PROPOSED NEW FOUR-FAMILY DWELLING

3447 KENNEDY BOULEVARD, JERSEY CITY, HUDSON COUNTY, NEW JERSEY **BLOCK - 2602, LOT - 19**

GENERAL NOTES:

- THESE NOTE APPLY TO ALL DRAWINGS UNLESS OTHERWISE NOTED OR SPECIFIED FOR MORE SPECIFIC REQUIREMENTS APPLICABLE TO PARTICULAR DIVISION OF THE WORK SEE SPECIFICATIONS AND NOTES CONTAINED IN THE SUBSECTION OF THESE
- THIS SET OF DRAWINGS TOGETHER WITH THE SPECIFICATIONS, CONSTITUTES COMPLETE SET OF DOCUMENTS BY WHICH ALL WORK TO BE CARRIED OUT.
- THE GENERAL CONDITION OF THE CONTRACT FOR CONSTRUCTION AND THE SPECIFICATION SUPPLEMENT THESE DRAWINGS ARE A PART OF THE CONTRACT
- ALL WORK SHALL CONFORM TO ALL APPLICABLE PERMITS, REGULATIONS, CODES, AND ORDINANCES OF PUBLIC AUTHORITIES FEDERAL STATE AND LOCAL HAVING JURISDICTION.
- CONTRACTOR SHALL VISIT AND BE FULLY COGNIZED OF ALL FIELD CONDITION PRIOR TO SUBMITTING BID. ANY CONFLICT OR DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE CONDITIONS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ARCHITECT, CONTRACTOR WILL BE RESPONSIBLE FOR PROCEEDING WITH ANY CONSTRUCTION BASED ON INTERPRETED OR CONFLICTING INFORMATION.
- DISCREPANCIES WITHIN THE CONTRACT DOCUMENT SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT BEFORE PROCEEDING.
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSION IN FIELD, ON DRAWINGS ONLY WRITTEN DIMENSION SHALL BE USED. SCALES NOTED ON THE DRAWINGS ARE FOR GENERAL INFORMATION ONLY. NO DIMENSIONAL INFORMATION SHALL BE OBTAINED BY SCALING FORM THE DRAWINGS.
- CONTRACTOR SHALL BE MADE COMPLETELY RESPONSIBLE FOR ALL DIMENSIONS AND CONDITIONS ON THE JOB. ARCHITECT MUST BE NOTIFIED IN WRITING OF ANY PROPOSED OR REQUIRED VARIATIONS FROM THE DIMENSIONS AND CONDITIONS SHOWN AND A WRITTEN CHANGE ORDER ISSUED BEFORE MAKING ANY CHANGES AT THE JOB SITE.
- CONTRACTOR ACKNOWLEDGES THAT HE HAS THOROUGHLY FAMILIARIZED HIMSELF WITH THE BUILDING SITE CONDITIONS, WITH THE DRAWINGS AND SPECIFICATIONS WITH THE DELIVERY FACILITIES AND ALL OTHER MATTERS AND CONDITIONS WHICH MAY EFFECT THE OPERATION OF THE WORK AND ASSUMES ALL RISK THEREFROM.
- 10. IN THE EVENT THAT CERTAIN DETAILS OF THE CONSTRUCTION ARE NOT FULLY SHOWN OR NOTED ON DRAWINGS, THEIR CONSTRUCTION SHALL BE OF THE SAME TYPE AS FOR SIMILAR CONDITIONS THAT ARE SHOWN OR NOTED, SUBJECT TO ARCHITECT'S APPROVAL.
- 11. SEE SPECIFICATIONS FOR WATERPROOFING AND DAMP PROOFING.
- 12. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO PROVIDE PROPER SHORING AND BRACING DURING CONSTRUCTION WHEREVER NECESSARY, WHICH SHALL NOT BE REMOVED AS LONG AS REQUIRED FOR SAFETY.
- 13. THE CONTRACTOR SHALL PROVIDE FLOOR PENETRATIONS, PIPE SLEEVES, DEPRESSIONS ETC. REQUIRED FOR WORK OF OTHER DIVISIONS BEFORE POURING CONCRETE SLAB.
- 14. FOR ADDITIONAL NOTES SEE INDIVIDUAL FLOOR PLANS.
- TEMPORARY BRACING SHALL BE PROVIDED FOR ALL BUTTRESSES, WALLS AND GRADE BEAMS, WHERE DIFFERENCE BETWEEN INSIDE AND OUTSIDE GRADES IS
- 16. HEAVY EQUIPMENT SHALL NOT BE PERMITTED CLOSER THAN 10'-0" FROM ANY FOUNDATION WALL.
- 17. VERIFY DIMENSIONS AND LOCATIONS OF ALL SLOTS, PIPE SLEEVES ETC. REQUIRED FOR WORK OF OTHER TRADES. PROVIDE WATERTIGHT SLEEVES AT ALL PIPE PENETRATIONS THROUGH FOUNDATION WALLS.
- 18. THE CONTRACTOR SHALL CONFORM TO SAFETY REQUIREMENTS DURING EXCAVATION COMPLYING WITH APPLICABLE CODES REQUIREMENTS.
- 19. ALL FOOTING EXCAVATIONS SHALL BE FREE OF STANDING WATER PRIOR TO
- 20. THESE DRAWINGS AND ALL IDEAS, ARRANGEMENTS, AND PLANS EITHER INDICATED OR REPRESENTED BY THESE DRAWINGS ARE OWNED BY AND ARE THE PROPERTY OF RAB ARCHITECTS LLC. AND WERE CREATED EVOLVED AND DEVELOPED FOR USE ON AND IN CONNECTION WITH THE PROJECT DESIGNATED IN THE TITLE BLOCK. NONE OF THESE IDEAS DESIGN ARRANGEMENTS OR PLANS SHALL BE USED BY OR DISCLOSED TO ANY PERSON FIRM OR CORPORATION FOR ANY PURPOSE WHATSOEVER NOR SHALL ANY CHANGES WHATSOEVER BE MADE ON THE DRAWINGS WITHOUT THE WRITTEN PERMISSION FROM RAB ARCHITECTS LLC. THESE DRAWINGS ARE NOT VALID FOR ANY USE UNLESS THEY BEAR THE ORIGINAL SEAL AND SIGNATURE OF THE ARCHITECTS. UPON COMPLETION OF THE PROJECT, ALL PLANS AND SPECIFICATIONS SHALL BE RETURNED TO THE ARCHITECT.

TESTING AND INSPECTION:

- 1. THE CONTRACTOR WILL RETAIN AN INDEPENDENT TESTING AGENCY TO INSPECT, CONDUCT TEXTS AND PROVIDE RECORDS OF THE FOLLOWING TYPES OF WORK AS REQUIRED BY THE BUILDING CODE:
- A. ALL CONCRETE WORK.
- B. MASONRY WORK, BLOCKS, GROUT AND MORTAR.
- C. INSTALLATION OF EXPANSION ANCHORS.
- D. GEOTECHNICAL ENGINEER FOR FOUNDATION SUBGRADE.
- E. SEE DRAWINGS AND PROJECT SPECIFICATION FOR SPECIFIC REQUIREMENTS. CONTRACTOR TO SUBMIT CREDENTIALS FOR TESTING AGENCY TO ARCHITECT FOR

BUILDING TOLERANCES

STANDARD TOLERANCES SHALL BE BASED ON THE REQUIREMENTS OF THE AISC CODE OF STANDARD PRACTICE AND ACI 117, STANDARD SPECIFICATIONS FOR TOLERANCES FOR CONCRETE CONSTRUCTION AND MATERIALS.

CODES AND STANDARDS:

- 1. WHERE DOCUMENTS ARE REFERENCED IN THE DRAWINGS, THEY SHALL BE THE LATEST EDITIONS, UNLESS OTHERWISE NOTED.
- 2. ALL WORK SHALL CONFORM TO THE REQUIREMENTS OF THE 2015 INTERNATIONAL BUILDING CODE, INCLUDING REFERENCE STANDARDS, ADDENDA AND APPENDICES
- 3. IN ADDITION, THE FOLLOWING CODES, STANDARDS AND SPECIFICATIONS SHALL APPLY WHERE MORE STRINGENT AND AS MODIFIED BY THE BUILDING CODE:
- A. ACI 318 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE AND COMMENTARY"
- B. SPECIFICATIONS FOR STRUCTURAL JOINTS USING ASTM A 325 OR A 490 BOLTS.
- C. AMERICAN SOCIETY FOR TESTING AND MATERIALS (ASTM INTERNATIONAL).

ENERGY COMPLIANCE

INTERNATIONAL ENERGY CONSERVATION CODE (RESIDENTIAL) ASHRAE 90.1 (COMMERCIAL)

THE BUILDING SHOWN IS ENERGY COMPLIANCE WHEN IT MEETS THE FOLLOWING: THERMAL ENVELOPE:

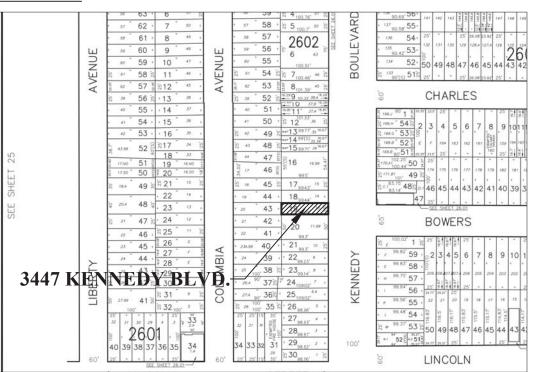
- A. WINDOWS AND DOOR AREA IS LESS THAN 15% OF GROSS WALL AREA
- B. WALL INSULATION (R-11) MIN. W/ MAX. AREA (DBL. GLAZING) 15% OF WALL AREA. C. CEILING INSULATION (R-19) MIN. (R-30) IN FLAT AREAS, (R-19) IN CATHEDRAL AND VAULTED AREAS, (R-19) OVER UNHEATED GARAGE AREA OR AS NOTED ON PLANS.
- D. FLOOR INSULATION (R-11) MIN. E. SLAB ON GRADE (R4.9) UNHEATED AND (R-7) HEATED SPACES.
- 1. SEE SECTIONS FOR ENVELOPE REQUIREMENT WHEN ABOVE COMPLIANCE DO NOT
- 2. ALL WINDOWS TO BE SUPPLIED WITH INSULATED GLASS.
- AIR LEAKAGE
- A. WINDOWS SHALL HAVE AN INFILTRATION RATE LESS THAN 0.5 CUBIC FEET PER FOOT OF SASH CRACK
- B. SLIDING DOORS SHALL HAVE AN INFILTRATION RATE LESS THAN 0.5 (C.F.M) PER SQUARE FOOT OF DOOR AREA
- C. SWING DOORS SHALL HAVE AN INFILTRATION RATE LESS THAN 1.25 (C.F.M) PER SQUARE FOOT OF DOOR AREA
- D. ALL EXTERIOR JOINTS AROUND WINDOWS, DOORS, UTILITY PENETRATION, AT MEETING WALLS, FLOORS AND ROOFS SHALL BE CAULKED, CASKETED OR OTHERWISE SEALED HVAC
- A. A BUILDING SHALL COMPLY WITH ARTICLE #4 IN ENERGY COMPLIANCE CODE 4. LIGHTING
- A. BUILDING TO COMPLY WITH ENERGY COMPLINCE MANUAL IF NOT INDICATED ON

APPLICABLE CODES

AFFLICABLE CODES			
BUILDING CODE	INTERNATIONAL BUILDING CODE	2018	
	INTERNATIONAL RESIDENTIAL CODE	2018	
ELECTRICAL	NATIONAL ELECTRICAL CODE	2017	
MECHANICAL	INTERNATIONAL MECHANICAL CODE	2018	
FUEL GAS	INTERNATIONAL FUEL GAS CODE	2018	
PLUMBING	NATIONAL STANDARDS PLUMBING CODE	2018	
FIRE PROTECTION	NFPA 13 LATEST EDITION		
NJ UNIFORM CONSTRUCTION COL	UNIFORM CONSTRUCTION CODE LATEST EDITION AND UPDATES		

- 1. CONTRACTOR IS REQUIRED TO COMPLY WITH THE ABOVE REFERENCED CODES. 2. NOTHING IN THESE DOCUMENTS IS INTENDED TO BE CONTRARY TO CODE REQUIREMENTS.
- 3. ALL REFERENCED CODES ARE THE MOST RECENT ADDITION ADOPTED BY THE STATE, IF ANY CODE REFERENCED IS OUT OF DATE THE MOST RECENT ADDITION WILL SUPERCEDE.

TAX MAP

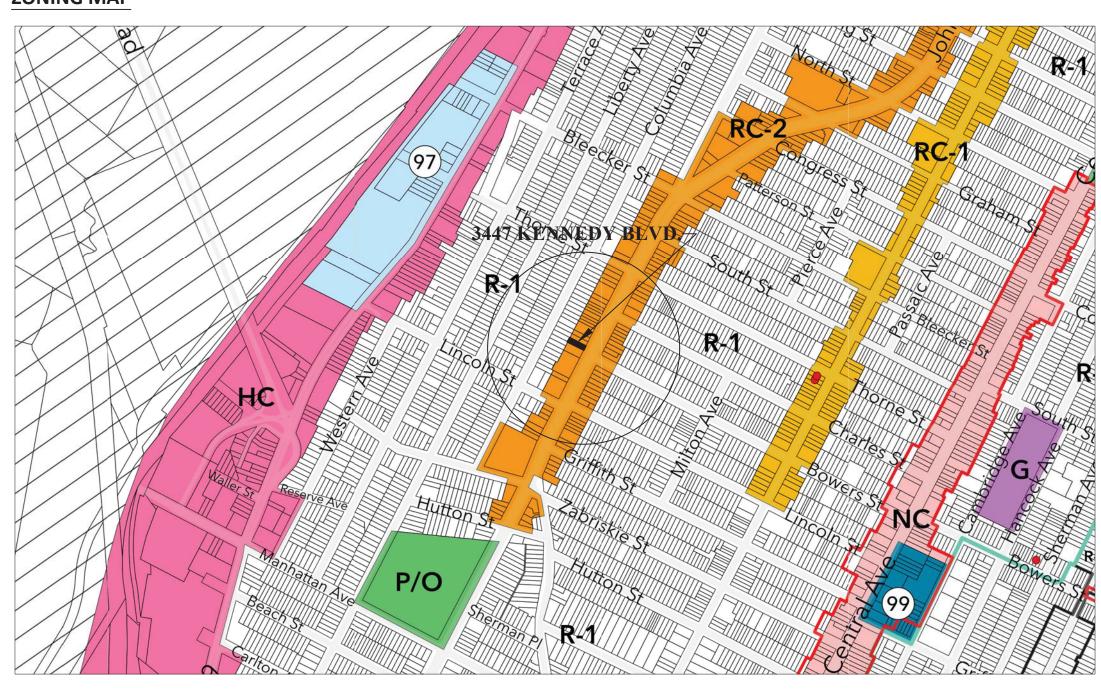


SCALE: N.T.S

DRAWING LIST

	SHEET NUMBER	SHEET TITLE
1	A-000	TITLE SHEET - GENERAL NOTES AND ZONING ANALYSIS
2	A-001	SURVEY AND TAX MAP
3	A-002	SITE PLAN AND LANDSCAPING PLAN
4	A-003	DEMOLITION PLAN
5	A-100	PROPOSED CELLAR, FIRST & SECOND FLOOR PLANS
6	A-101	PROPOSED THIRD, FOURTH & ROOF PLAN
7	A-200	FRONT & REAR ELEVATIONS
8	A-201	SIDE ELEVATION (SOUTH)
9	A-202	SIDE ELEVATION (NORTH)
10	A-203	PROPOSED SECTION A
11	A-204	PROPOSED SECTION B

ZONING MAP



ZONING SCHEDULE

ZONING DISTRICT: §345-45 RC-2 RESIDENTIAL COMMERCIAL DISTRICT 2 (FOUR AND FIVE STORIES).	PERMITTED / REQUIRED	EXISTING	PROPOSED	NOTES	VARIANC
PERMITTED USE (§345-45)	RESIDENTIAL	ONE FAMILY DETACHED	RESIDENTIAL (4 UNITS)		NO
MINIMUM LOT AREA	2,500 Sq. Ft.	2,485.50 Sq. Ft.	2,485.50 Sq. Ft.	EXISTING*	NO
MINIMUM LOT WIDTH	25 Ft.	25 Ft.	25 Ft.		NO
MINIMUM LOT DEPTH	N/A	99.39 Ft.	99.39 Ft.	EXISTING*	NO
MINIMUM FRONT YARD	NONE	17.27 Ft.	0.00 Ft.		NO
MINIMUM SIDE YARD	NONE	0.29 Ft.	0.00 Ft.		NO
MINIMUM SIDE YARD (FOR BOTH SIDES)	N/A	0.87 Ft.	0.00 Ft		NO
MINIMUM REAR YARD GROUND LEVEL	15% OF LOT DEPTH	35.10 Ft.	15.06% = 14.97 Ft.	99.39 X 15% = 14.90 Ft.	NO
MINIMUM REAR YARD ABOVE GROUND FLOOR	30% OF LOT DEPTH	35.10 Ft.	35.58% = 30.39 Ft.	99.39 X 30% = 29.82 Ft.	NO
MAXIMUM DENSITY (75 UNITS/ACRE)	4.28 UNITS		4 UNITS		NO
MAXIMUM BUILDING HEIGHT	4 STORIES	2½ STORIES	4 STORIES	10 Ft. FLOOR TO FLOOR HEIGHT- FLAT ROOF	NO
MAXIMON BOILDING HEIGHT	45 Ft.	36 Ft.	6 Ft. BUILDING HEIGHT AT THE FRONT 44.17 Ft. NO BUILDING AT THE REAR 43.00 Ft.		
MANUALINA DI III DINIC COVEDACE	85.0%	49.22%	79.72%		NO
MAXIMUM BUILDING COVERAGE		1,223.52 Sq. Ft.	1,981.38 Sq. Ft.		NO
NAAVINALINA LOT COVEDACE	90.0%	61.05%	90.00%		NO
MAXIMUM LOT COVERAGE		1,517.45 Sq. Ft.	2,238.05 Sq. Ft.		NO
ROOFTOP DECK SIDE SETBACK	5 Ft.		5.00 Ft.		
ROOFTOP DECK FRONT AND REAR SETBACK	10 Ft.		10.00 Ft.		NO
MAXIMUM ROOF DECK COVERAGE	50% OF ROOF AREA		27.04%		NO
MAXIMUM ROOFTOP APPURTENANCE AREA	20% OF ROOF AREA		19.97%	20% OF ROOF AREA 1644.78 = 328.96 Sq. Ft.	NO
FLOOR AREA RATIO	N/A		2.55%	1,962.46+(3X1,459.14)=6,339.88/2,485.5=2.55%	N/A
PARKING	NONE PERMITTED		0 SPACES		NO

ABBREVIATIONS

ANCHOR BOLT

GALV. GALVANIZED

A.B.	ANCHOR BOLL	GALV.	
A.F.F.	ABOVE FINISH FLOOR	GB.	GRADE BEAM
ABV.	ABOVE	GL.	GLASS GYPSUM WALL BOARD
AC.	AIR CONDITIONER	G.W.B.	GYPSUM WALL BOARD
	ACOUSTICAL		GYPSUM
	ACOUSTICAL CEILING TILE	H.	BEAM HEIGHT
ADJ.	ADJUSTABLE	H.C.	HOLLOW CORE
ALUM.	ALUMINUM	HORZ.	HORIZONTAL
ACI.	AMERICAN CONCRETE	H.P.	HIGH POINT
	INSTITUTE		HIGH STRENGTH
AISC.	AMERICAN INSTITUTE OF STEEL	INC.	INCORPORATED
,	CONSTRUCTION	I.D.	INSIDE DIAMETER
AISI.	AMERICAN IRON AND STEEL	INCH.	INCHES
AIJI.	INSTITUTE		
ACCE			INSULATION
ASCE.		INT.	INTERIOR
	ENGINEERS	J.	JOINT
ASTM.		KB	KNEE BRACE
	MATERIALS	LBS.	POUNDS.
AWS.	AMERICAN WELDING	LL.	LIVE LOADS
	SOCIETY	L.P.	LOW POINT
ARCH.	SOCIETY ARCHITECTURAL	L.W.	LIGHTWEIGHT
B.	BEAM WIDTH BETWEEN BOTTOM OF	L.W. MAX.	MAXIMUM
BTWN.	BETWEEN	MFMB.	MEMBRANE
B.O.	BOTTOM OF	MFR.	MANUFACTURER
B.O. W	BOTTOM OF WALL		MINIMUM
	BOTTOM OF REBAR SHORT WAY		
			MISCELLANEUOS
	BOTTOM OF REBAR LONG WAY		METAL
•	F BUILT-UP ROOFING	N	NORTH
BO.	BOARD	_	NOT IN CONTRACT
BLDG.	BUILDING	N.T.S.	NOT TO SCALE
BM.	BEAM	O.C.	ON CENTER
C. JT.	CONTROL JOINT		OUTSIDE DIAMETER
CAB.	CABINET		OPENING
	CANTILEVER	Р.	PIER
CB	COLUMN STRIP BOTTOM		POUND PER CUBIC FOOT
	S. CEMENT PLASTER	PL.	PLATE
CER.			PLASTER
	CERAMIC		PLYWOOD
CL	CENTER LINE		
CLNG.		PR.	PAIR
CLR.	CLEAR	P.S.F.	POUND PER SQUARE FOO
CMU.	CONCRETE MASONRY UNIT		POUND PER SQUARE INC
CNTR.	COUNTER	PTD.	PAINTED
COL.	COLUMN	R.	RISER
COPM.	COMPOSITION		RAIN WATER LEADER
CONC.	CONCRETE		RADIUS
COORD.	COORDINATE		ROOF DRAIN
CP.	CONCRETE PIER	REFR.	
CPT.	CARPET	RFINF.	REFRIGERATOR REINFORCEMENT
CRD.	CURVED ROOF DECK	RFO.	REQUIRED
CS.	CONCRETE SLAB		RESILIENT
CT.	COLUMN STRIP TOP	RM.	ROOM
CTR.		S.	SOUTH
		S.C.	SCHEDULE
	DOWN SPOT	SUT.	SCHEDULE
	DIAMETER	SHI.	SHEET SIMILAR
DIM.	DIMENSION	SIM.	SIMILAR
DL.	DEAD LOAD		SPECIFICATIONS
DN.	DOWN		SQUARE
DR.	DOOR		STANDARD
DWGS.	DRAWINGS	STIFF.	STIFFENER
		STL.	
	EXPANSION JOINT		SYMMETRICAL
	EACH WAY	T.	TREAD
	EACH	T. & G	TREAD TONGUE AND GROOVE
		T.B.	TOWEL BAR
•	ELEVATION	TEL.	TELEPHONE
ELEC.	ELECTRICAL	THK.	THICKNESS
EQ.	EQUAL EXPANSION		
EXP.	EXPANSION	T.O.	TOP OF
EXT.	EXTERIOR	TON.	TONNES
	FLOOR DECK	TS.	TOP OF STEEL
F.E.	FIRE EXTINGUISHER	TW.	TOP OF WALL
F.F.	FINISH FLOOR	T.W.	TOP OF WALL
	FINISH	T.P.D.	TOILET PAPER DISPENSER
ELVCH	ELACHING	TYP.	TYPICAL
FI /FIP	FLOOR	U.O.N.	UNLESS OTHERWISE NOT
ı L./ı LI\. El ∩lıb	FILIORESCENT		VINYL COMPOSITION TIL
I LOUK.	FLOOR FLUORESCENT FOUNDATION FACE OF FIBERGLASS POLYESTER		VERIFY IN FIELD
ΓUΝ.	FACE OF		VARIES
F.U.	FACE OF		
ב ח ח			VERTICAL
F.P.P.	PANEL		WEST
F.P.P.	FLAT PLATE REINFORCEMENT	W.F.	WIDE FLANGE
	TLAT FLATE REINFORCEIVILINT	WHT.	WEIGHT
F.P.R.	FOOT OR FEET	******	
F.P.R. FT.	FOOT OR FEET	W.O.	WINDOW OPENING
F.P.R. FT. FT2	FOOT OR FEET SQUARE FEET		WINDOW OPENING WITH
F.P.R. FT. FT2 FTG.	FOOT OR FEET SQUARE FEET FOOTING	W.O.	
F.P.R. FT. FT2	FOOT OR FEET SQUARE FEET	W.O. W/	WITH

APPROVED BY:

THE ZONING BOARD OF THE CITY OF JERSEY CITY, NEW JERSEY ON

	DATE
CHAIRMAN OF THE BOARD	DATE
SECRETARY	DATE
PLANNER	DATE
ENGINEER	DATE

KUNI CHOWHAN GN MANAGEMENT LNC. 101 HUDSON ST. SUIT E 1702, JERSEY CITY, NJ



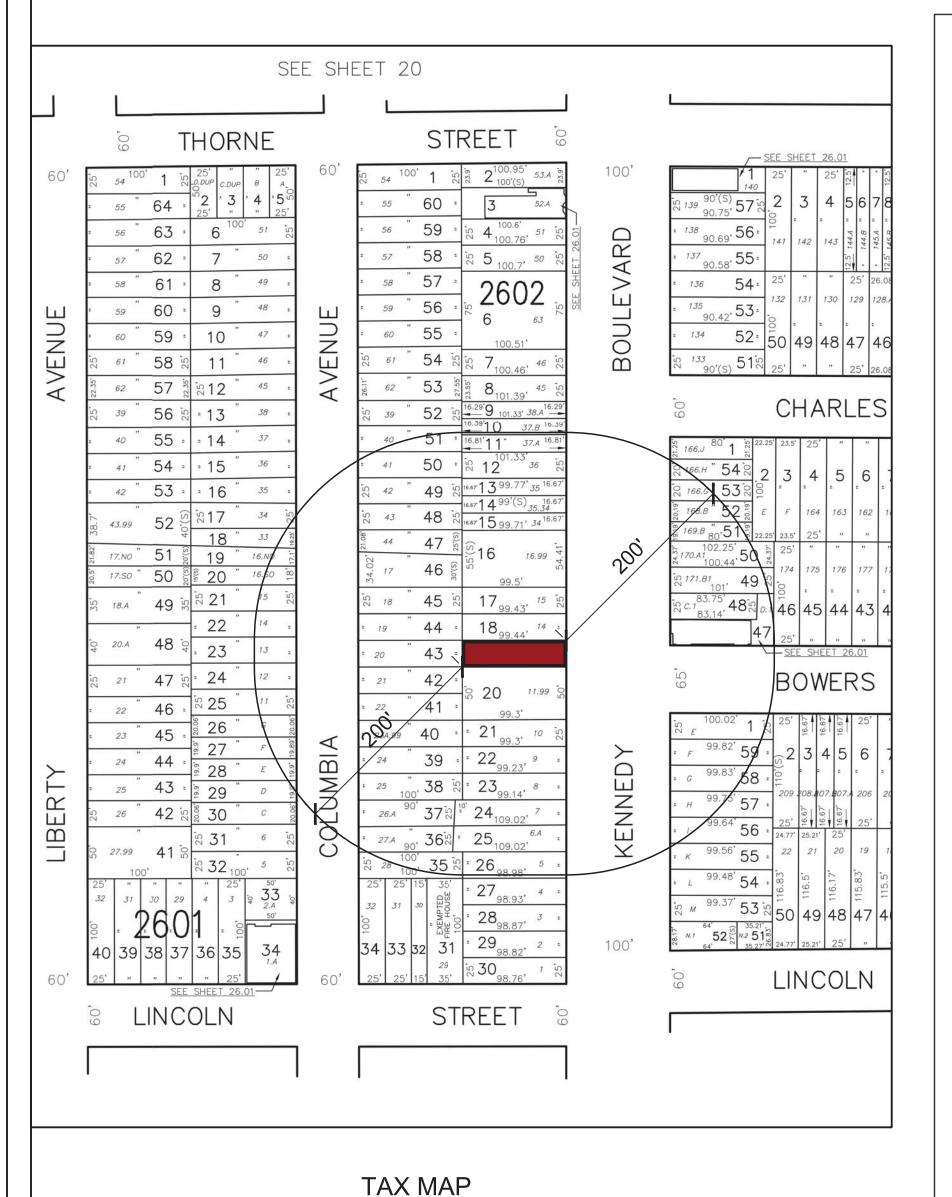
No. Date. Issue. Seal & Signature. RAMI A. BITAR, AIA NCARB R.A. NY LIC. NO. 032213 NO. 05 NEW NO. 21AI0180 NO. 64938

3447 KENNEDY BOULEVARD, JERSEY CITY, NJ

BLOCK - 2602, LOT - 19

TITLE SHEET

Checked by. R.B. 12.29.22 Page. 1 OF 11 24"x36"



51

18

3449 KENNEDY BLVD.

LAO, HENRY & FRANCISCA

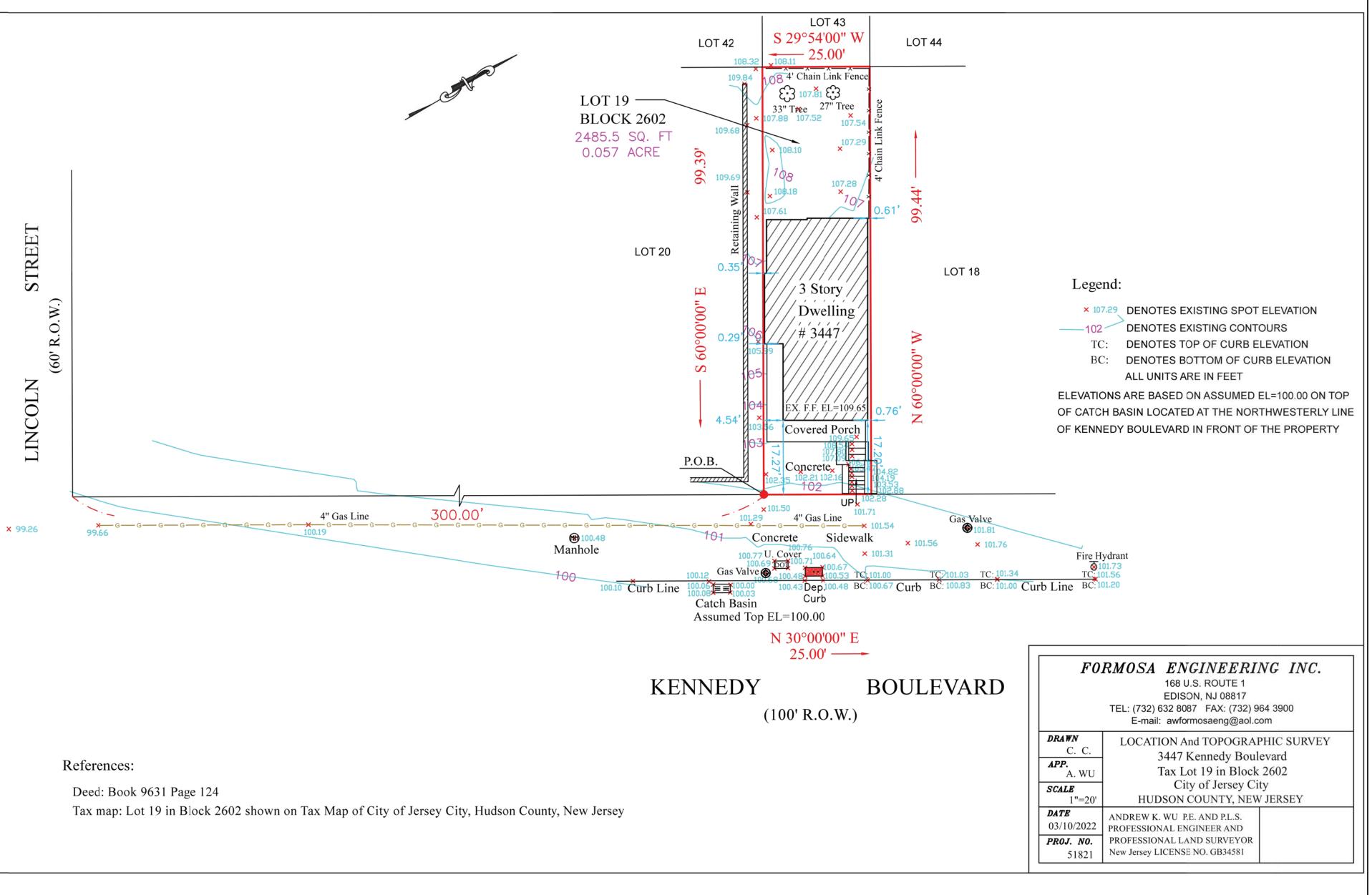
30. 2602

SCALE: N.T.S.

3449 KENNEDY BLVD

JERSEY CITY,

NJ 07307



OWNERS OF PROPERTIES WITHIN 200 Ft. OF 3447 KENNEDY BOULEVARD, CITY OF JERSEY CITY PROPERTY ADDRESS **OWNERS NAME OWNERS ADDRESS** CITY, STATE 31. 2602 3451 KENNEDY BLVD. MOGHUL REALTY GROUP, LLC 1405 HOPKINS AVE JERSEY CITY, NJ 07306 BLOCK LOT STATE/ZIP 32. 2602 SALEEB, JOSEPH & MARIAM NJ 07307 NJ 07652 3455 KENNEDY BLVD. 3455 KENNEDY BLVD JERSEY CITY, 2605 3438 KENNEDY BLVD. 3438 KENNEDY BLVD., LLC 210 BENINGTON TERR PARAMUS, 01 33. 2602 15 3457 KENNEDY BLVD. MB KENNEDY, LLC. 7 FORT WORTH PL MONROE, NJ 10950 2605 3436 KENNEDY BLVD. J K BASSI DEVELOPMENT, LLC. 3436 KENNEDY BLVD JERSEY CITY, NJ 07307 59 34. 2602 14 3457.5 KENNEDY BLVD. ROSS, PHILIP & MACLEARIE, JILLIAN 34575 KENNEDY BLVD JERSEY CITY, NJ 07307 2605 3434 KENNEDY BLVD. LAU, SING & SANDRA 3434 KENNEDY BLVD JERSEY CITY, NJ 07307 CHANG LEUNG, RICHARD & GAIL 2605 3432 KENNEDY BLVD. RUSSILLO, GERARD 3432 KENNEDY BLVD JERSEY CITY, NY 07307 35. 2602 13 3459 KENNEDY BLVD. 3459 KENNEDY BLVD JERSEY CITY, NJ 07307 3461 KENNEDY BLVD. APARTMENTS, LLC KENT, 36. 2602 12 43 HOPE ST NJ 07070 2605 3430 KENNEDY BLVD. DELAWARE NATIONAL BUILDERS, LLC 341 RAVEN CIRCLE DEL 19934 3461 KENNEDY BLVD. EAST RUTHERFORD, JCD TOWNHOUSE 1, LLC 37. 2602 152 HILLCREST AVE NJ 07901 2605 3428 KENNEDY BLVD. PATEL, SANKALCHAND & HIRABEN 5 JANNELLE BLVD PARSIPPANY, NJ 07054 3463 KENNEDY BLVD. SUMMIT, 38. 2604 47 HUDSON APARTMENTS CONDOMINIUM ASSOC 3444 KENNEDY BLVD JERSEY CITY, NJ 07307 2602 3443 KENNEDY BLVD. JOHN AND MARYAN, LLC 140 BLEECKER ST JERSEY CITY, NJ 07307 3444 KENNEDY BLVD. UGARTE, LUIS NJ 07307 2602 3437 KENNEDY BLVD. JOHN AND MARYAN, LLC 140 BLEECKER ST JERSEY CITY, NJ 07357 39. 2604 48 3446 KENNEDY BLVD. 3446 KENNEDY BLVD JERSEY CITY, 2602 3431 KENNEDY BLVD. C&S ENTERPRISES OF NEW JERSEY, LLC 34213431 KENNEDY BLVD JERSEY CITY, 40. 2604 49 3448 KENNEDY BLVD. JAY AND SAPNA REALTY, LLC 3900 WESTSIDE AVENUE NORTH BERGEN, NJ 07047 NJ 07307 10. 2602 3421 KENNEDY BLVD. C&S ENTERPRISES OF NEW JERSEY, LLC 34213431 KENNEDY BLVD JERSEY CITY, NJ 07307 41. 2604 50 3450 KENNEDY BLVD. HUSSAIN, MINHAJ 3450 KENNEDY BLVD APT 2 JERSEY CITY, NJ 07307 152 LINCOLN STREET 42. 2601 71 COLUMBIA AVE. ORTIZ, JORGE A. & GRACIELA 71 COLUMBIA AVE. JERSEY CITY, NJ 07307 11. 2602 CITY OF JERSEY CITY 280 GROVE ST JERSEY CITY, NJ 07302 156-158 LINCOLN ST. 40 COLUMBIA OF NJ, L.L.C. 3423 KENNEDY BLVD 43. 2601 69 COLUMBIA AVE JADAV, BHUPENDRA & HARSHA 69 COLUMBIA AVE. JERSEY CITY, NJ 07307 2602 JERSEY CITY, NJ 07306 48 COLUMBIA AVE. 3423 KENNEDY BLVD 44. 2601 19 67.5 COLUMBIA AVE. PATEL, ROCKY 67.5 COLUMBIA AVE. NJ 07307 13. 2602 40 COLUMBIA OF NJ, L.L.C. JERSEY CITY, NJ 07306 JERSEY CITY, 50 COLUMBIA AVE. 50 COLUMBIA AVE 45. 2601 20 67 COLUMBIA AVE GARRY, SEAN P 67 COLUMBIA AVE. NJ 07307 2602 50 COLUMBIA AVE. CONDOMINIUM ASSOC JERSEY CITY, NY 07307 JERSEY CITY, 15. 2602 52 COLUMBIA AVE. PATEL, PRITESH 41 MONTROSE AVE JERSEY CITY, NJ 07307 46. 2601 21 65 COLUMBIA AVE PATEL, CITAL 138 CHARLES ST. JERSEY CITY, NJ 07307 47. 2601 NJ 07307 2602 54 COLUMBIA AVE. HEMA KSHATRIYA TRUSTEE 54 COLUMBIA AVE JERSEY CITY, NJ 07307 22 63 COLUMBIA AVE NG, SIMON & PALOMARES, JEAN 63 COLUMBIA AVE. JERSEY CITY, 17. 2602 56 COLUMBIA AVE. WAHI, VIJAY & PARVEEN 56 COLUMBIA AVE JERSEY CITY, NJ 07307 48. 2601 23 61 COLUMBIA AVE PATEL, JAYESHBHAI & BHAVNABEN 61 COLUMBIA AVE. JERSEY CITY, NJ 07307 58 COLUMBIA AVE. **56 COLUMBIA AVE** 49. 2601 59 COLUMBIA AVE PATEL, DEVENDRA K & BHAVANA D 59 COLUMBIA AVE. JERSEY CITY, NJ 07307 2602 KHATRI, HARISH & LATIKA JERSEY CITY, NJ 07307 40 60 COLUMBIA AVE. 60 COLUMBIA AVE 57 COLUMBIA AVE 57 COLUMBIA AVE. 19. 2602 PARAJULI, SHARMA TIKARAM JERSEY CITY, NJ 07307 50. 2601 25 NACIPUCHA, CARLOS & JARAPAREDES, M JERSEY CITY, NJ 07307 62 COLUMBIA AVE. 62 COLUMBIA AVE JERSEY CITY, NJ 07307 51. 2601 26 55A COLUMBIA AVE. SHAH, NIMESH P.& URVASHI N. 55A COLUMBIA AVE JERSEY CITY, NJ 07307 2602 42 PARMAR, NILIMA & RAMESH 2602 64 COLUMBIA AVE. 62 COLUMBIA AVE 55 COLUMBIA AVE HARASEK, CHRISTINE 55 COLUMBIA AVE. NJ 07307 RANA, DIVYESHKUMAR R. JERSEY CITY, NJ 07307 52. 2601 JERSEY CITY, 22. 2602 66 COLUMBIA AVE. RAMANI, HIREN & HEMALL 23 JANI COURT CLIFTON, NJ 07013 53. 2601 28 53 COLUMBIA AVE PUCHOWSKI, DAVID & LAUREN 53 COLUMBIA AVE. JERSEY CITY, NJ 07307 23. 2602 68 COLUMBIA AVE. DOSHI, DINESH S.& HANSA D. 68 COLUMBIA AVE JERSEY CITY, NJ 07307 54. 2601 29 51 COLUMBIA AVE AHER, SWAPNIL & CHAVAN, RUTUJA 51 COLUMBIA AVE. JERSEY CITY, NJ 07307 55. 2602 3463A KENNEDY BLVD. NJ 07307 24. 2602 70 COLUMBIA AVE. PATEL, JAYESH G. & BHAVNABEN J. 70 COLUMBIA AVE JERSEY CITY, NJ 07307 D'SA, NIREN 1917 STONY BROOK CIRCLE SCOTCH PLAINS, 56. 2604 NJ 07307 25. 2602 72 COLUMBIA AVE. 72 COLUMBIA AVE.CONDOMINIUM ASSOC 206 HUDSON ST HOBOKEN, NJ 07030 260 BOWERS ST. GUZMAN, MARISELA & ROSENDO 260 BOWERS ST. JERSEY CITY, GOVONI, MALINDA JEAN 26. 2602 74 COLUMBIA AVE. RAMOS, RICHARD L. & VAZQUEZ, DIANA 70 COLUMBIA AVE JERSEY CITY, NJ 07307 57. 2604 3452 KENNEDY BLVD. 3452 JFK BLVD. JERSEY CITY, NJ 07307 27. 2602 76 COLUMBIA AVE. CHULANI, JITESH M & SANGEETA S 21 MORSE AVE RUTHERFORD, NJ 07070 58. 2604 3454 KENNEDY BLVD. CARDOZA, JOSE E. & BOSSANO, DIANA 3454 KENNEDY BLVD. JERSEY CITY, NJ 07307 78 COLUMBIA AVE. 70 COLUMBIA AVE 59. 2604 53 3456 KENNEDY BLVD. HERAPARA, MAYANK & KHYATI M. 3456 KENNEDY BLVD. JERSEY CITY, NJ 07307 28. 2602 GRILLI, GINA & ROGERS, JOHN JERSEY CITY, NJ 07307 3458 KENNEDY BLVD. 29. 2602 80 COLUMBIA AVE. RAJARAM, VIJAY & NATHAN, SUDHA 70 COLUMBIA AVE JERSEY CITY, NJ 07302 60. 2604 3458 KENNEDY BLVD. PETKOVIC, JOVE JERSEY CITY, NJ 07307

52

61. 2604

3454 KENNEDY BLVD.

CARDOZA, JOSE E. & BOSSANO, DIANA

3454 KENNEDY BLVD.

SURVEY

NJ 07307

JERSEY CITY,

SCALE: AS NOTED

No. Date.

R.A. NY LIC.

Seal & Signature.

RAMI A. BITAR, AIA NCARB

NCARB CERT. NO. 64938

NO. 032213

NO. 21AI0180 🖹

Client. KUNI CHOWHAN GN MANAGEMENT LNC. 101 HUDSON ST. SUIT E 1702, JERSEY CITY, NJ



3447 KENNEDY BOULEVARD JERSEY CITY, NJ

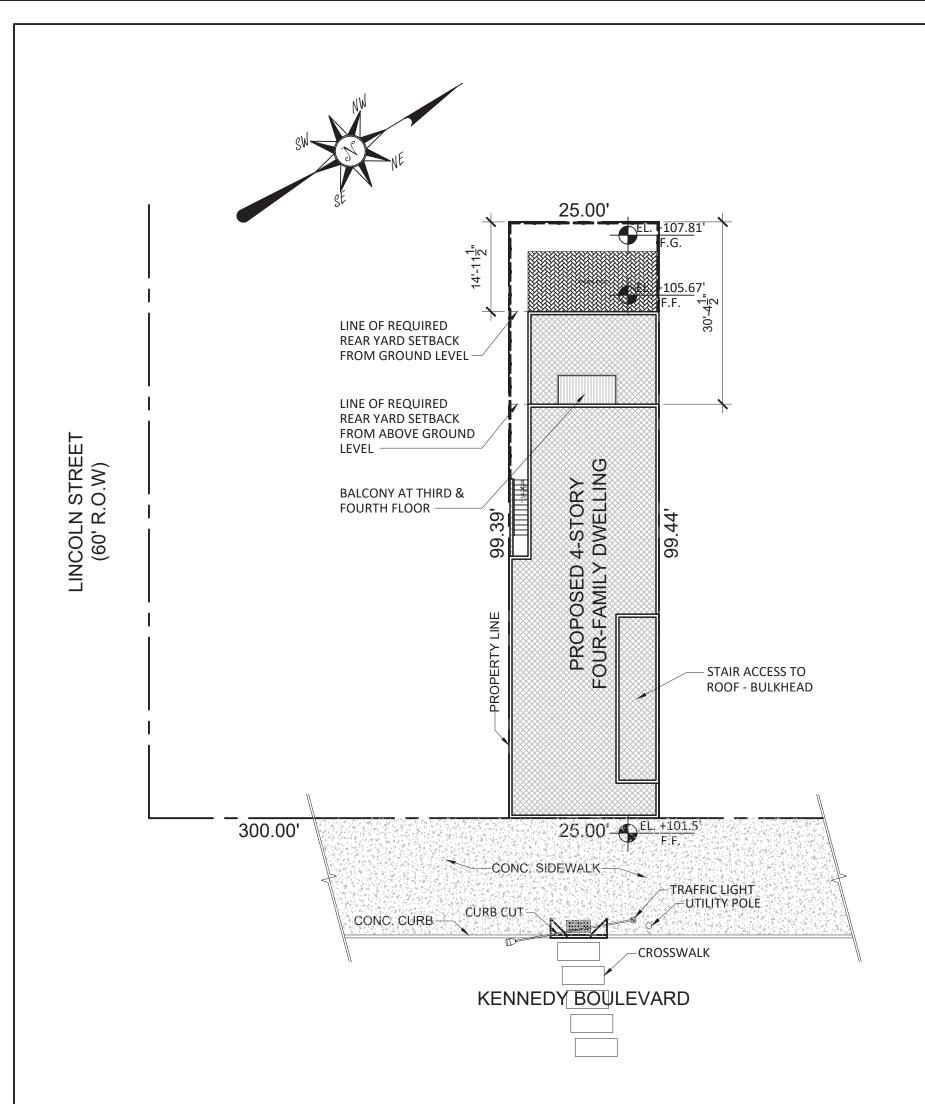
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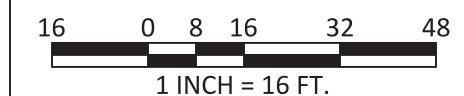
Issue.

BLOCK - 2602, LOT - 19

SURVEY AND TAX MAP

Drawn by	M.C.	Project No. 22181.1
Checked	I by. R.B.	Drawing No.
Date.	12.29.22	A-001
Scale.	NTS	
Sheet.	24"x36"	Page. 2 OF 11





SOIL CALCULATION:

- 1. SEE NOTE "B" BELOW.
- 2. EXCAVATION FOR FOOTINGS AND FOUNDATIONS. A. FOUNDATION WALL 94.00 Ln. Ft.
- B. EXCAVATED SOIL
- 215.00 CUBIC YARDS REGRADE EXISTING YARDS 215.00 CUBIC YARDS
- ALL EXCAVATED SOIL TO BE USED TO BACKFILL EXCAVATED AREAS OR RE-GRADE EXISTING YARDS.

NOTES:

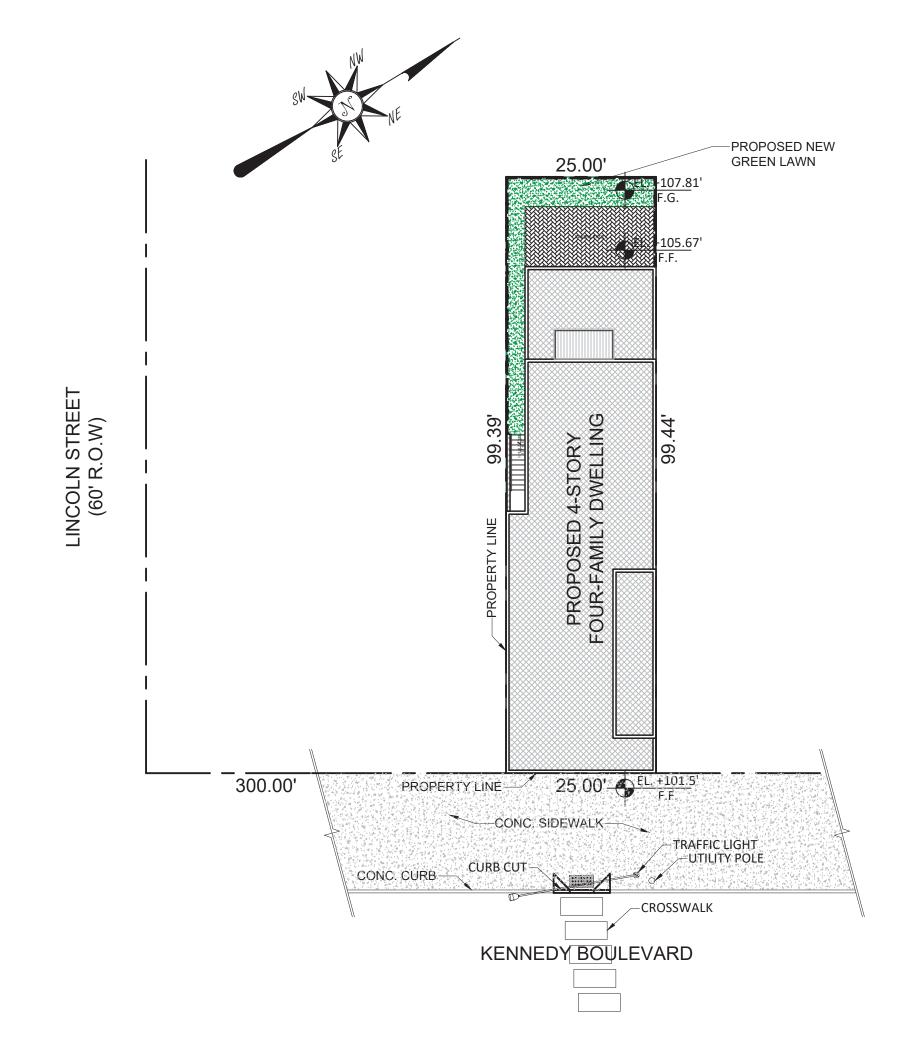
- A. ALL INFORMATION TAKEN FROM SURVEY PROVIDED BY FORMOSA ENGINEERING INC. DATED 03.10.2022 AND SIGNED BY ANDREW K. WU P.E. AND P.L.S. N.J. LIC. NO. GB34581.
- NO SOIL REMOVAL FROM THE SITE IS PROPOSED. SOIL EXCAVATED TO BUILD FOOTINGS AND FOUNDATIONS TO BE USED TO REGRADE EXISTING YARDS.
- PROVIDE MIN. 3'-0" HIGH TEMPORARY SILT FENCE (SYNTHETIC FILTER FABRIC) AROUND CONSTRUCTION AREA AND AT DRIP LINE OF ALL EXISTING TREES TO REMAIN FOR THE ENTIRE DURATION OF ALL CONSTRUCTION ACTIVITIES, TYP.
- INFILTRATION TRENCH TO BE WRAPPED WITH NONWOVEN GEOTEXTILE.
- PRECAST CONCRETE DRYWELL SHALL HAVE 50% VOIDS. BOTTOM OF DRYWELL TO BE MIN. TWO FEET ABOVE WATER TABLE.
- STORMWATER DRYWELL MUST NEVER BE COMBINED WITH EXISTING, REHABILITATED, OR NEW SEPTIC SEEPAGE PITS. DISCHARGE OF SEWAGE TO STORMWATER DRYWELLS IS STRICTLY PROHIBITED.
- DRYWELL SHOULD BE INSPECTED AT LEAST 4 TIMES ANNUALLY AS
- WELL AS AFTER LARGE STORM EVENTS. REGULARLY CLEAN OUT GUTTERS AND ENSURE PROPER
- CONNECTIONS TO DRYWELL. PROVIDE A MIN. OF 1/8" PER FOOT SLOPE AT DRIVEWAY AND PARKING TOWARD INFILTRATION TRENCH AT THE FRONT OF DRIVEWAY.

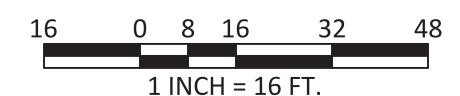
AREA CALCULATIONS:

 BUILDING COVERAGE: A. PROPOSED BUILDING +1,981.38 Sq. Ft. +000.00 Sq. Ft. B. PROPOSED ACCESSORY STRUCTURE +1,981.38 Sq. Ft. C. TOTAL BUILDING COVERAGE 2. LOT COVERAGE +00.00 Sq. Ft PROPOSED DRIVEWAY PROPOSED ACCESSORY STRUCTURES +00.00 Sq. Ft. PROPOSED WALKS AND STEPS +38.33 Sq. Ft. +218.34 Sq. Ft. PROPOSED PAVERS PATIO E. TOTAL NEW LOT COVERAGE +256.67 Sq. Ft. TOTAL

+2,238.05 Sq. Ft.

A. PROPOSED IMPROVED LOT COVERAGE





NOTES:

- 1. EVERY EFFORT TO BE MADE BY THE CONTRACTOR TO PREVENT / MINIMIZE COMPACTION OF SOIL IMMEDIATELY OVER THE TREES ROOT SYSTEM WITHIN THE DRIP
- 2. ALL STUMPS AND OTHER TREE PARTS, LITTER, WEEDS, EXCESS OR SCRAP BUILDING ACCORDANCE WITH NEW JERSEY DEPARTMENT OF ENVIRONMENTAL PROTECTION REGULATIONS, NO TREE STUMPS, PORTIONS OF TREE TRUNKS OR LIMBS SHALL BE BURIED ANYWHERE ON SITE. ALL DEAD OR TYING TREES, STANDING OR FALLEN, SHALL BE REMOVED FROM THE SITE.
- 3. PRIOR TO ANY EXCAVATION FOR THE INSTALLATION OF PLANT MATERIAL, THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION AND ELEVATION OF ANY AND ALL UNDERGROUND UTILITIES.
- 4. THE CONTRACTOR SHALL INSPECT ALL PLANTING AREAS BEFORE ANY OPSOILING OR PLANTING TO ENSURE ADEQUATE DRAINAGE EXISTS. IF ANY AREAS TO BE LANDSCAPED SHOW EVIDENCE OF POOR DRAINAGE, THE CONTRACTOR SHALL NOTIFY THE OWNER IMMEDIATELY FOR CORRECTIVE ACTION. ANY PLANT MATERIAL THAT DIES DUE TO POOR OR INADEQUATE DRAINAGE SHALL BE THE RESPONSIBILTY OF THE LANDSCAPE CONTRACTOR.
- 5. TOPSOIL MOVED DURING THE COURSE OF CONSTRUCTION SHALL BE REDISTRIBUTED SO AS TO PROVIDE AT LEAST SIX (6) INCHES OF COVER TO ALL AREAS TO BE PLANTED AND SHALL BE STABILIZED BY SEEDING, SODDING OR PLANTING.
- 6. TOPSOIL SHALL BE A NATURAL, FRIABLE TOPSOIL, REPRESENTATIVE OF PRODUCTIVE SOILS IN THE VICINITY. IT SHALL BE OBTAINED FROM WELL-DRAINED AREAS, FREE OF SUBSOIL, FOREIGN MATTER, TOXIC SUBSTANCES AND ANY HARMFUL MATERIAL.
- 7. BACKFILL MATERIAL FOR BACKFILLING AROUND TREE / SHRUB BALLS SHALL BE A MIXTURE BY VOLUME OF THE FOLLOWING MATERIALS IN QUANTITIES SPECIFIED: 1/5 PEAT MOSS, ½ TOPSOIL. ADD 15 LBS. OF 20-10-5 FERTILIZER PER CUBIC YARD OF BACKFILL BACKFILL MATERIAL BY ANALYSIS SHALL HAVE AT LEAST 15% ORGANIC
- 8. ALL PLANT MATERIAL THAT IS TO BE INSTALLED TO BE IN FULL COMPLIANCE WITH THE PECIFICATIONS CITED IN THE "PLANT LIST". ANY EVIATION / SUBSTITUTION FROM THE PLANT LIST TO BE REVIEWED AND APPROVED BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PURCHASE OF THE MATERIAL.
- 9. ALL LANDSCAPE MATERIALS TO BE OF NURSERY STOCK AND FREE OF INSECTS AND

- DISEASE. ALL TREES, SHRUBS, AND GROUND COVERS TO COMPLY WITH THE REQUIREMENTS OF ANSI Z60.1 AMERICAN STANDARD FOR NURSERY STOCK AND AS
- FURTHER SPECIFIED. 10. ALL TREES TO BE STRAIGHT TRUNKED AND LEADER(S) INTACT.
- MATERIALS, OR OTHER DEBRIS SHALL BE REMOVED FROM THE SITE AND DISPOSED OF IN 11. PLANTING BEDS RECEIVING MULCH SHALL BE TREATED WITH A COMPLIANCE WITH THE SPECIFICATIONS CITED IN THE "PLANT LIST". ANY DEVIATION/SUBSTITUTION FROM THE PLANT LIST TO BE REVIEWED ANDAPPROVE BY THE PROJECT LANDSCAPE ARCHITECT PRIOR TO THE PURCHASE OF THE MATERIAL
 - 12. IF AFTER REGRADING ROCK IS EXPOSED PLANTINGS SHALL BE ADJUSTED ACCORDINGLY. 13. MAINTENANCE
 - A. BEGIN MAINTENANCE IMMEDIATELY AFTER PLANTING.
 - B. MAINTAIN TREES, SHRUBS, AND OTHER PLANTS UNTIL FINAL ACCEPTANCE, BUT IN NO CASE LESS THAN 30 DAYS AFTER SUBSTANTIAL COMPLETION OF PLANTING.
 - MAINTAIN TREES, SHRUBS AND OTHER PLANTS BY PRUNING, CULTIVATING, AND WEEDING AS REQUIRED FOR HEALTHY GROWTH, RESTORE PLANTING SAUCERS. TIGHTEN AND REPAIR STAKE AND GUY SUPPORTS AND RESET TREES ND SHRUBS TO PROPER GRADES OR VERTICAL POSITION AS REQUIRED. RESTORE OR REPLACE DAMAGED WRAPPINGS. SPRAY AS REQUIRED TO KEEP TREES AND SHRUBS FREE OF INSECTS AND DISEASE.
 - MAINTAIN LAWNS FOR NOT LESS THAN THE PERIOD STATED BELOW, AND LONGER AS REQUIRED TO ESTABLISH AND ACCEPTABLE LAWN. E. SEEDED LAWNS, NOT LESS THAN 60 DAYS AFTER SUBSTANTIAL COMPLETION.
 - F. IF SEEDED IN FALL AND NOT GIVE FULL 60 DAYS OF MAINTENANCE, OR IF NOT CONSIDERED ACCEPTABLE AT THAT TIME, CONTINUE MAINTENANCE FOLLOWING SPRING UNTIL ACCEPTABLE LAWN IS ESTABLISHED.
 - G. SODDED LAWNS, NOT LESS THATN 30 DAYS AFTER SUBSTANTIAL COMPLETION. MAINTAIN LAWNS BY WATERING, FERTILIZING, WEEDING, MOWING, TRIMMING, AND OTHER OPERATIONS SUCH AS ROLLING, REGRADING, AND REPLANTING AS REQUIRED TO ESTABLISH A SMOOTH, ACEPTABLE LAWN, FREE OF ERODED OR BARE AREA

14 BERGEN STREET, HACKENSACK, NJ 07601 T: 201.343.3000 F:201.343.3030 www.rabarchitects.com

KUNI CHOWHAN GN

MANAGEMENT LNC.

101 HUDSON ST. SUIT E 1702,

JERSEY CITY, NJ

No. Date. Issue. Seal & Signature.

RAMI A. BITAR, AIA NCARB R.A. NJ LIC. NO. 032213 R.A. NY LIC. NO. 21AI0180 NCARB CERT. NO. 64938

Project.

3447 KENNEDY BOULEVARD. JERSEY CITY, NJ

BLOCK - 2602, LOT - 19

Sheet.

SITE PLAN AND LANDSCAPING PLAN

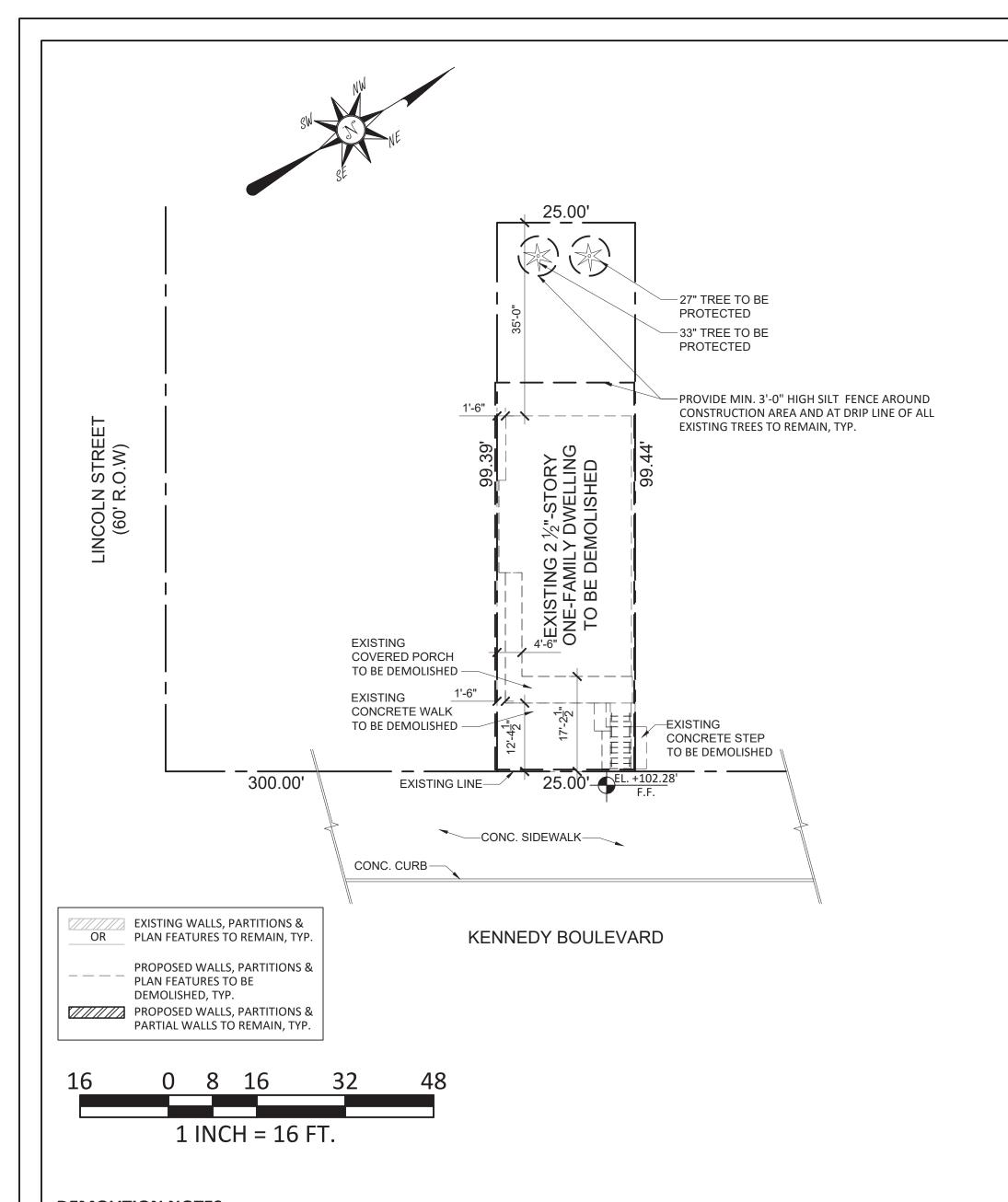
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SITE PLAN

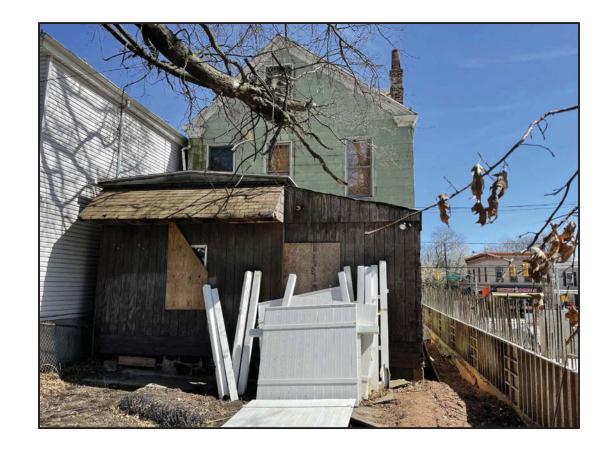
LANDSCAPING PLAN

SCALE: 1/16"=1'-0"

SCALE: 1/16"=1'-0"









KUNI CHOWHAN GN MANAGEMENT LNC. 101 HUDSON ST. SUIT E 1702, JERSEY CITY, NJ



No. Date. Issue. Seal & Signature. RAMI A. BITAR, AIA NCARB

R.A. NJ LIC. NO. 032213

R.A. NY LIC. NO. 21AI0180 NCARB CERT. NO. 64938

3447 KENNEDY BOULEVARD. JERSEY CITY, NJ

BLOCK - 2602, LOT - 19

DEMOLITION PLAN

Checked by. R.B. Drawing No. 12.29.22 Scale. Page. 4 OF 11 24"x36"

DEMOLITION NOTES:

- 1. ALL WORK SHALL CONFORM TO APPLICABLE PROVISIONS OF ALL STATE AND LOCAL CODES AND ORDINANCES.
- 2. IT IS THE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AS THEY RELATE TO CONSTRUCTION AND DEMOLITION. REPORT TO THE OWNER AND STRUCTURAL ENGINEER ALL OBSERVATIONS AND ANY DISCREPANCIES BEFORE PROCEEDING WITH WORK. IN AREAS OF DISCREPANCY, DEMOLITION SHALL NOT PROCEED WITHOUT WRITTEN APPROVAL FROM THE OWNER AND ENGINEER OF RECORD.
- 3. WHERE DETAILS FOR SPECIFIC CONDITIONS ARE NOT SHOWN ON THESE PLANS, USE DETAILS FOR THE MOST NEARLY SIMILAR CONDITIONS SHOWN ON THE STRUCTURAL DRAWINGS AS DETERMINED BY THE OWNER AND STRUCTURAL ENGINEER OF RECORD. REPORT ANY COORDINATION ISSUES IMMEDIATELY TO THE ARCHITECT FOR REVIEW.
- 4. IT IS THE SOLE RESPONSIBILITY OF THE GENERAL CONTRACTOR TO PROVIDE FOR A SAFE AND EFFICIENT METHOD OF SHORING AND/OR BRACING THE EXISTING STRUCTURE AS REQUIRED DURING ALL DEMOLITION AND CONSTRUCTION PHASES. NOTE THAT TEMPORARY BRACING IS REQUIRED FOR ALL COLUMNS AND WALLS TO REMAIN WHERE INTERCONNECTED FRAMING MEMBERS ARE TO BE REMOVED.
- 5. DEMOLITION OF FRAMING ELEMENTS SHOWN ON THESE DRAWING MAY VARY BASED ON THE CONSTRUCTION SEQUENCE AND THE SCHOOL REQUIREMENTS TO REMAIN OPERATIONAL DURING CONSTRUCTION. THE CONTRACTOR SHALL PROVIDE ADEQUATE CONTINGENCY IN BUDGET AND SCHEDULE TO ALLOW FOR MODIFICATIONS AND REVISIONS AS REQUIRED DUE TO THESE SPECIAL
- REMOVE ALL EXISTING CONSTRUCTIONS AND FINISHES NECESSARY FOR THE COMPLETION OF THE WORK AS DEPICTED ON THE DRAWINGS. INCLUDING BUT NOT LIMITED TO, ITEMS SHOWN ON THE PLANS WITH DASHED LINES. NECESSARY DISCONNECTS AND ALTERATIONS TO EXISTING MECHANICAL AND

 14. DEMOLITION WORK SHALL BE PERFORMED IN SUCH A MANNER AS TO ELECTRICAL SYSTEMS SHALL BE INCLUDED. PATCH AS REQUIRED ALL CONSTRUCTIONS TO REMAIN IN ACCORDANCE WITH THE CONTRACT DRAWINGS. WHERE CONTRACTOR IS DESIGNATED TO MAKE REMOVALS, DISPOSITION OF MATERIALS IS THE RESPONSIBILITY OF THE CONTRACTOR. VERIFY WITH OWNER, THE DISPOSITION AND REMOVAL OF ANY COMPONENTS OF SALVAGEABLE VALUE.
- 7. ALL REMOVALS AND SALVAGE, UNLESS SPECIFICALLY NOTED OR REQUESTED BY THE OWNER SHALL BECOME THE PROPERTY OF THE CONTRACTOR.
- REMOVE ONLY NON-LOAD BEARING CONSTRICTION AND PARTITIONS. CONTRACTOR TO VERIFY, PRIOR TO REMOVAL, THAT NO STRUCTURAL COMPONENTS, I.E. BEARING WALLS, BEAMS, HEADERS, ETC.. SUPPORTING FLOOR, ROOF OR CEILING JOISTS ARE DESIGNATED FOR REMOVAL. CONTACT THE ARCHITECT PRIOR TO REMOVAL OF ANY CONSTRUCTION IN QUESTION OR DEVIATING FROM THE DESIGN INTENT. CONTRACTOR'S NON-CONTACT OF ARCHITECT PRIOR TO REMOVAL OF ANY WORK INDICATES HIS COMPLETE UNDERSTANDING THAT NO LOAD BEARING OR STRUCTURAL WORK IS BEING ALTERED UNDER THIS CONTRACT.
- 9. ALL STRUCTURAL SYSTEMS SHALL BE MAINTAINED AND SHALL BE OF

SUFFICIENT STRENGTH TO SUPPORT THE DESIGN LOADS AND TO RESIST THE

DEMOLITION PLAN

DEFORMATION CAUSED BY SUCH LOADS TO WHICH THEY SOIL PRESSURE INCLUDING SURCHARGE, HYDROSTATIC HEAD AND IMPACT LOADS AS

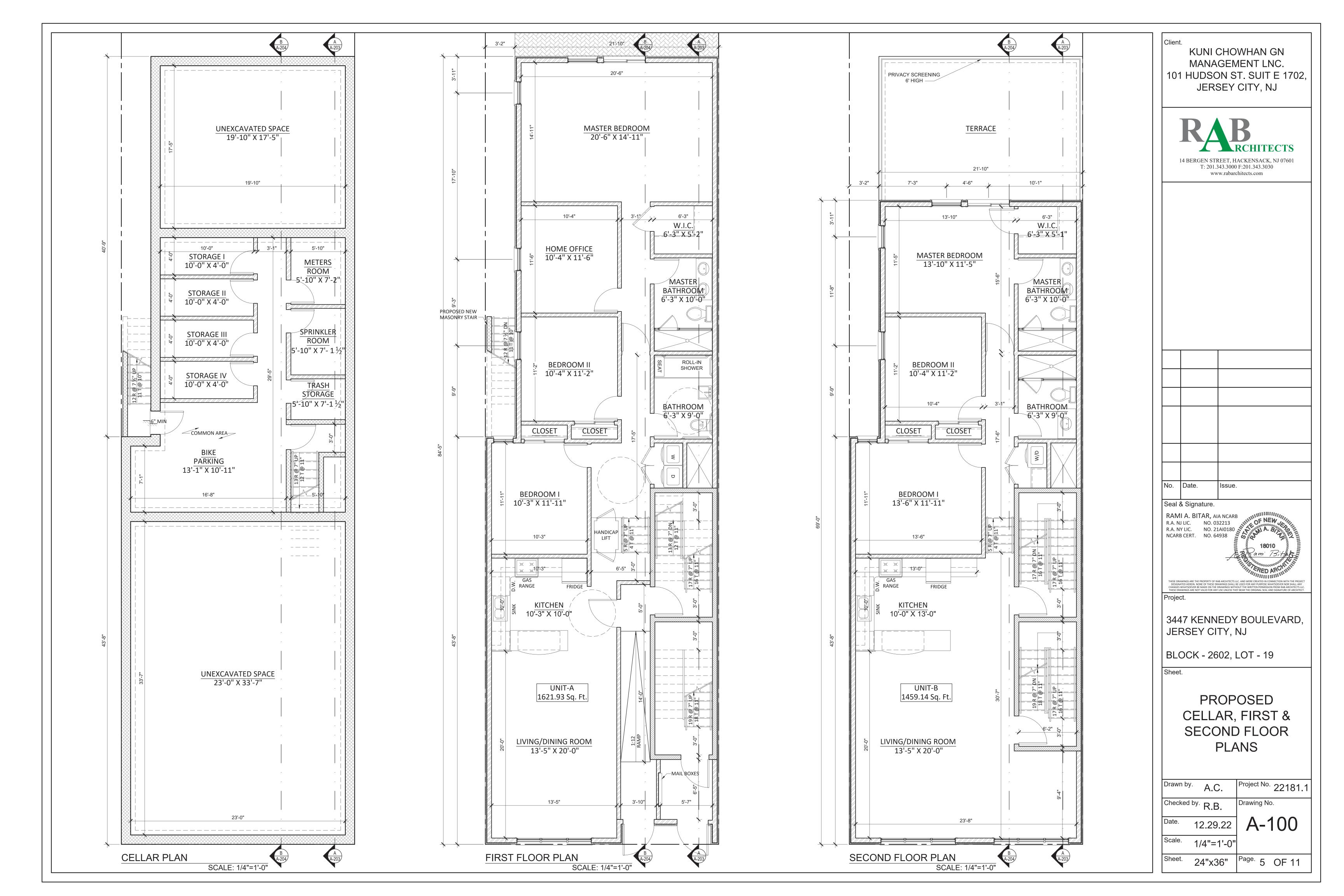
APPLICABLE. MINIMUM DESIGN LOAD VALUES SHALL BE AS FOLLOWS: 100 P.S.F. LIVE LOAD (FIRST FLOOR)

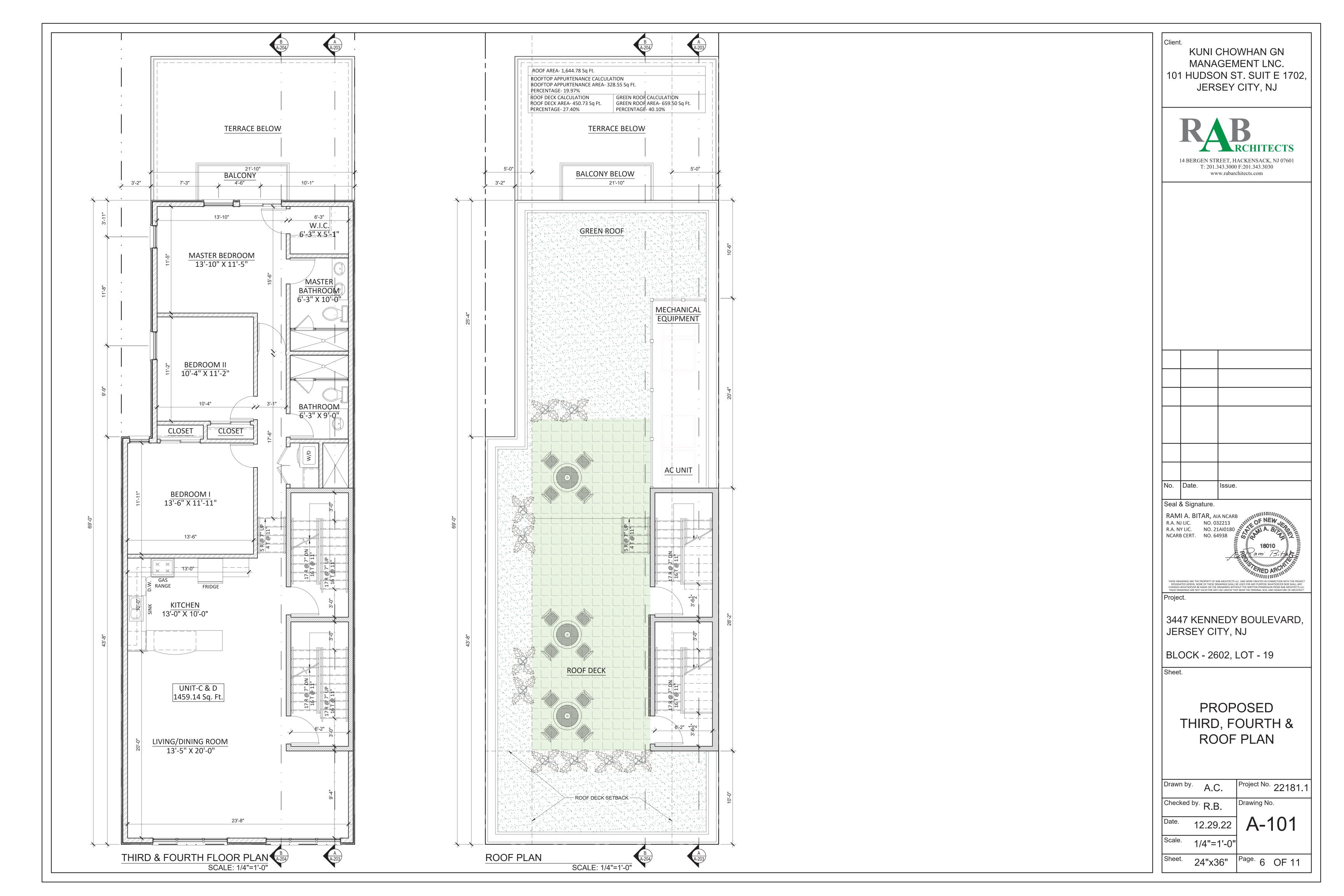
35 P.S.F. LIVE LOAD (SNOW)

20 P.S.F. DEAD LOAD (FLOORS/ROOF)

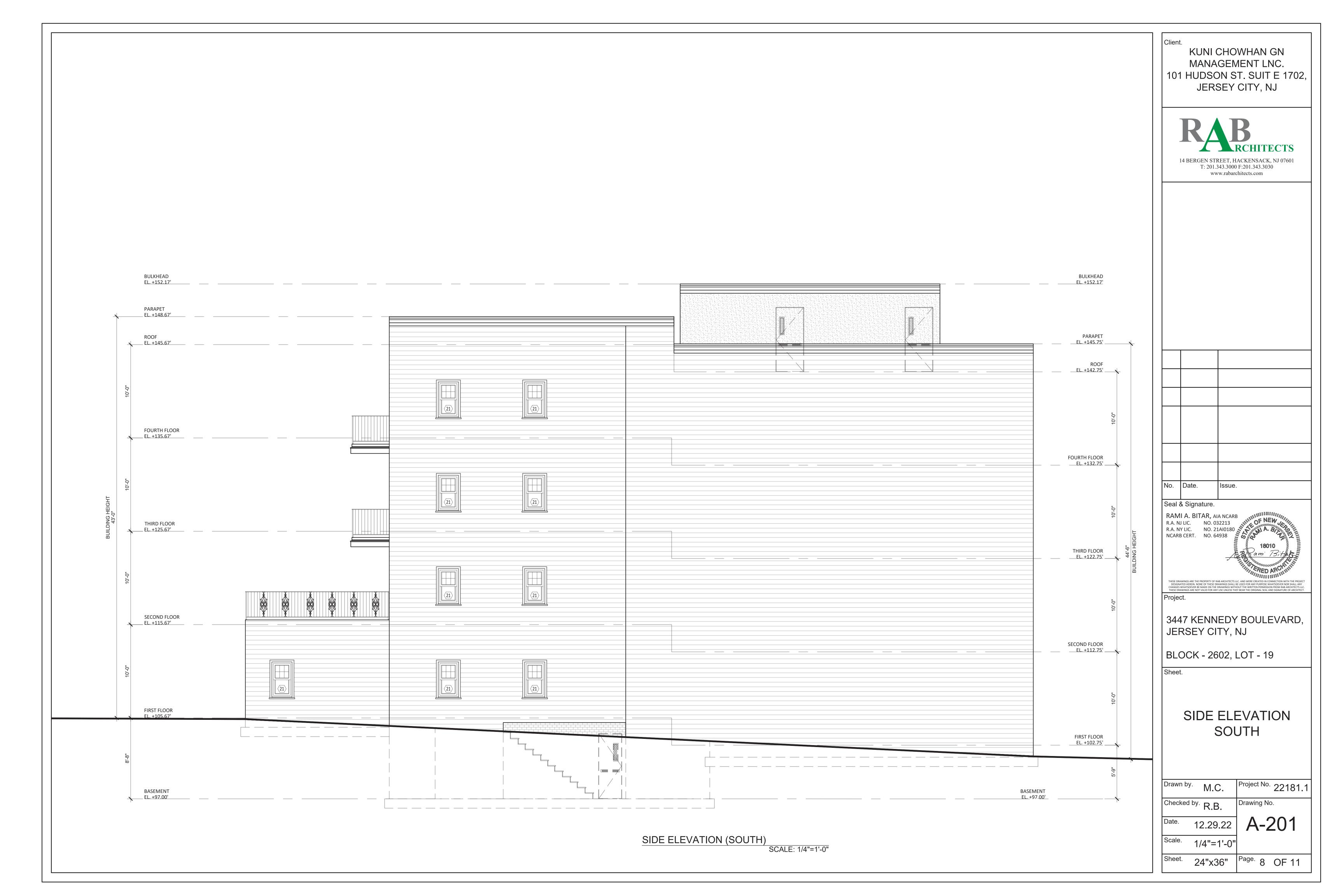
MAXIMUM ALLOWABLE DEFLECTION @ L/360 OF SPAN

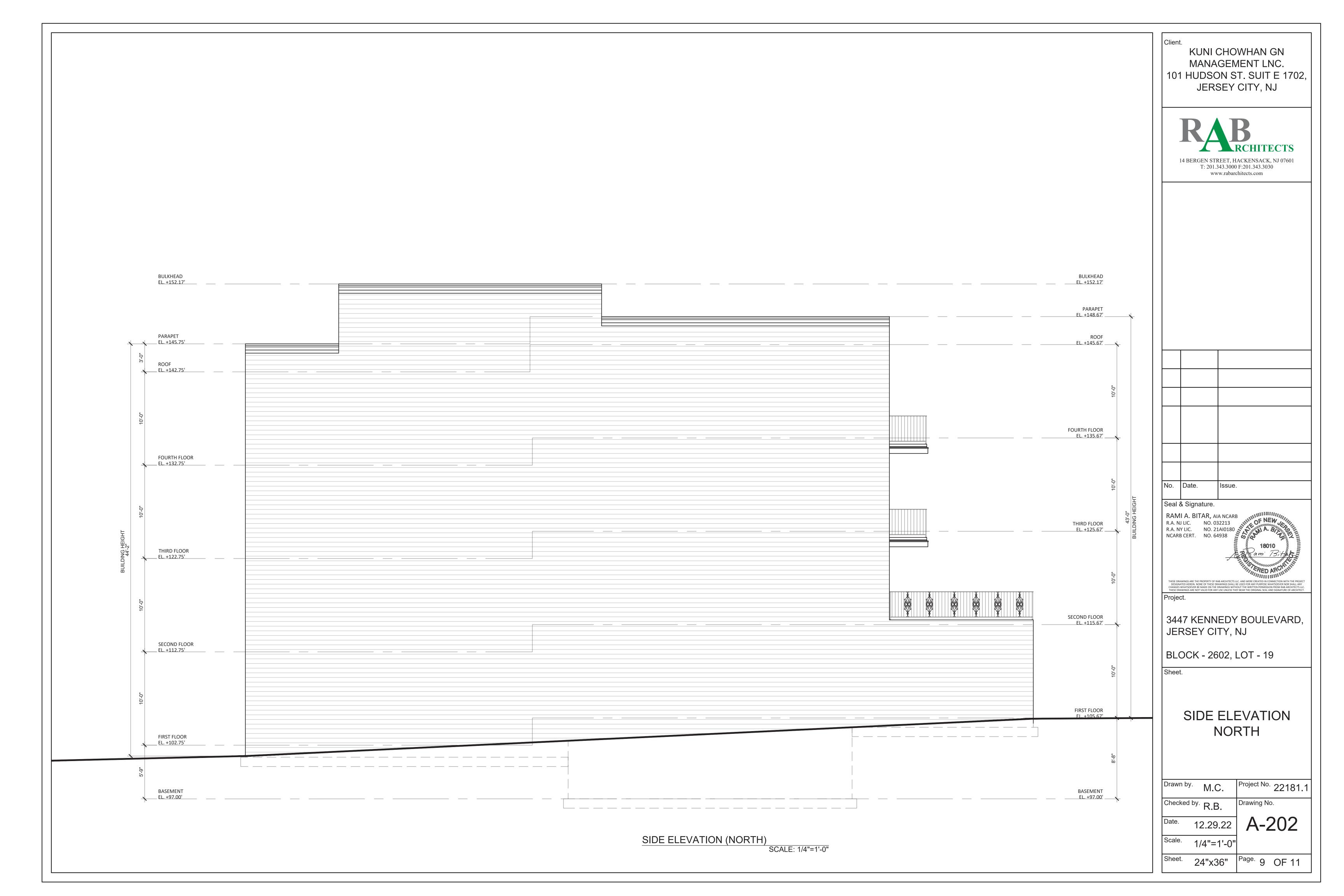
- 10. PATCH ALL FINISHES TO MATCH EXISTING, INCLUDING BUT NOT LIMITED TO, GYPSUM BOARD, PLASTER, ACOUSTIC SYSTEMS, WOOD TRIM, COVERS, BASE, PANELS, RAILS AND WAINSCOT. VERIFY MATCH OF NEW FINISH MATERIALS TO EXISTING IN COLOR, TEXTURE, THICKNESS, CUT, ETC... TO SATISFACTION OF OWNER PRIOR TO INSTALLATIONS. PROVIDE OTHER MATERIALS TO MATCH EXISTING WHEN REQUIRED. TO BE APPROVED BY OWNER.
- 11. PATCH EXISTING WALLS GYPSUM DRYWALL OR PLASTER TO MATCH EXISTING OF SUFFICIENT THICKNESS TO MAINTAIN UNIFORM WALL THICKNESS. ALL EXPOSED PORTIONS OF WALL SHALL BE FINISHED WITH THREE (3) COATES OF SPECKLING, SANDED AND LEFT IN A PAINT READY CONDITION.
- 12. WHERE APPLICABLE LEVEL ALL EXISTING FLOORS AS REQUIRED TO RECEIVE NEW FLOOR FINISHES. INSTALL REQUIRED TRANSITION PIECES BETWEEN VARIOUS FLOOR FINISHES SUITABLE FOR CONDITIONS AND ACCEPTABLE TO THE OWNER. MATCH EXISTING WHEREVER POSSIBLE.
- 13. THE CONTRACTOR SHALL ENGAGE A STRUCTURAL ENGINEER, LICENSED IN THE STATE OF NEW JERSEY TO PROVIDE STAMPED STRUCTURAL CALCULATIONS AND DRAWINGS FOR ALL TEMPORARY SHORING AND BRACING SYSTEMS, AS WELL AS AN ANALYSIS OF ANY TEMPORARY LOADS THAT THE CONTRACTOR CHOOSES TO IMPOSE UPON THE EXISTING STRUCTURE.
- PRESERVE THE INTEGRITY OF ALL ADJACENT STRUCTURAL ELEMENTS. WHERE NECESSARY, PRECUT CONNECTIONS TO STRUCTURAL ELEMENTS TO REMAIN IN ORDER TO AVOID DAMAGE DURING REMOVAL OF CONNECTED FRAMING MEMBERS. UTILIZE HAND TOOLS WHERE REQUIRED. THE CONTRACTOR SHALL TAKE ALL NECESSARY MEASURES TO PROTECT THE EXISTING BUILDING ELEMENTS TO REMAIN DURING DEMOLITION. DO NOT CUT OR ALTER ANY OF THE EXISTING STRUCTURE OR ARCHITECTURAL ELEMENTS TO REMAIN WITHOUT PRIOR WRITTEN APPROVAL FROM THE ARCHITECT OR ENGINEER OF RECORD. PROVIDE PROTECTION FOR EXISTING WALLS, COLUMNS, BRACES, AND OTHER BUILDING ELEMENTS TO REMAIN FROM FALLING DEBRIS. ANY DAMAGE TO EXISTING ELEMENTS TO REMAIN SHALL BE REPAIRED BY THE CONTRACTOR AT HIS OWN EXPENSE.
- 15. ALL BIDDERS SHALL VISIT THE SITE TO BECOME FAMILIAR WITH THE EXISTING FACILITY, LIMITATIONS TO ACCESS THE BUILDING FOR PERSONNEL AND EQUIPMENT, AND OTHER COORDINATION RELATED ISSUES. ANY DISCREPANCIES, OMISSIONS, OR VARIATIONS NOTED ON THE DRAWINGS OR IN THE SPECIFICATIONS THAT ARE DISCOVERED DURING THE BIDDING PERIOD SHALL BE IMMEDIATELY COMMUNICATED IN WRITING TO THE OWNER AND ENGINEER.

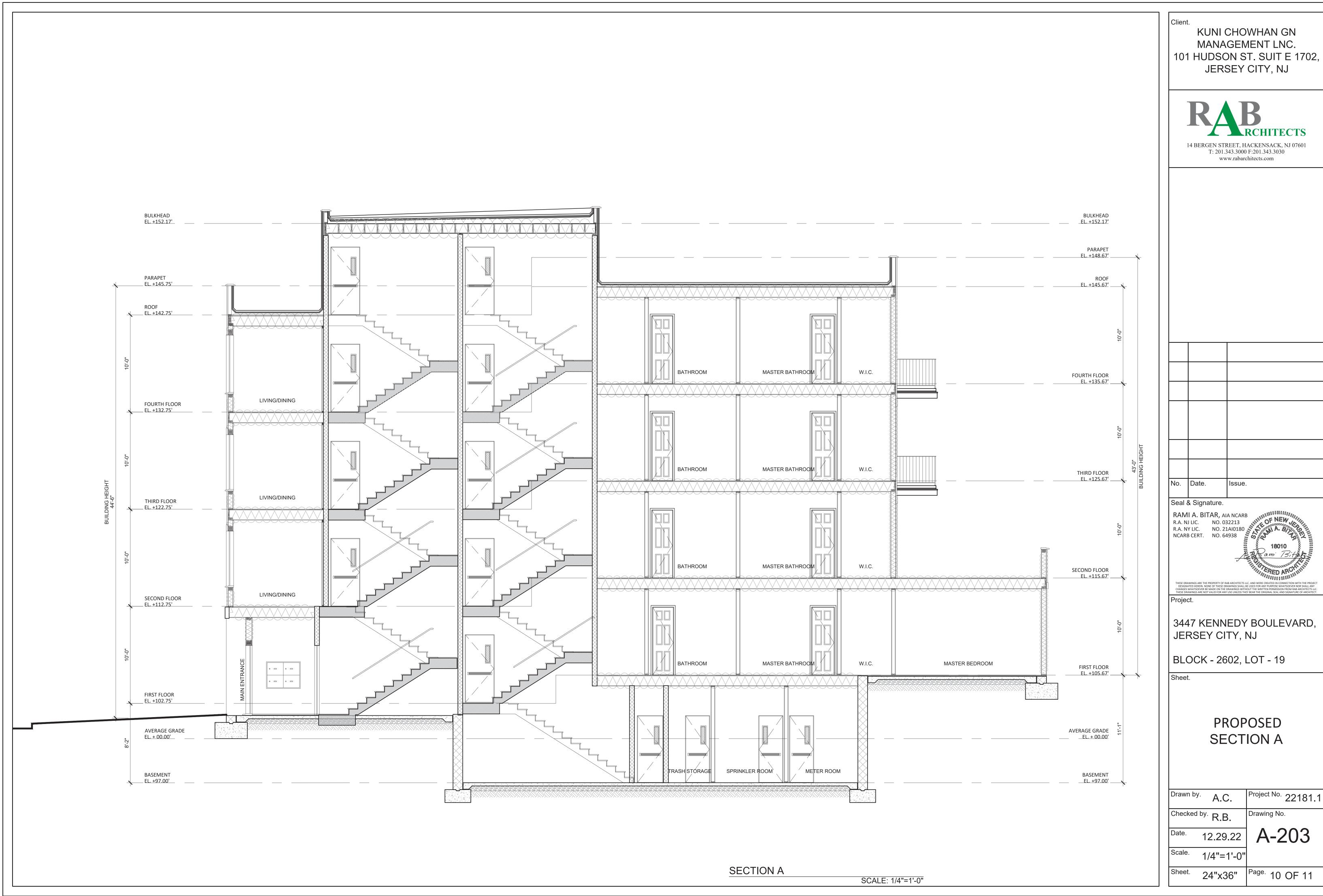




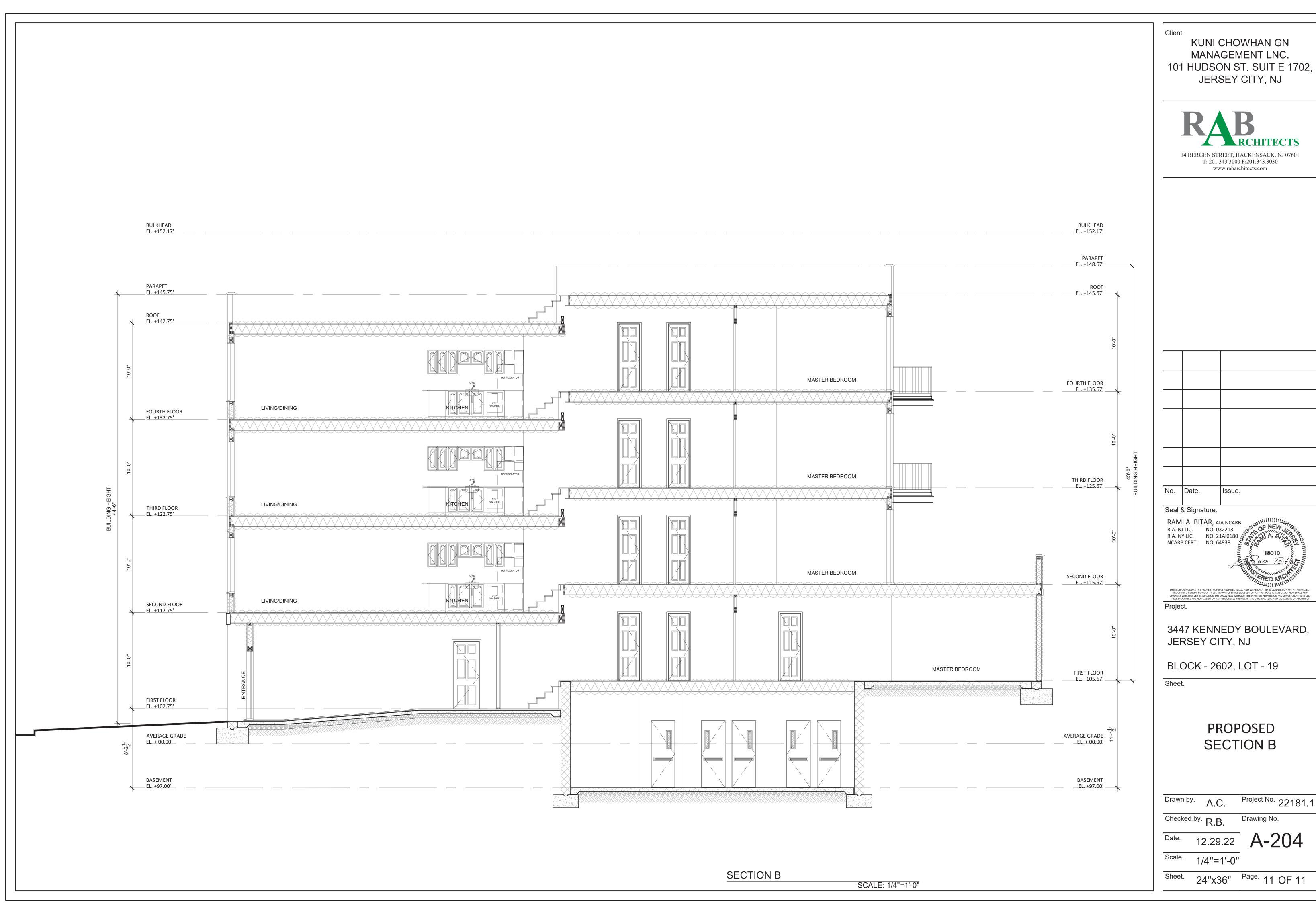








24"x36" | Page. 10 OF 11



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