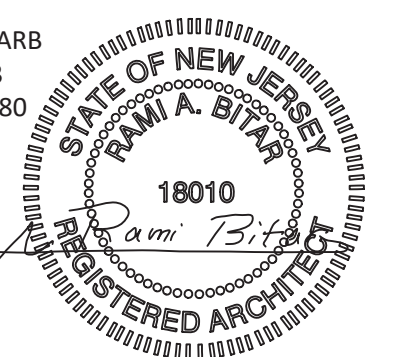
SECTION B

SCALE: 1/4"=1'-0"

No.	Date.	Issue.

Seal & Signature.

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BLOCK - 2602, LOT - 19

Sheet:
**PROPOSED
 SECTION B**

Drawn by. A.C.	Project No. 22181.1
Checked by. R.B.	Drawing No. A-204
Date. 12.29.22	
Scale. 1/4"=1'-0"	
Sheet. 24"x36"	Page. 11 OF 11