

PROPOSED MIXED-USE APARTMENT BUILDING
605-607 GROVE STREET
JERSEY CITY, HUDSON COUNTY, NJ
BLOCK: 7105 | LOT: 8,9

Weckenmann
Architecture, LLC

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ZONING TABULATION CHART - JERSEY AVENUE LIGHT RAIL REDEVELOPMENT PLAN - NEIGHBORHOOD DISTRICT

BLOCK: 7105
LOT: 8,9
EXISTING USE: VACANT LOT
PROPOSED USE: R-2 - MULTI-FAMILY RESIDENTIAL OVER M/B COMMERCIAL USE
TOTAL LOT AREA: 5,000 S.F. / 0.115 ACRES
FLOOD ZONE: ZONE AE (EL. 11.0 FEET)

NEIGHBORHOOD DISTRICT:

ORDINANCE	REQUIREMENT	EXISTING	PROPOSED	DEVIATION
PERMITTED USES	RESIDENTIAL, OFFICE, RETAIL, MIX OF USES	VACANT LOT	MIXED-USE APARTMENT BUILDING	NO
ACCESSORY USES	RETAIL, HEALTH CLUBS, FENCES, SIGNS	FENCES	RETAIL, SIGNS	NO

RESIDENTIAL DENSITY BONUS B AFFORDABLE HOUSING BONUS SOUGHT, HEIGHT, AREA, YARD, BULK REQUIREMENTS SUPERCEDED BY BONUS PROVISIONS

BONUS B - AFFORDABLE HOUSING BONUS:

ORDINANCE	REQUIREMENT	EXISTING	PROPOSED	DEVIATION
PERMITTED PRINCIPAL USES	SAME AS BASE DISTRICT	VACANT LOT	MIXED-USE APARTMENT BUILDING	NO
PERMITTED ACCESSORY USES	RETAIL, HEALTH CLUBS, FENCES, SIGNS	FENCES	RETAIL, SIGNS	NO
MAXIMUM PERMITTED DENSITY	NO REQUIREMENT, BUILDING ENVELOPE	0 UNITS	575 UNITS / ACRE	NO
MAXIMUM PERMITTED HEIGHT	LOTS 4,000 - 14,999 S.F. - 12 STORIES / 140'	N/A (VACANT LOT)	12 STORIES / 126.14"	NO*
BASE REQUIREMENT	BASE SHALL NOT EXCEED 60'	N/A (VACANT LOT)	2 STORY BASE -23'-11" HIGH	NO
MIN. FL TO CLG. HEIGHTS	GROUND FLR COMMERCIAL: 12 FEET RESIDENTIAL UPPER FLOORS: 8 FEET	N/A (VACANT LOT)	GROUND FLR COMM.: 12'-6" RESIDENTIAL UPPER FLRS: 9'-7"	NO
MAX. LOT COVERAGE	75% LOT COVERAGE AT BASE	0% (VACANT LOT)	100% (98.4% BLDG COV)**	YES**
MAX. BUILDING COVERAGE	70% BUILDING COVERAGE FOR TOWER	0% (VACANT LOT)	93.2% UPPER FLRS. (4,657.5 S.F.)	YES**
MIN. FRONT YARD SETBACK	15' SIDEWALK REQ'D MEAS. FROM CURB LINE	N/A (VACANT LOT)	10.2' & 15.27' SIDEWALK WIDTH	YES***
MIN. SIDE YARD SETBACK	0 FEET	N/A (VACANT LOT)	0 FEET	NO
MIN. REAR YARD SETBACK	NO REAR YARD, CORNER LOT	N/A	N/A	NO
TOP STORY STEPBACK	10 FEET REQ'D AT PRIMARY FACADE	N/A	10 FEET	NO
MIN. FACADE SEPARATION	75 FEET FROM PRIMARY FACADE	N/A	N/A	N/A
PARKING STANDARDS	0 MIN, 0.5 MAX SPACE PER. 1 PER 1000 S.F. OTHER USES	0 SPACES	0 SPACES	NO
FRONTAGE REQUIREMENT	10% COMM. FRONTAGE REQUIRED	N/A	24.1%	NO
BICYCLE PARKING	0.5 SPACE PER UNIT (32.5 REQUIRED)	0 SPACES	34 SPACES	NO
FAR	WAIVED W/ AFFORD. HOUSING BONUS	0.0	11.3	NO
MAX APPURTENANCE HEIGHT	20% OF BLDG. HT. (25.9 FT. MAX.)	--	15.75'	NO
MAX. APPURTENANCE COVERAGE	15.4 % ROOF AREA (4,155.5 ROOF S.F. 638 APP. S.F.)	--	15.4%, 30.75 FT. SETBACK.	NO

* WHERE A PROPERTY IS LOCATED WITHIN THE "ONE PERCENT (1%) ANNUAL CHANCE FLOOD HAZARD AREA," THE NUMBER OF FEET REQUIRED TO REACH THE BASE FLOOD ELEVATION PLUS ONE FOOT SHALL BE ADDED TO THE MAXIMUM PERMITTED HEIGHT OF THE BUILDING. THIS PROVISION SHALL APPLY TO ALL PROPERTY WITHIN ANY REGULAR ZONE DISTRICT OR WITHIN ANY DULY ADOPTED REDEVELOPMENT PLAN AREA.

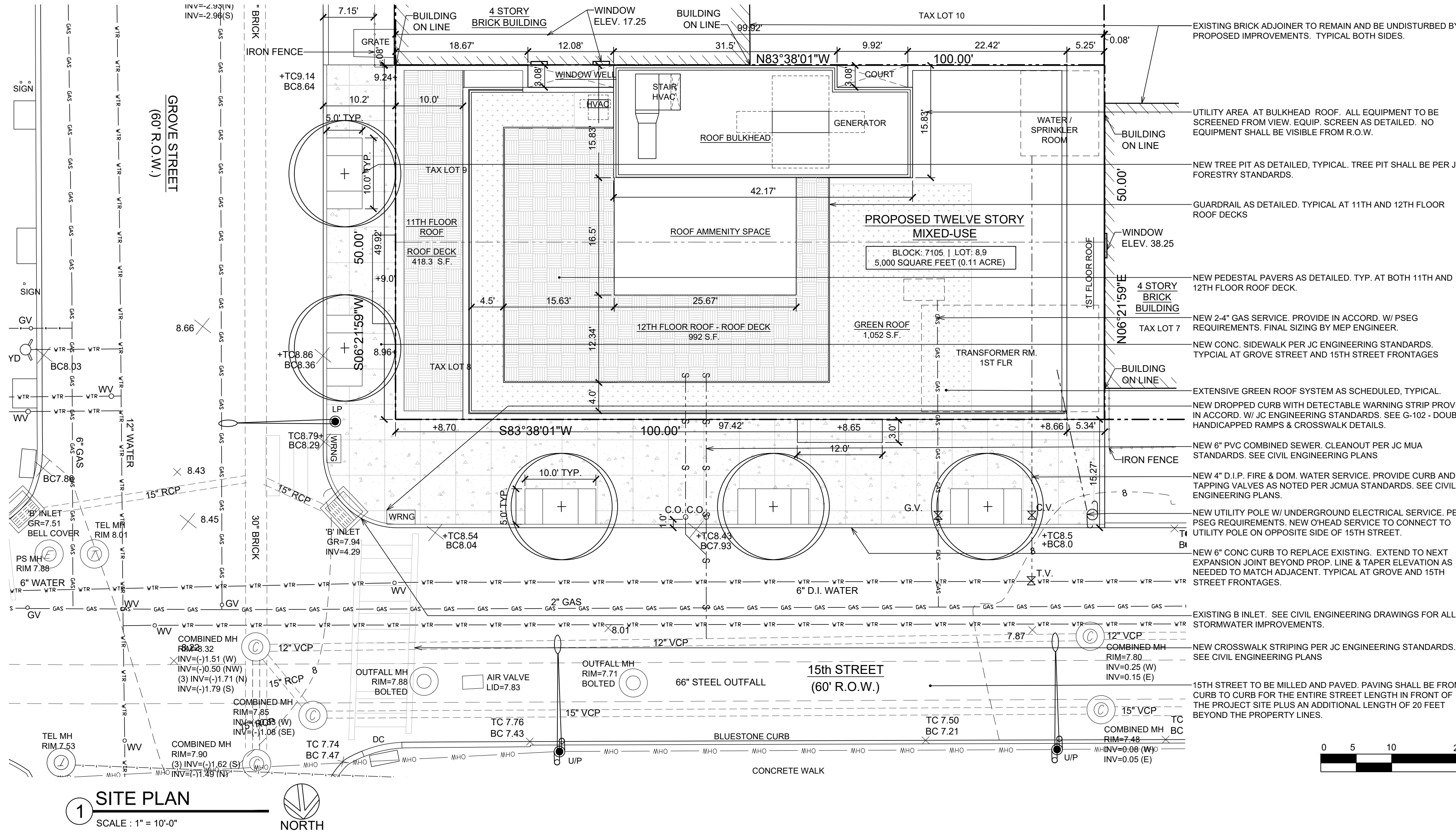
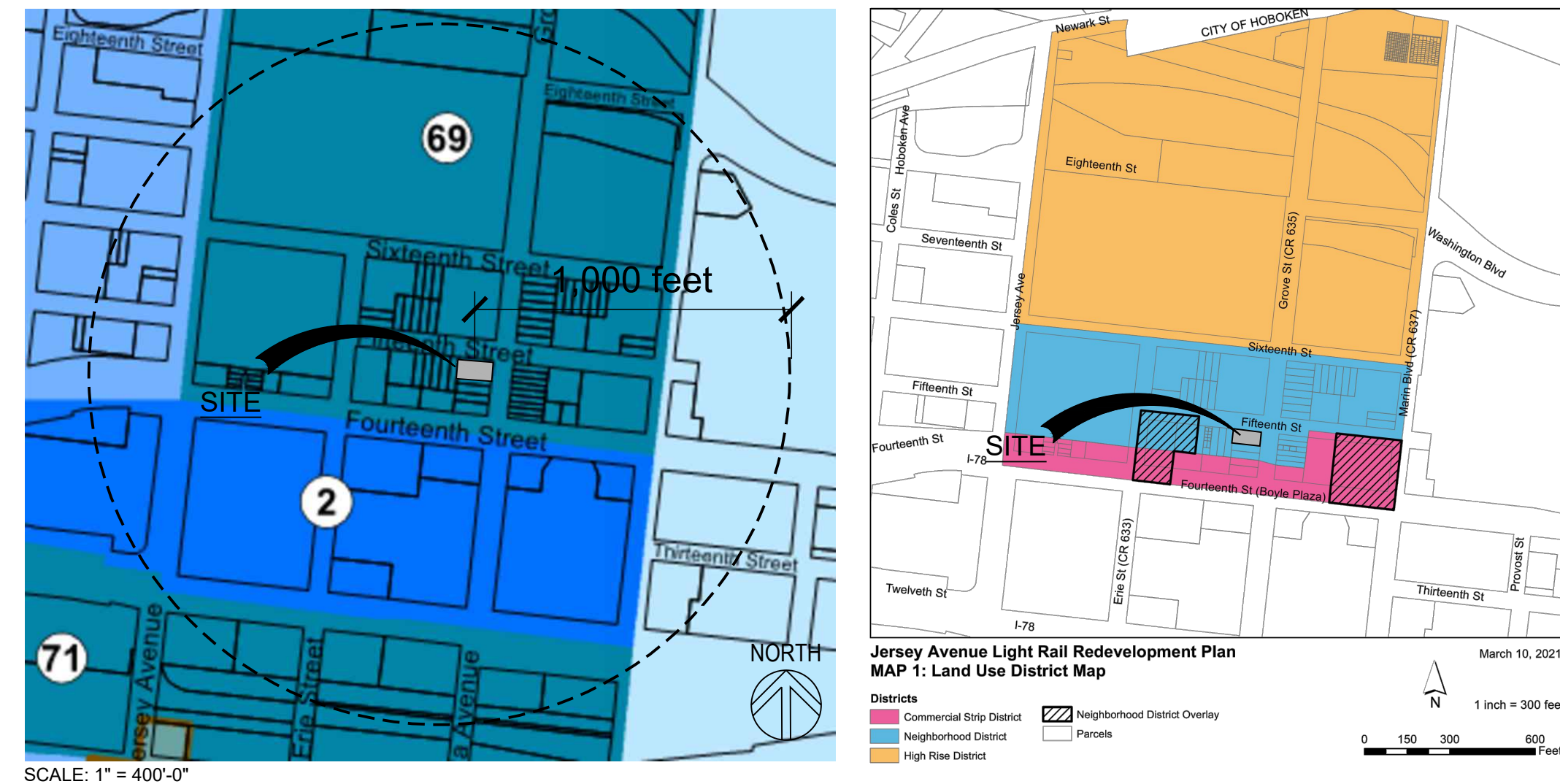
** BUILDING HAS 1,052 S.F. OF GREEN ROOF AREA. SUBTRACTING GREEN ROOF FROM LOT COVERAGE YIELDS 3,948 S.F. OR 78.9% TOTAL IMPERVIOUS COVERAGE. BUILDING HAS NO REAR YARD (TWO FRONT YARDS AND TWO SIDE YARDS) WHICH RESULTS IN INCREASED BUILDING AND LOT COVERAGES FOR CORNER LOTS.

*** 15.27 FT SIDEWALK PROVIDED ON 15TH STREET. THE LONGER FRONTAGE: 10.2' SIDEWALK MATCHES THE PREDOMINANT SIDEWALK WIDTH OF THE BLOCK. 15' SIDEWALK WIDTH DOES NOT EXIST ON GROVE STREET. ADJACENT SIDEWALK WIDTH IS 7.15 FEET.

BICYCLE PARKING: 345-60 SUPPLEMENTAL ZONING REQUIREMENT APPLICABLE TO ALL ZONES & REDEVELOPMENT PLANS.

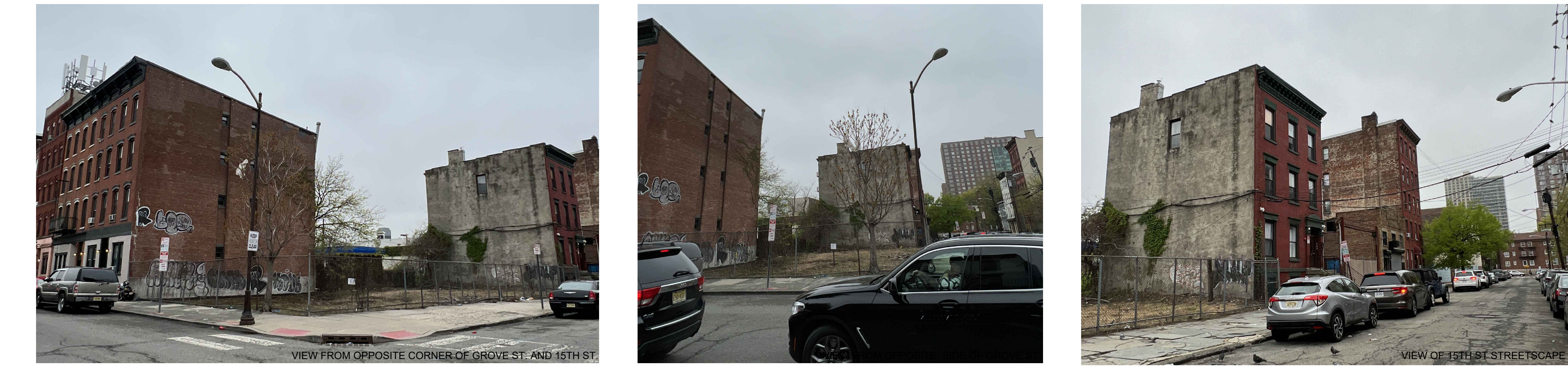
ITEM 5) DESIGN REQUIREMENTS: NO WAIVERS ARE SOUGHT FROM BUILDING DESIGN REQUIREMENTS. MASONRY FACADE PROVIDED, HORIZONTAL VISUAL BREAK PROVIDED, BETWEEN 2ND AND 3RD FLOOR WITH DOUBLE HEIGHT WINDOW BAYS. BUILDING AND PRIMARY ENTRANCE FRONTS ON THE PUBLIC STREET. NO DESIGN WAIVERS FROM SECTION IV ARE SOUGHT.

ZONING MAPS



GROSS BUILDING AREA		UNIT COUNTS					AFFORDABLE MIX			DRAWING LIST		SURVEYOR	SIGNATURES	
FLOOR - USE	GROSS AREA (S.F.)	UNIT TYPE	QTY.	BEDS	BATHS	AVG. S.F.	VERY LOW	LOW	MODERATE	ARCHITECTURAL DRAWINGS		DRESDNER ROBIN 55 LANE ROAD, SUITE 220 FAIRFIELD, NJ 07004 THOMAS J. REEVES, PLS. LICENSE No. 24GS04344500 SURVEY DATE: 10.25.2022	CHAIRMAN	DATE
FIRST FLOOR	4,921.2 S.F.	STUDIO	25	25	25	443.4 S.F.	--	1	2	G-100 ZONING CHART, ZONING MAPS, SITE PLAN & PROJECT INFO. G-101 MUA DETAILS & NOTES, FORESTRY DETAILS & PLANTING SCHEDULE, EXTERIOR LIGHT FIXTURE SCHEDULE, DETAILS				
RESIDENTIAL LOBBY - 448.3 S.F.		1 BED, 1 BATH	20	20	20	622.1 S.F.	--	2	2	G-102 SITE DETAILS				
COMMERCIAL SPACE - 1,184.5 S.F.		2 BED, 2 BATH	20	40	40	905.4 S.F.	--	1	1	A-100 FIRST FLOOR PLAN				
AMENITY SPACE - 469.9 S.F.		3 BED, 1 BATH	1	3	1	853.3 S.F.	1	--	--	A-101 SECOND - ELEVENTH FLOOR PLAN (TYPICAL)				
UTILITY / B.O.H. - 2,818.5 S.F.	46,575.0 S.F.	TOTAL	66	88	86		1	4	5	A-102 TWELFTH FLOOR PLAN				
2ND - 11TH FLOORS (4,657.5 S.F. / FL.)										A-103 ROOF PLAN				
TWELFTH FLOOR	4,163.5 S.F.										A-200 15TH STREET (NORTH) AND GROVE STREET (EAST) ELEVATION			
ROOFTOP AMENITY SPACE	1,059.5 S.F.										A-201 SIDE (SOUTH) AND REAR (WEST) ELEVATIONS			
ROOF DECK - 992 S.F. (N.I.C. IN G.S.F.)											A-202 ENLARGED ELEVATIONS			
TOT. GROSS BUILDING SQUARE FOOTAGE		56,719.2 S.F.									A-203 SHADOW ANALYSIS			
											A-204 EXTERIOR MATERIAL SELECTIONS			
											A-205 CONCEPTUAL RENDERING			

EXISTING SITE PHOTOS



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William J Weckenmann, RA



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NY LIC.: 038403

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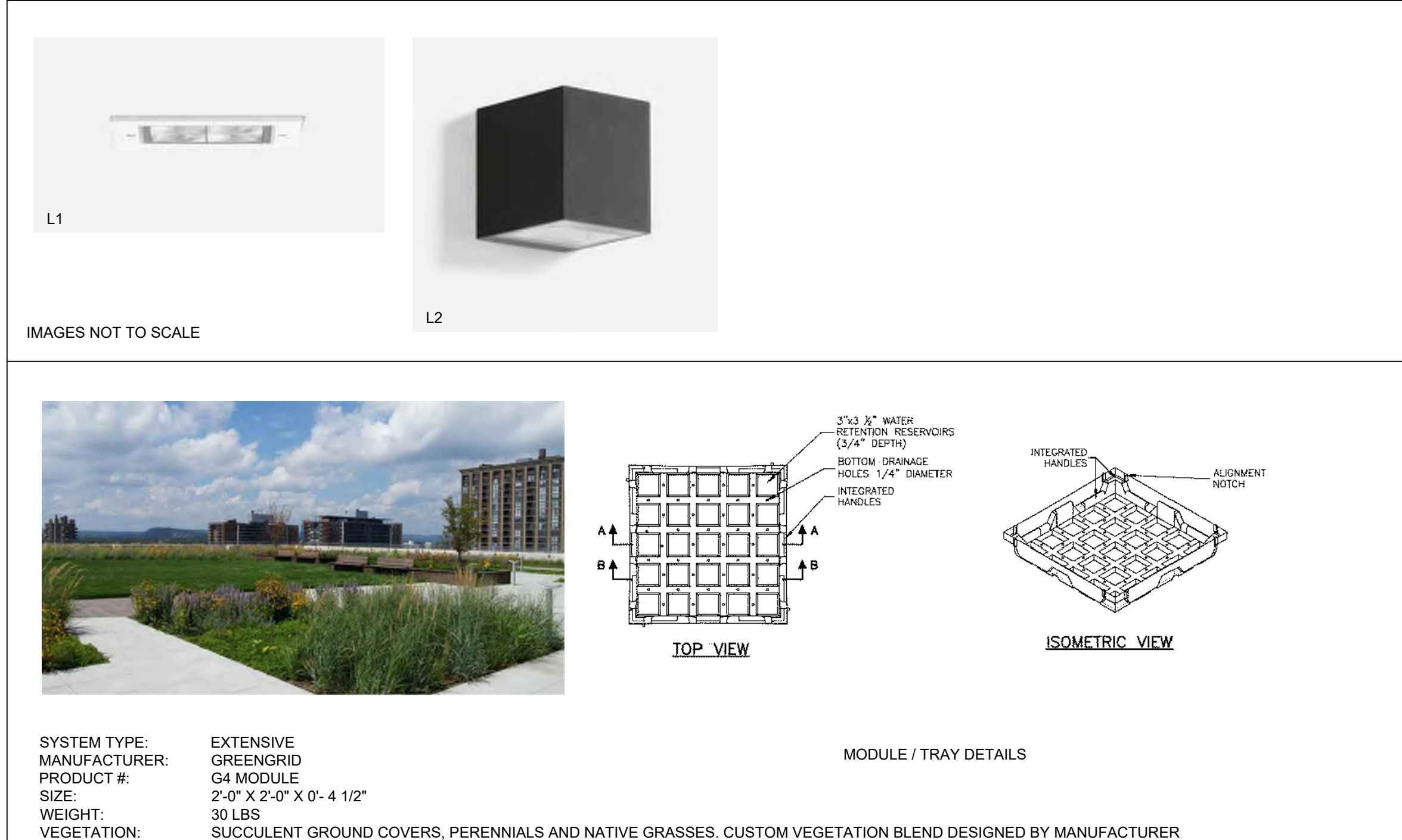
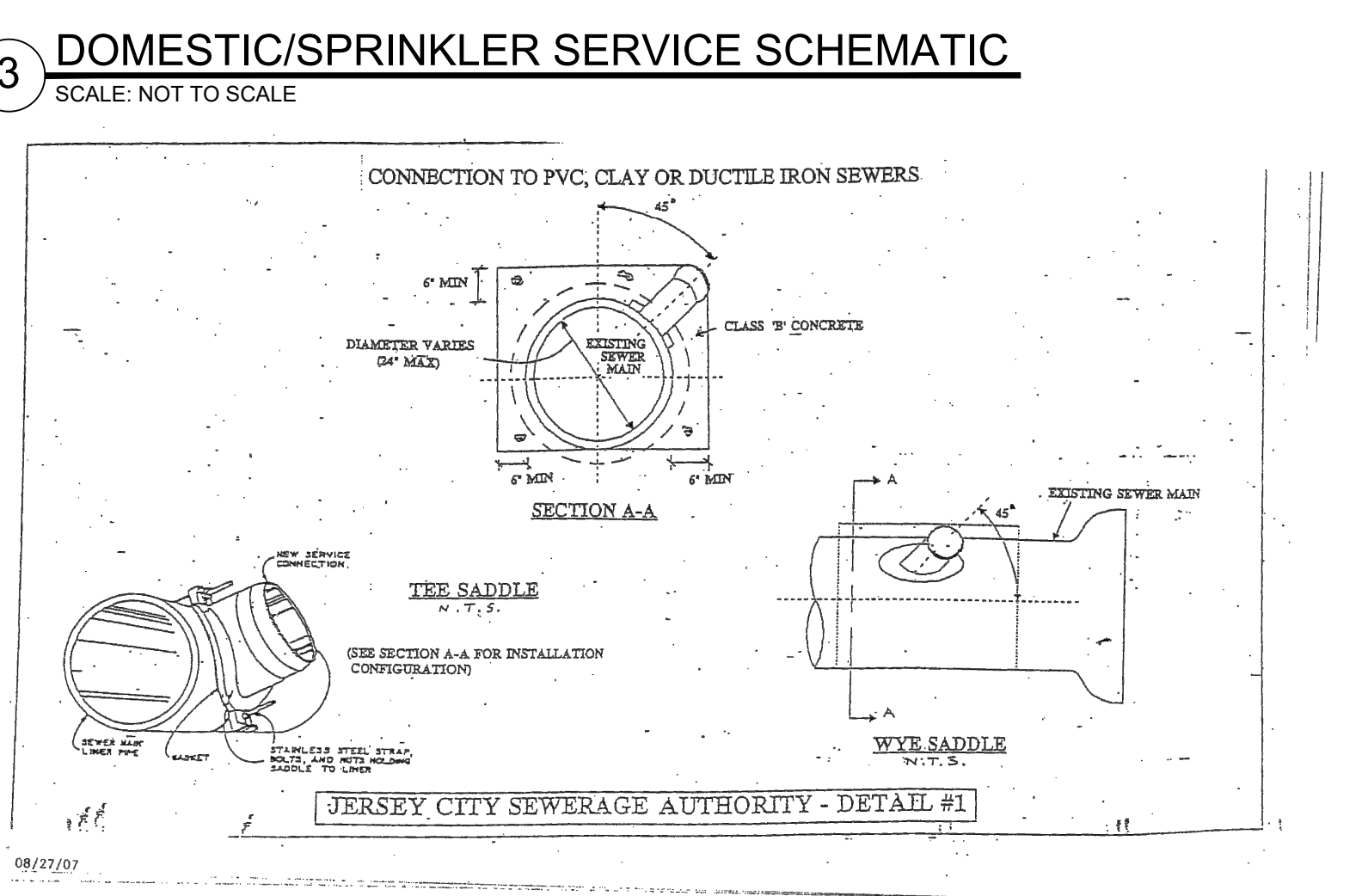
ZONING CHART, ZONING
MAPS, SITE PLAN AND
PROJECT INFO.


SHEET NUMBER:

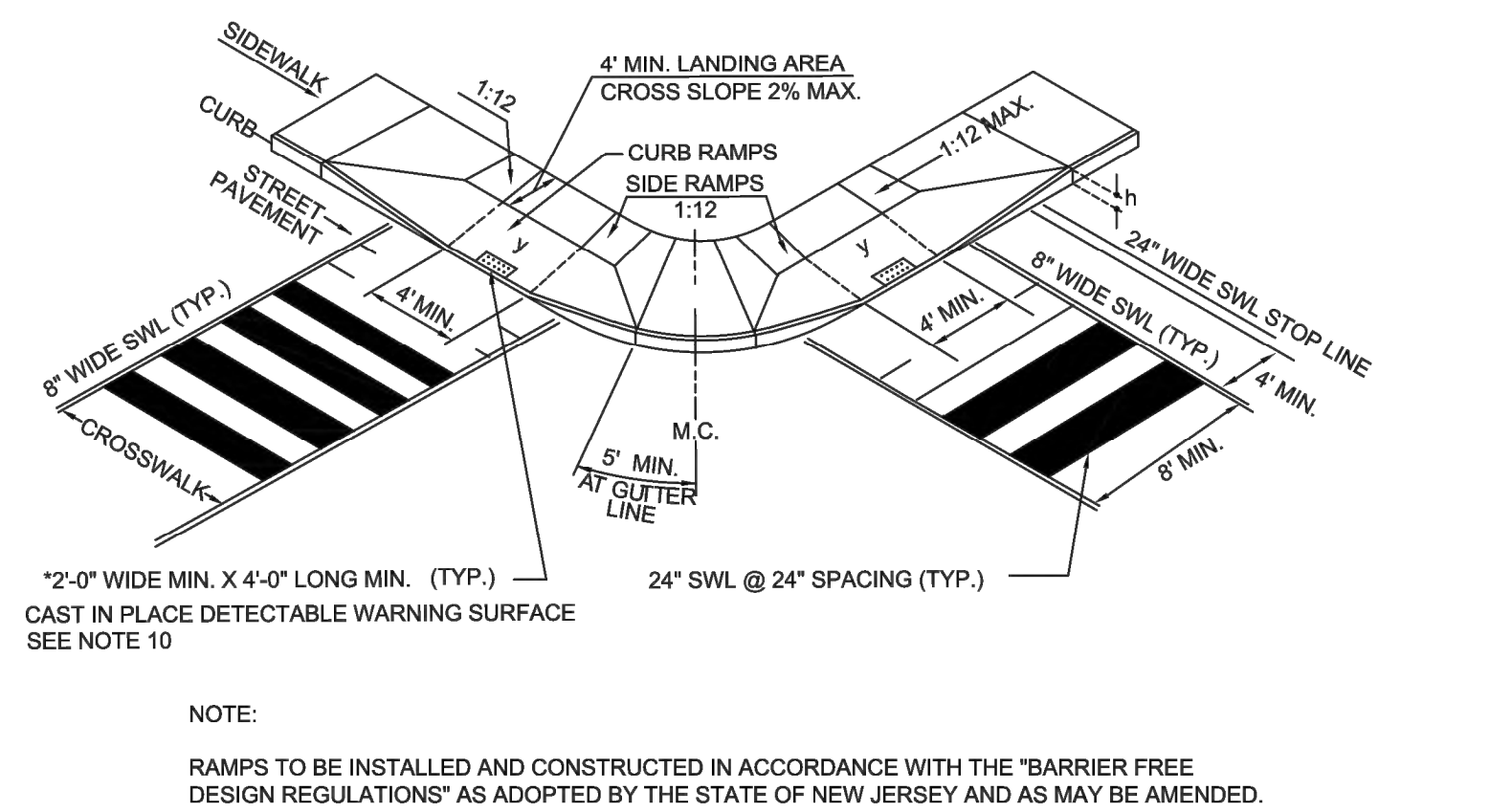
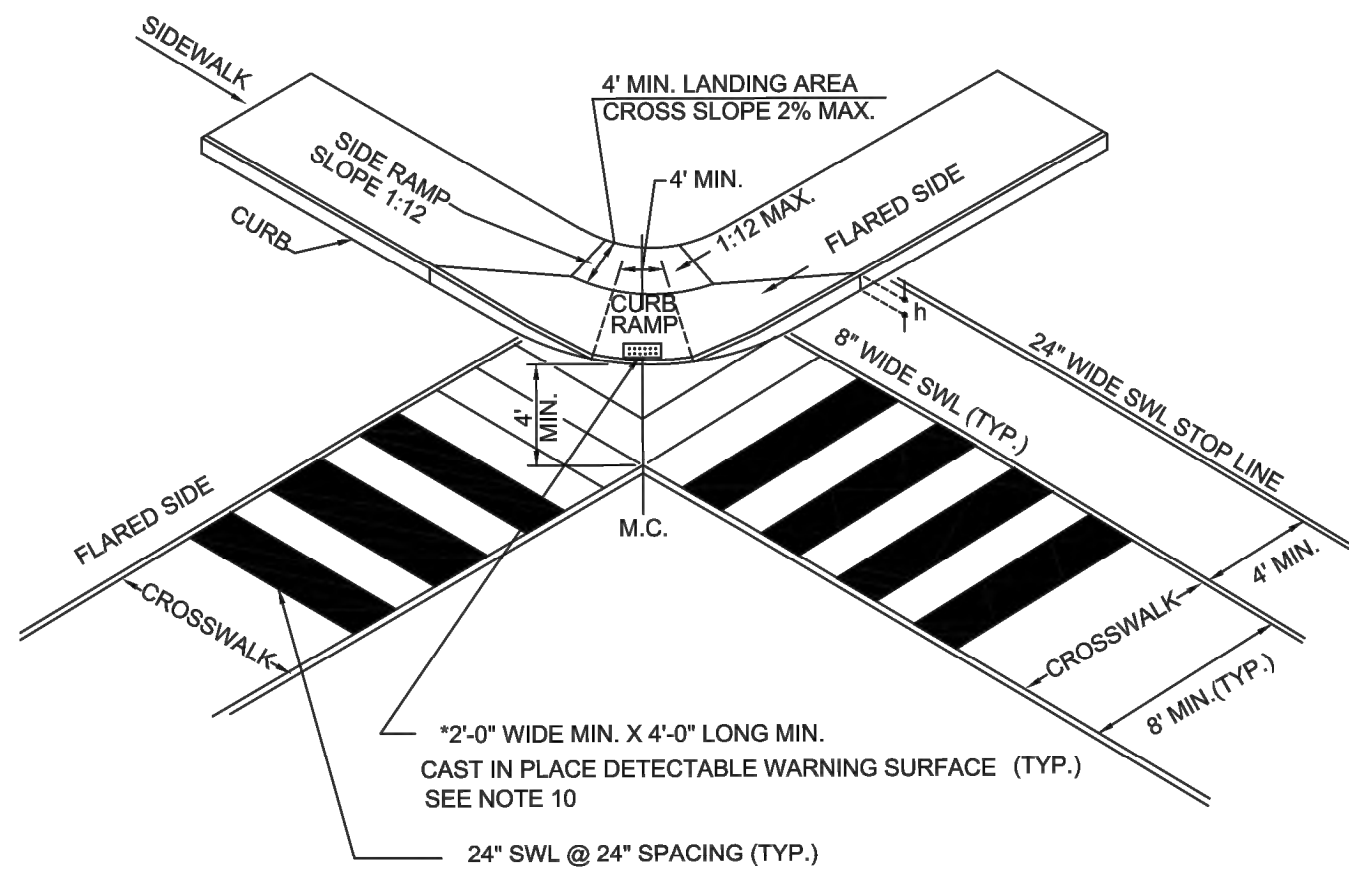
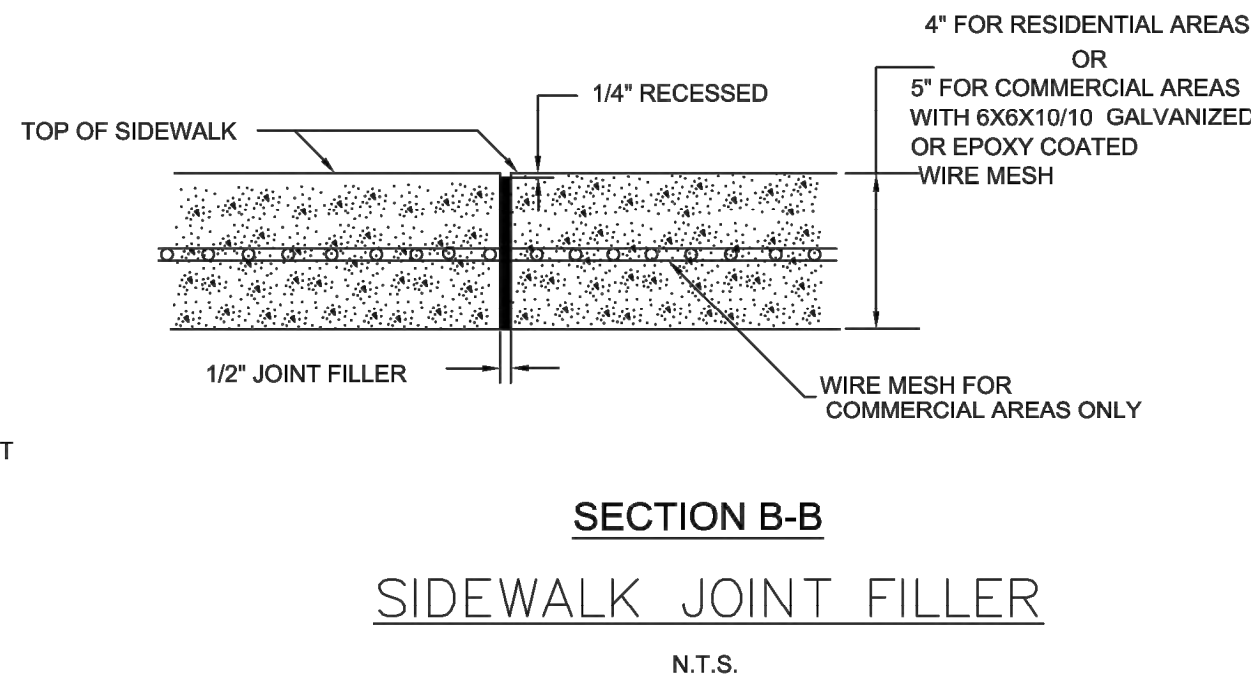
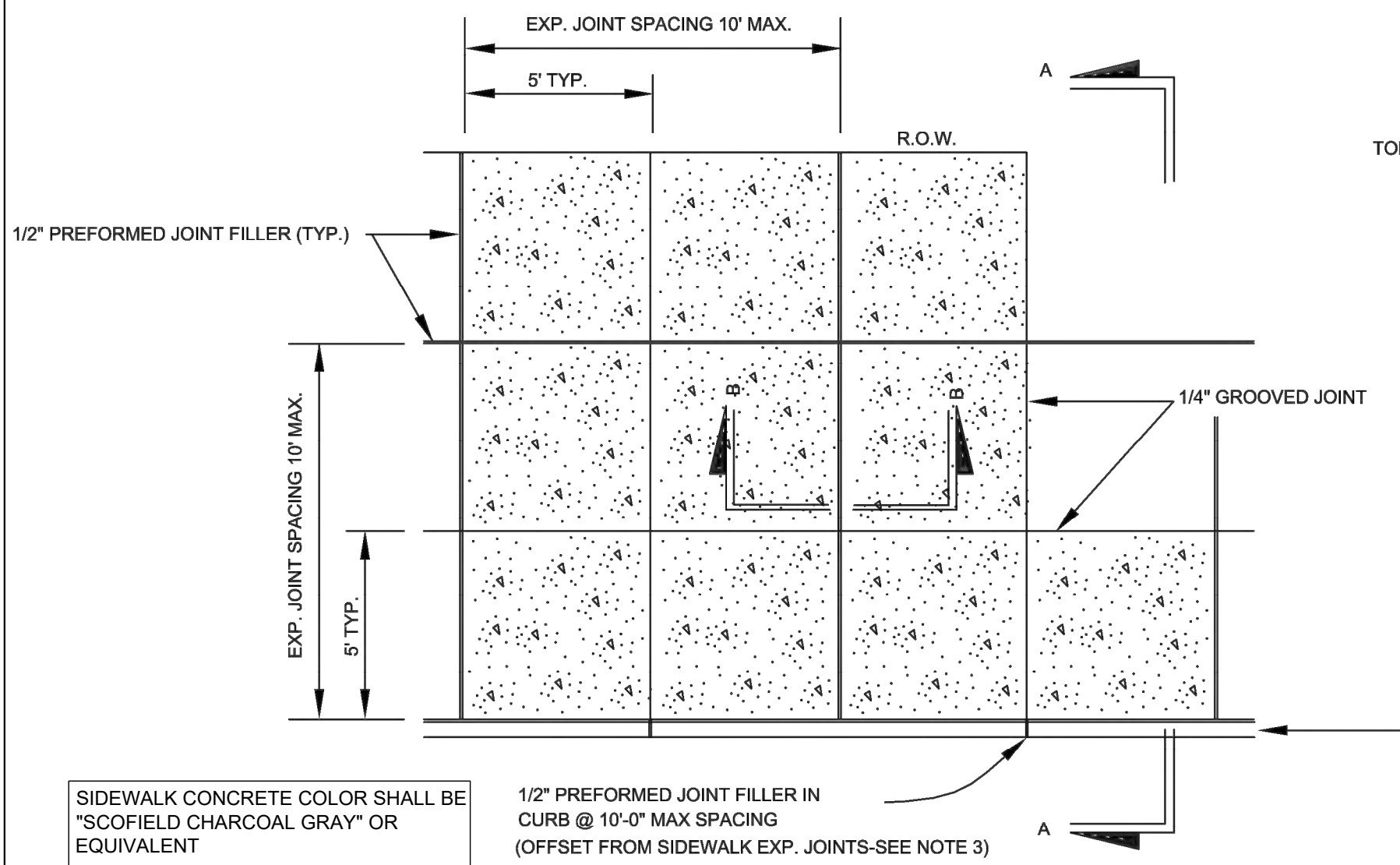
G-100

SCALE: AS SHOWN

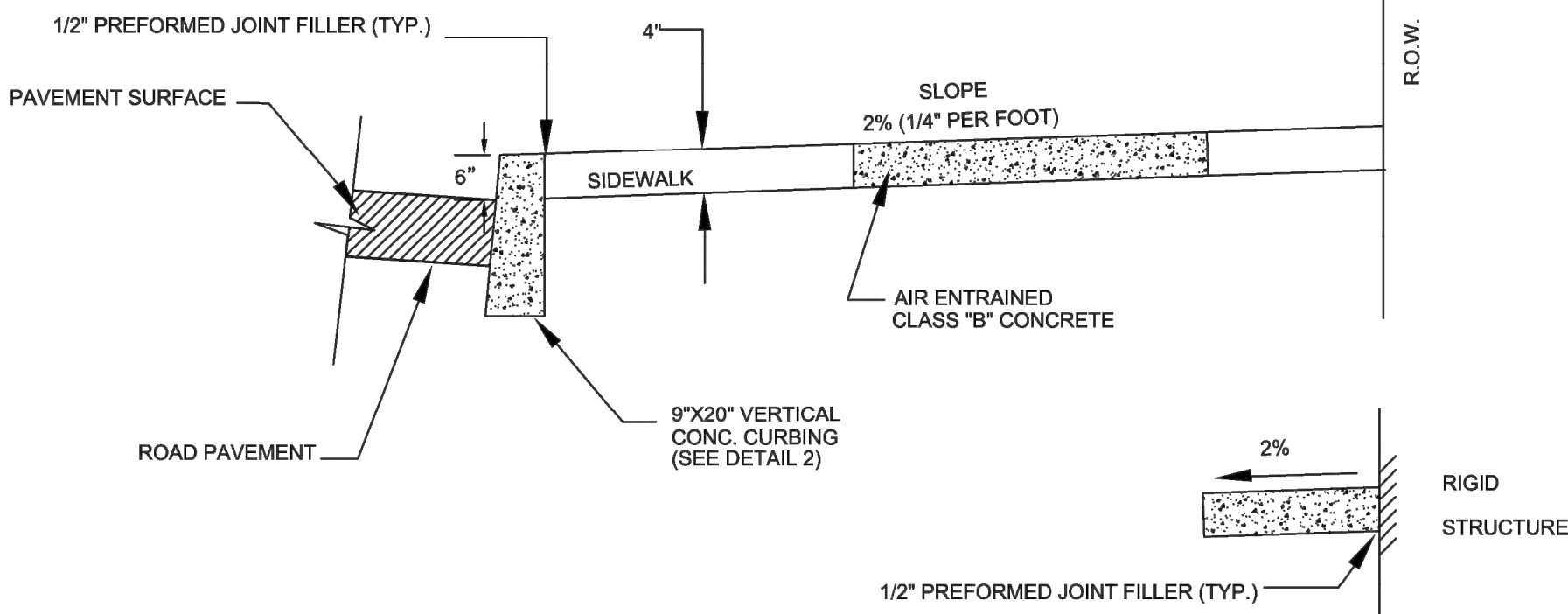
1. ALL EXTERIOR GROUND AREAS WITHIN THE LIMIT OF THE CONTRACT, EXCEPT SURFACES OCCUPIED BY BUILDING AND PAVING, SHALL RECEIVE GRASS SEED, MULCH OR PLANTS AS SHOWN ON THE DRAWINGS. LANDSCAPE CONTRACTOR TO FURNISH TOPSOIL, FINISH GRADING, PREPARE SEEDBED, SEED, ALL PLANTS AND MAINTAIN AREAS ON THE DRAWINGS.
2. ALL PLANTING INCLUDING SEED BED AREAS SHALL BE INSTALLED BETWEEN MARCH 15 AND JUNE 15 OR BETWEEN SEPTEMBER 15 AND NOVEMBER 30, UNLESS DICTATED BY UNUSUAL SEASONAL OR WEATHER CONDITIONS.
3. ALL NEW PLANTING BEDS ARE TO RECEIVE A MINIMUM DEPTH OF 3 INCHES OF SHREDED CEDAR BARK MULCH, OR SHREDED HARDWOOD BARK MULCH, CONTINUOUS.
4. ALL PLANTING BEDS TO BE EDGED AND DEFINED WITH STEEL OR NEOPRENE.
5. LANDSCAPE CONTRACTOR SHALL GUARANTEE TO THE OWNER THE LIFE OF ALL PLANT MATERIAL INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL NEW PLANT MATERIAL WITH 50% OR LESS LIVING TWIGGS, STEMS AND BRANCHES SHALL BE REMOVED AND REPLACED WITH NEW FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND OWNER ACCEPTANCE. OWNER SHALL BE RESPONSIBLE FOR ALL NORMAL MAINTENANCE OF THE LAWNS AFTER THE THIRD MOWING AND ESTABLISHMENT OF A THICK AND UNIFORM COAT OF GRASS, AND OF ALL OTHER PLANTS IMMEDIATELY AFTER FINAL COMPLETION OF ALL INSTALLATION, AND ACCEPTANCE OF THE PROJECT BY THE OWNER.
6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE LEGAL REMOVAL OF ALL SITE DEBRIS AND SITE RUBBISH FROM THE PROPERTY. ALL EXISTING VEGETATION AND STREET TREES (IF ANY) TO BE REMOVED SHALL BE THE RESPONSIBILITY OF THE CITY OF WASHINGTON.
7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES PRIOR TO START OF ANY WORK.
8. CONTRACTOR TO REVIEW LIGHTING, POSTS, FENCING, GATES, WALL SURFACES AND PROPOSED BUILDINGS FOR COORDINATION PURPOSES.
9. ALL PLANT MATERIAL TO BE REVIEWED WITH OWNER PRIOR TO ORDER. ANY SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED IN WRITING BY THE ARCHITECT. CONTRACTOR MUST REVIEW ACCEPTABLE SUBSTITUTIONS WITH ARCHITECT PRIOR TO ORDERING. UNAUTHORIZED SUBSTITUTIONS OF GENUS, SPECIES AND SIZE MUST BE REMOVED IMMEDIATELY AT OWNER'S EXPENSE.
10. ANY LANDSCAPING WHICH IS NOT RESISTANT TO THE ENVIRONMENT OR THAT DIES WITHIN TWO (2) YEARS OF PLANTING SHALL BE REPLACED BY THE DEVELOPER.



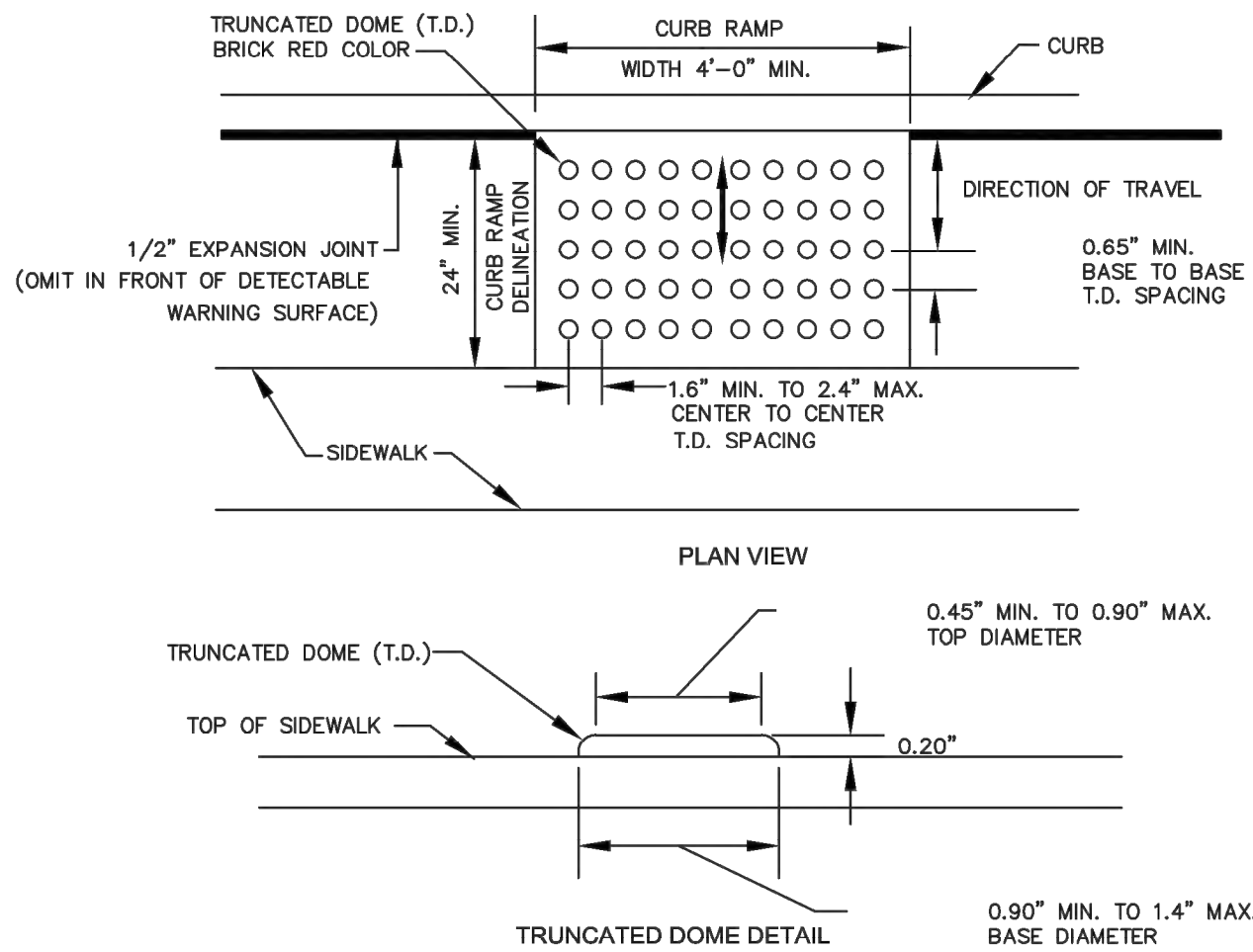
<div>Weckenmann Architecture, LLC</div> <div>PO BOX 1024 Maplewood, NJ 07040 (t) 973.220.7575 (e) Will@WeckArch.com (w) www.WeckArch.com</div> <div>© WECKENMANN ARCHITECTURE, LLC. ALL RIGHTS RESERVED. THIS DRAWING OR DOCUMENT AND INFORMATION SET FORTH HEREIN ARE THE PROPERTY OF WECKENMANN ARCHITECTURE, LLC AND SHALL NOT BE USED OR DISCLOSED EXCEPT IN ACCORDANCE WITH WRITTEN PERMISSION.</div> <div>William J Weckenmann, RA</div> <div></div> <div>NJ LIC.: 21AJO2029300 NY LIC.: 038403</div>	
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MUA DETAILS & NOTES, FORESTRY DETAILS & PLANTING SCHEDULE, EXTERIOR LIGHT FIXTURE SCHEDULE, DETAILS	
SHEET NUMBER:	
G-101	
SCALE: AS SHOWN	



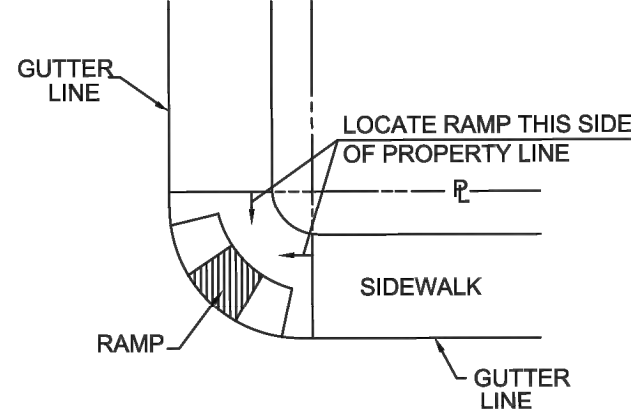
PLAN
TYPICAL CONCRETE SIDEWALK



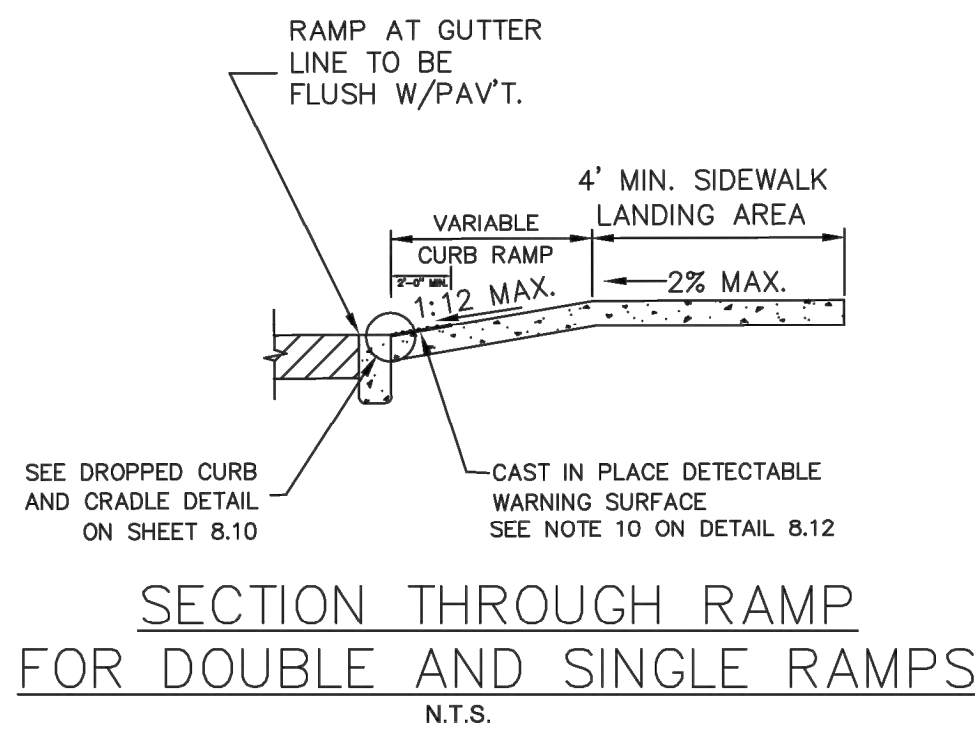
SECTION A-A
N.T.S.



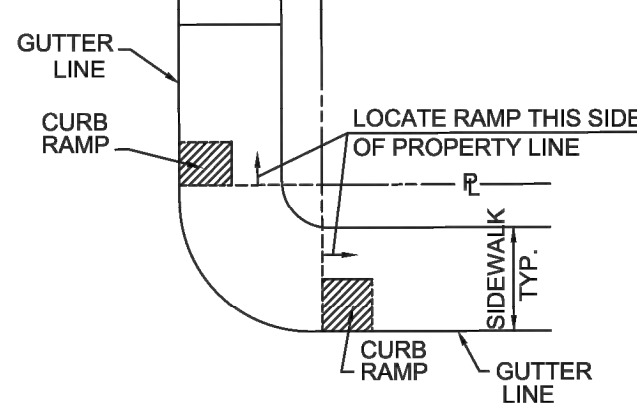
DETECTABLE WARNING SURFACE DETAIL
NOT TO SCALE



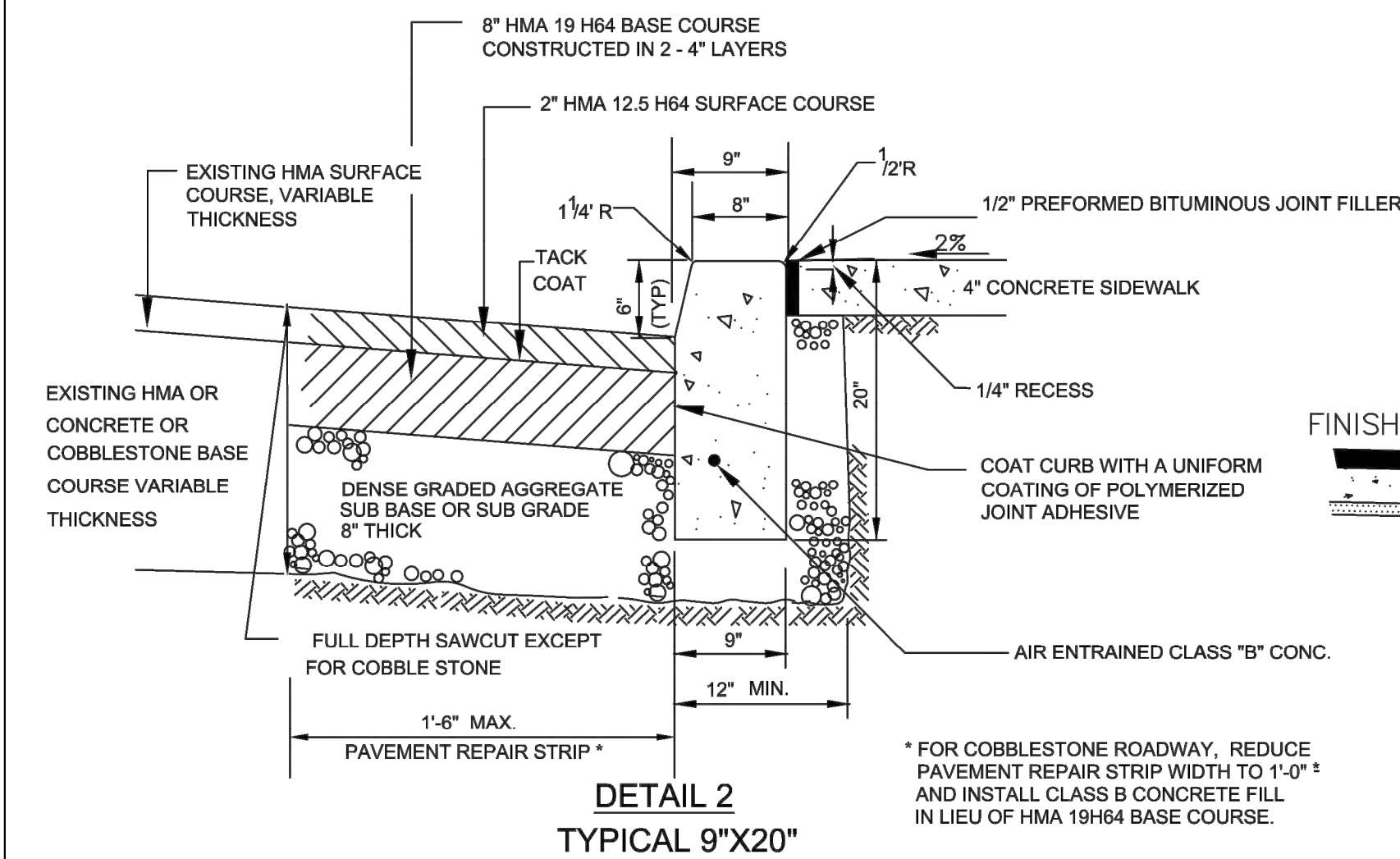
DETAIL "A"



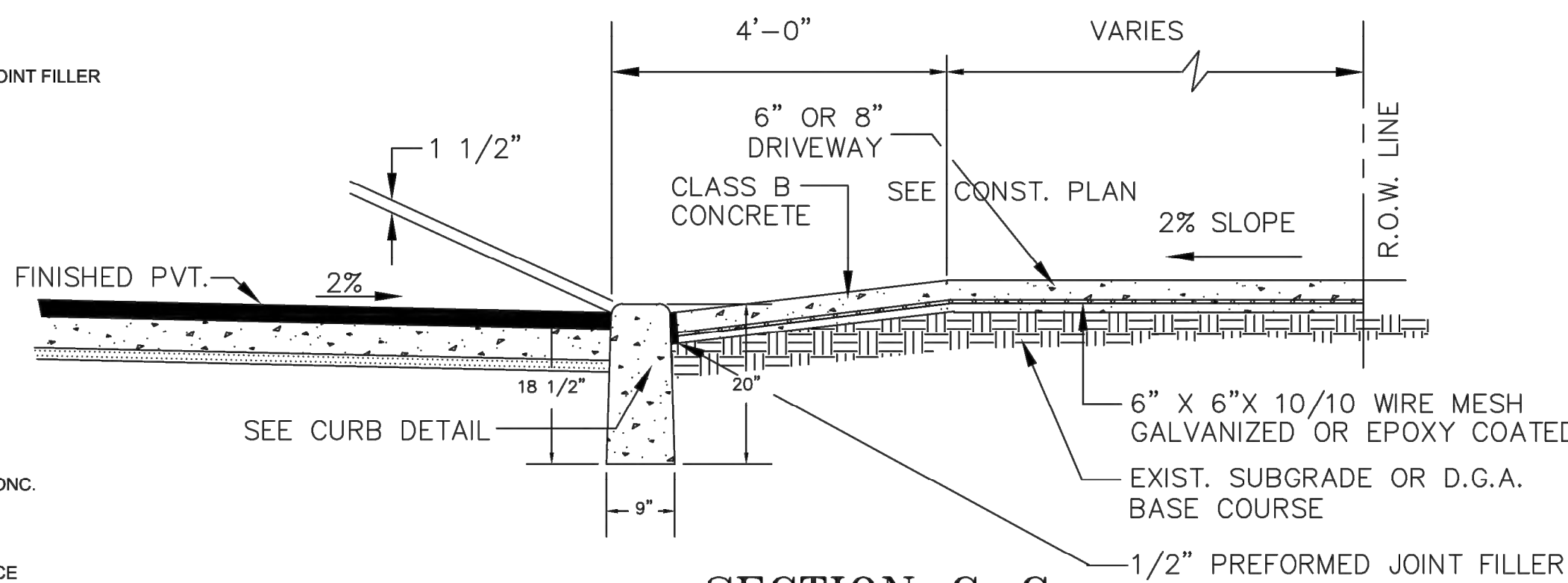
SECTION THROUGH RAMP
FOR DOUBLE AND SINGLE RAMPS
N.T.S.



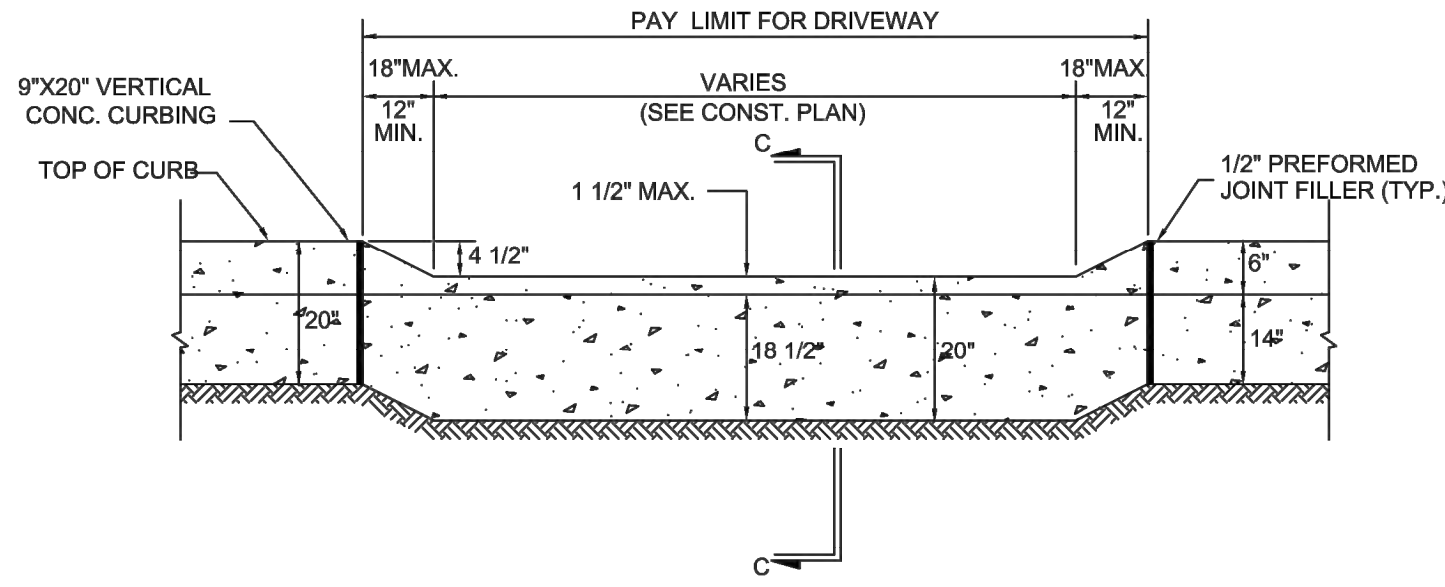
DETAIL "B"



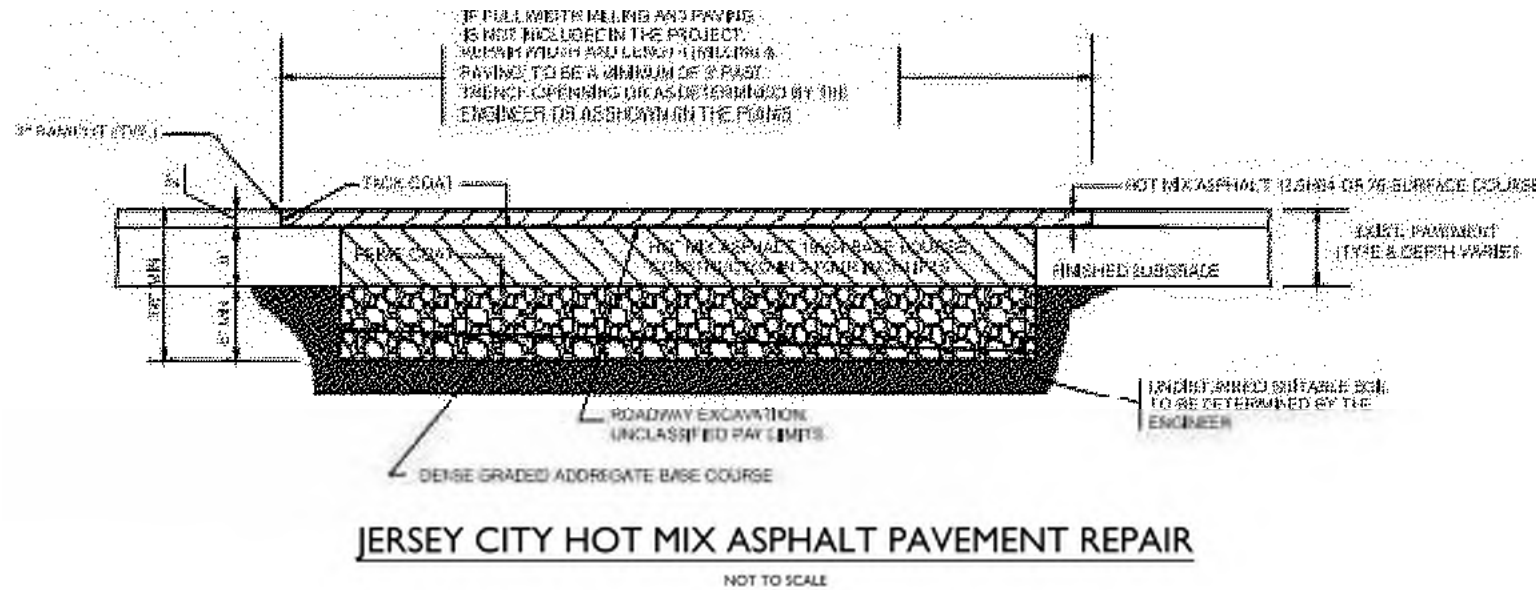
VERTICAL CONCRETE
CURBING/PAVEMENT REPAIR
N.T.S.



SECTION C-C
TYPICAL 9"x 20" CONCRETE VERTICAL
CURB/DRIVEWAY DETAIL
N.T.S.



TYPICAL DEPRESSED CURB AND DRIVEWAY DETAIL
N.T.S.



CURB & SIDEWALK NOTES:

- ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS B CONCRETE. (N.J.D.O.T. SPECS)
- A 1/2" PREFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPEC'S M-33 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX. SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURBING 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPEC'S M-33 FLUSH WITH THE TOP AND FACE OF CURB.
- COST OF EXPANSION JOINTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR SIDEWALK AND CURBING.
- ALL SIDEWALK, CURB RAMPS AND SIDE RAMPS SHALL HAVE A HAND BROOMED FINAL FINISH.
- THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGHOUT THE AREA OF THE CURB RAMPS.
- COST OF ANY DENSE GRADED AGGREGATE NEEDED FOR CURB AND SIDEWALK CONSTRUCTION WILL BE PAID FOR UNDER THE ITEM D.G.A..
- CONCRETE CURB SHALL NOT BE CONSTRUCTED FROM NOVEMBER 1 TO MARCH 15 UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
- IMMEDIATELY AFTER THE CONCRETE HAS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
- DETECTABLE WARNING SURFACE SHALL BE "ARMOR-TILE" TAC TILE SYSTEMS AS MANUFACTURED BY ENGINEERED PLASTICS INC. WILLIAMSVILLE, NEW YORK. TELEPHONE NO. 1-800-682-2525 OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x48" AND SHALL BE A BRICK RED COLOR. DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS. THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO SUBSECTION 607.06 SUBPART 6 DETECTABLE WARNING SURFACES OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
- ALL TRAFFIC STRIPES AND MARKINGS SHALL BE LONG-LIFE, THERMOPLASTIC IN ACCORDANCE WITH SECTION 618 - TRAFFIC STRIPES AND MARKINGS OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.

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SITE DETAILS

SHEET NUMBER:

G-102

SCALE: AS SHOWN



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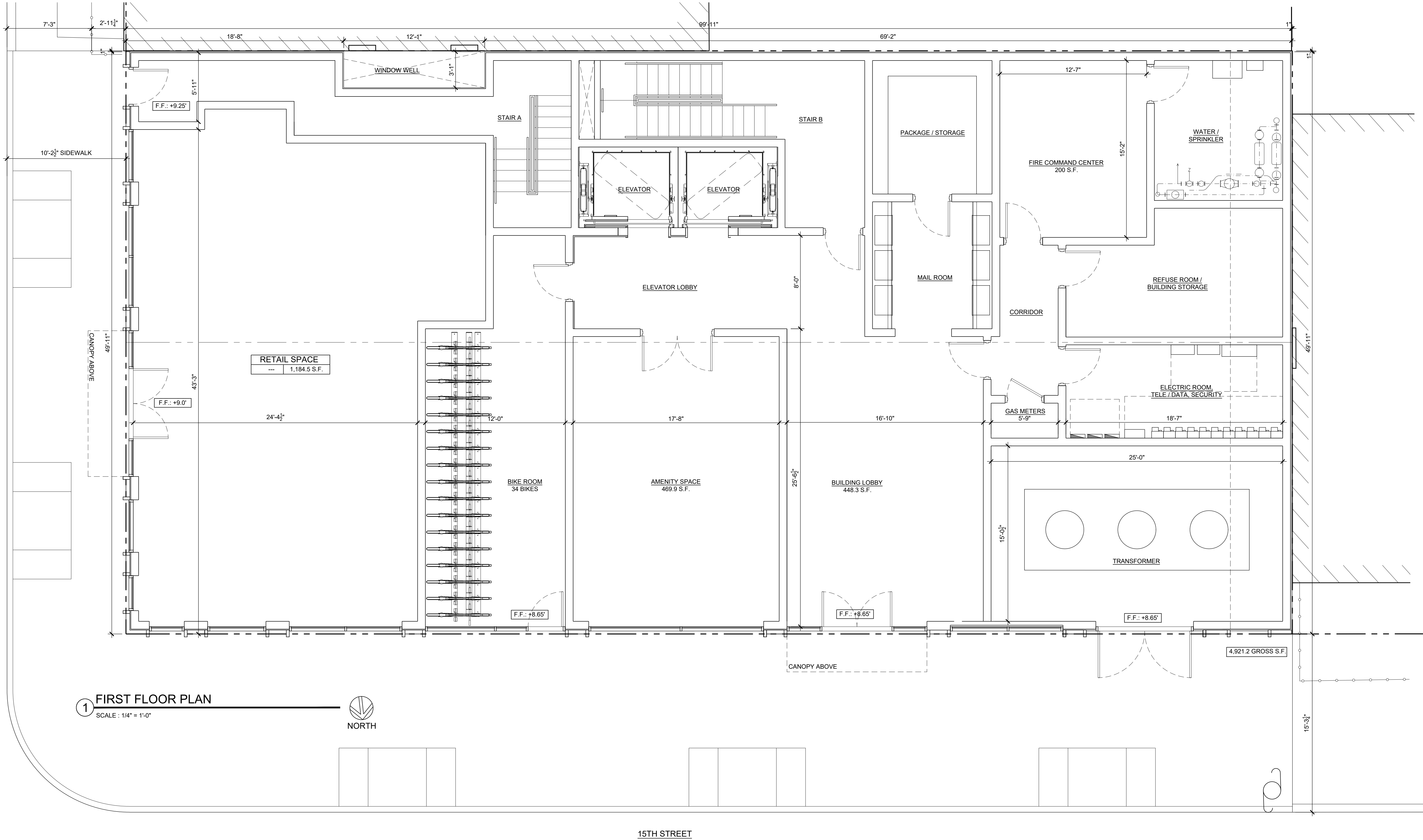
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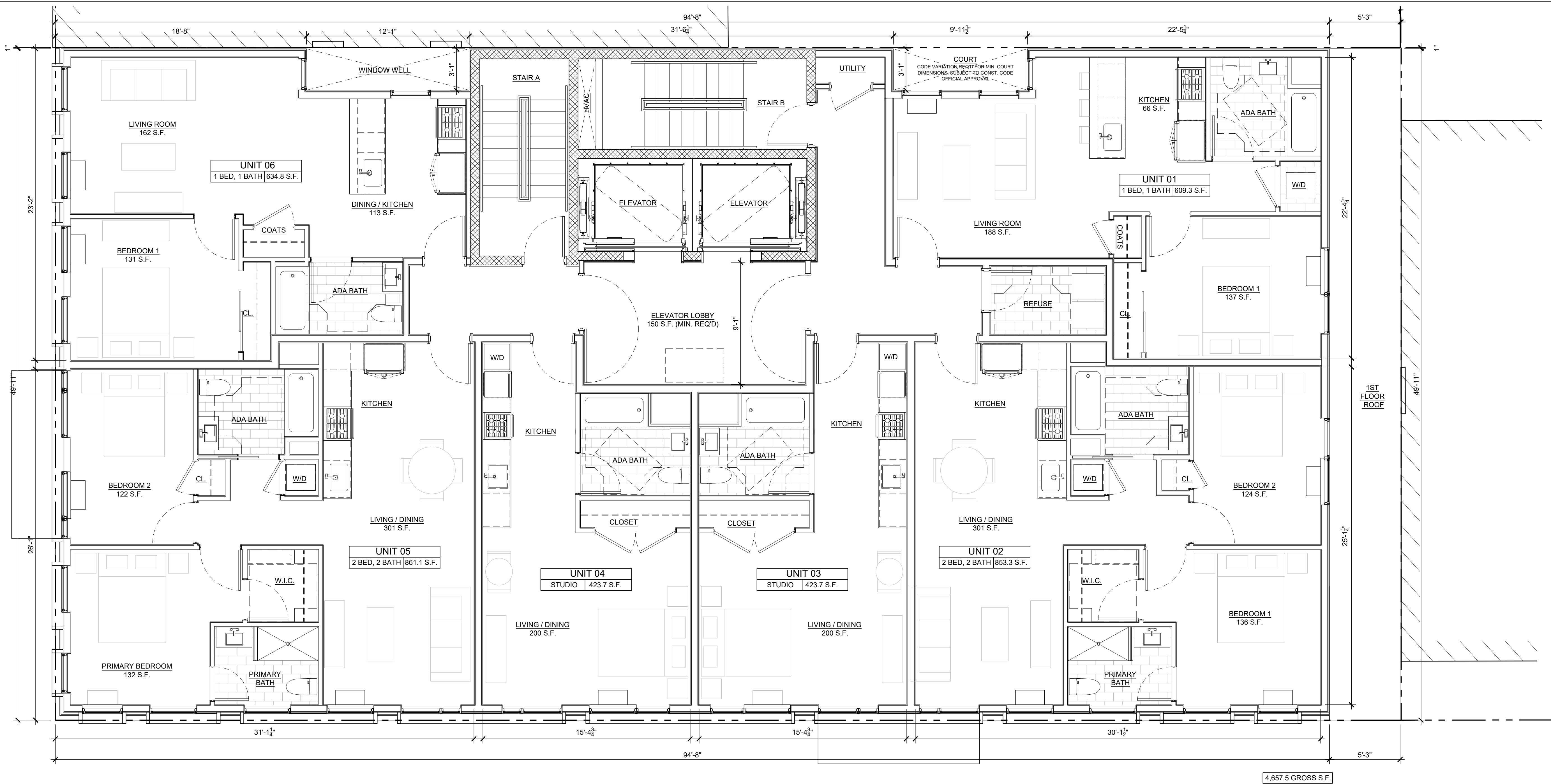
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FIRST FLOOR PLAN

SHEET NUMBER:

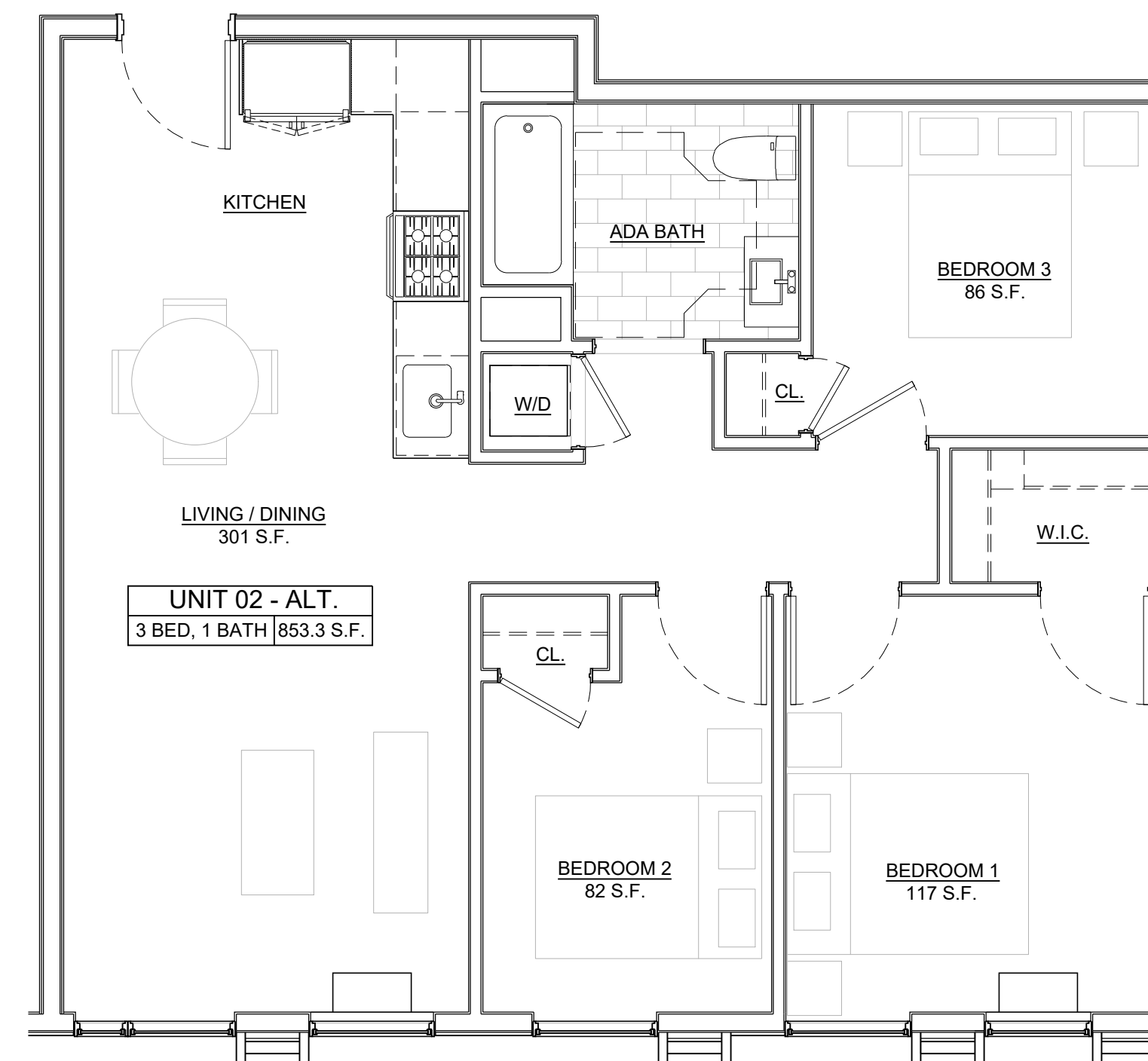
A-100





1 SECOND - ELEVENTH FLOOR PLAN (TYPICAL)

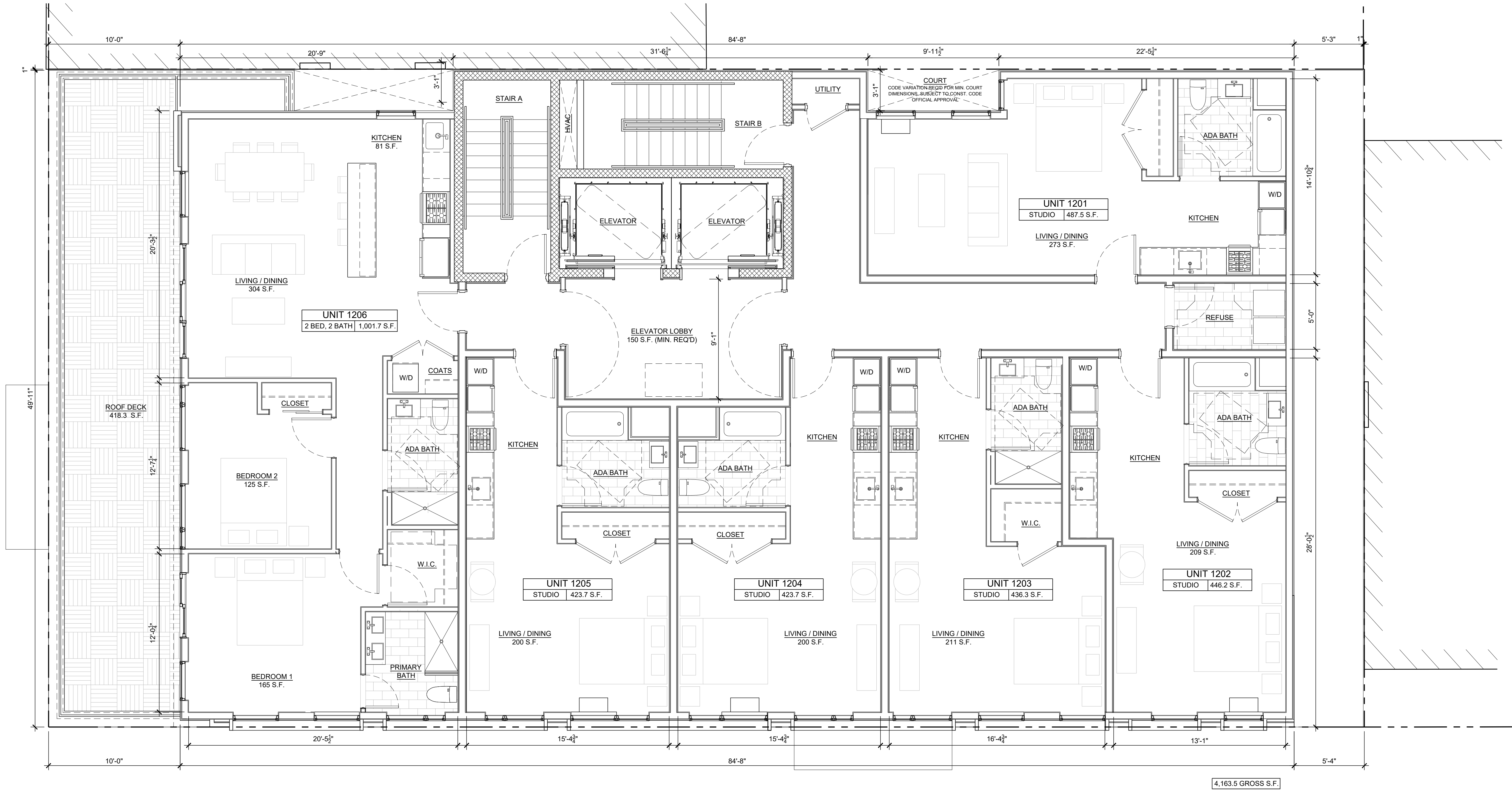
SCALE : 1/4" = 1'-0"



2 ALTERNATE UNIT 02 - THREE BEDROOM APT.

SCALE : 1/4" = 1'-0"





1 TWELFTH FLOOR PLAN
SCALE : 1/4" = 1'-0"





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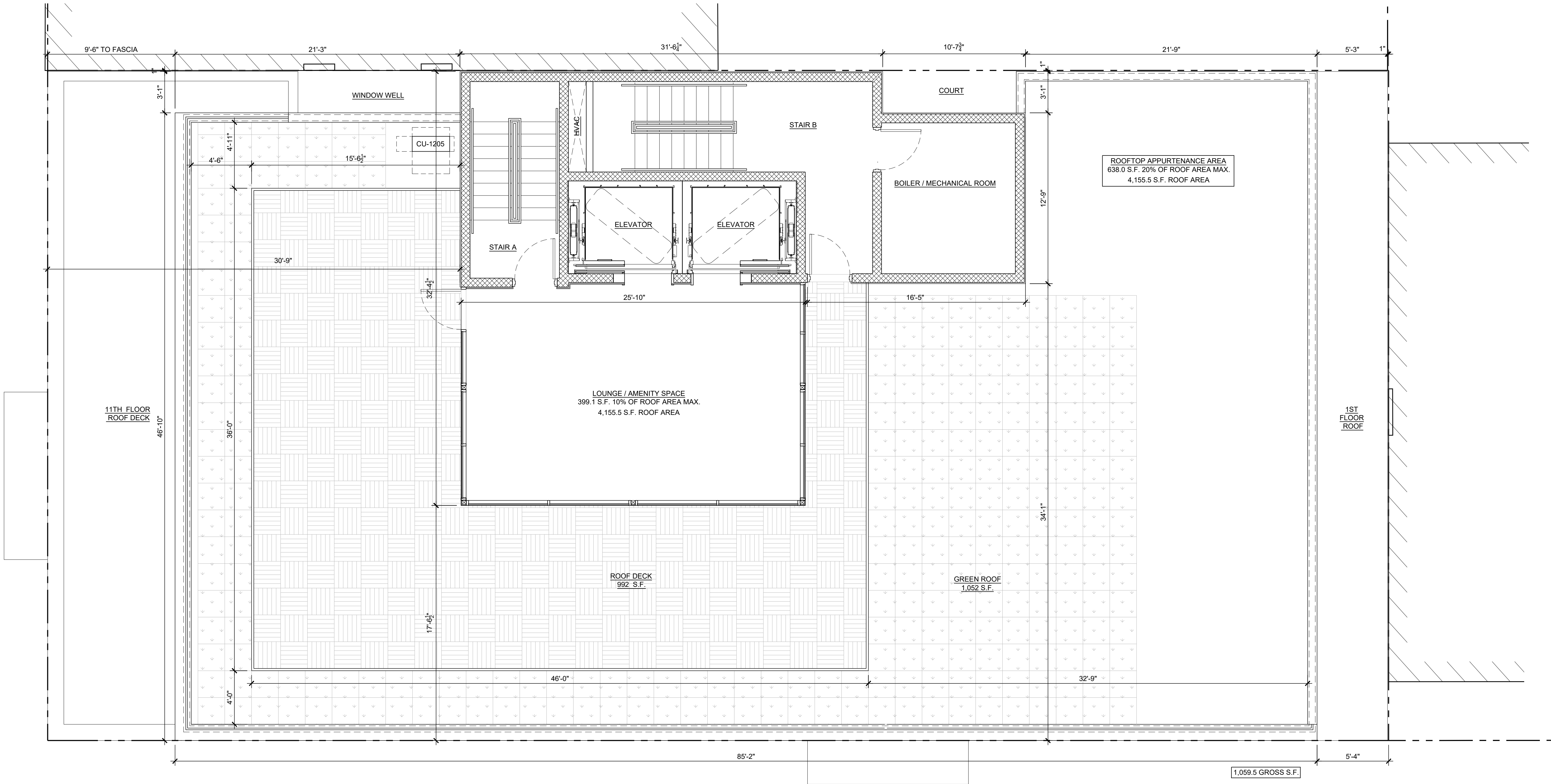
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ROOF PLAN

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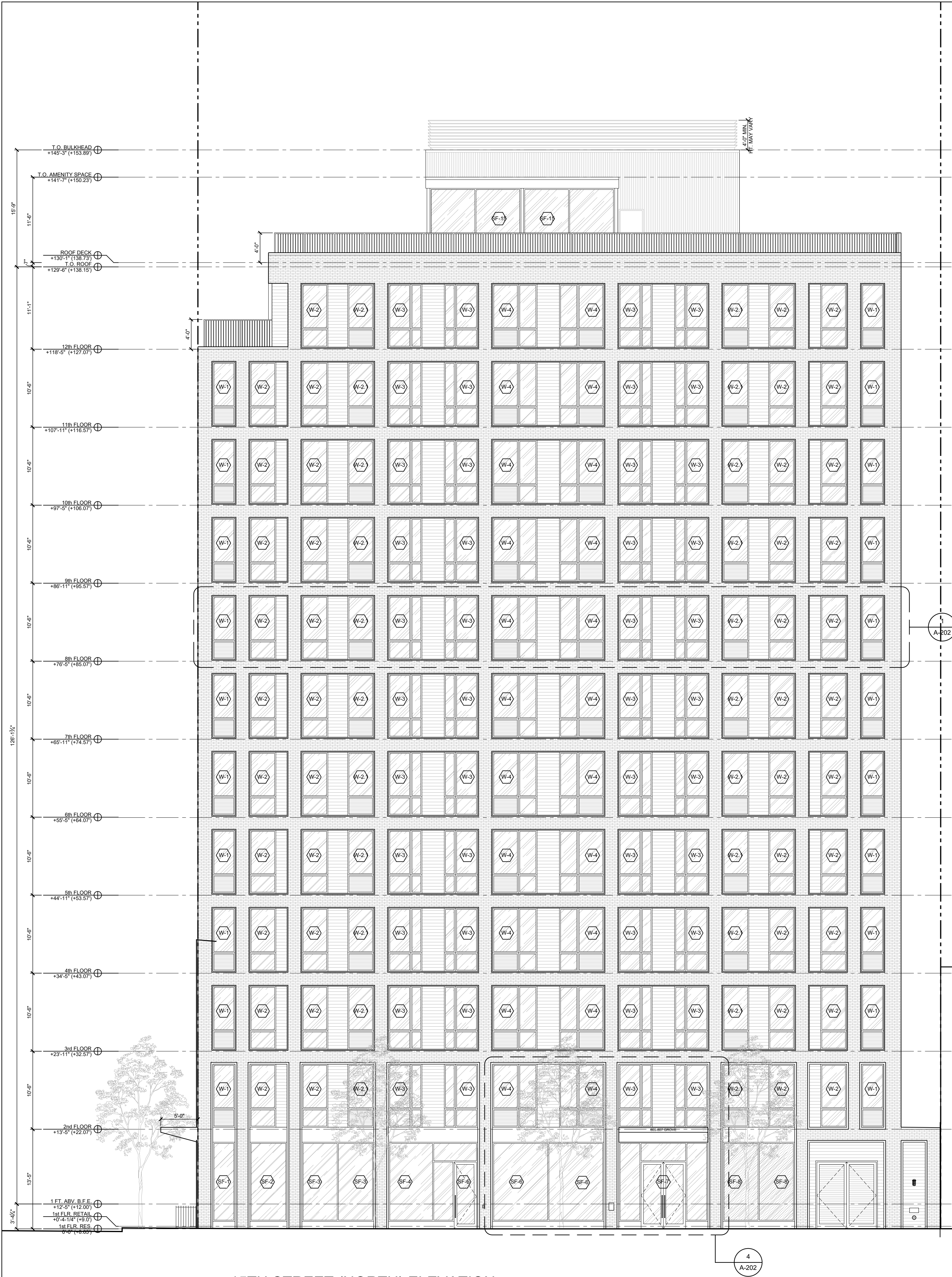
A-103

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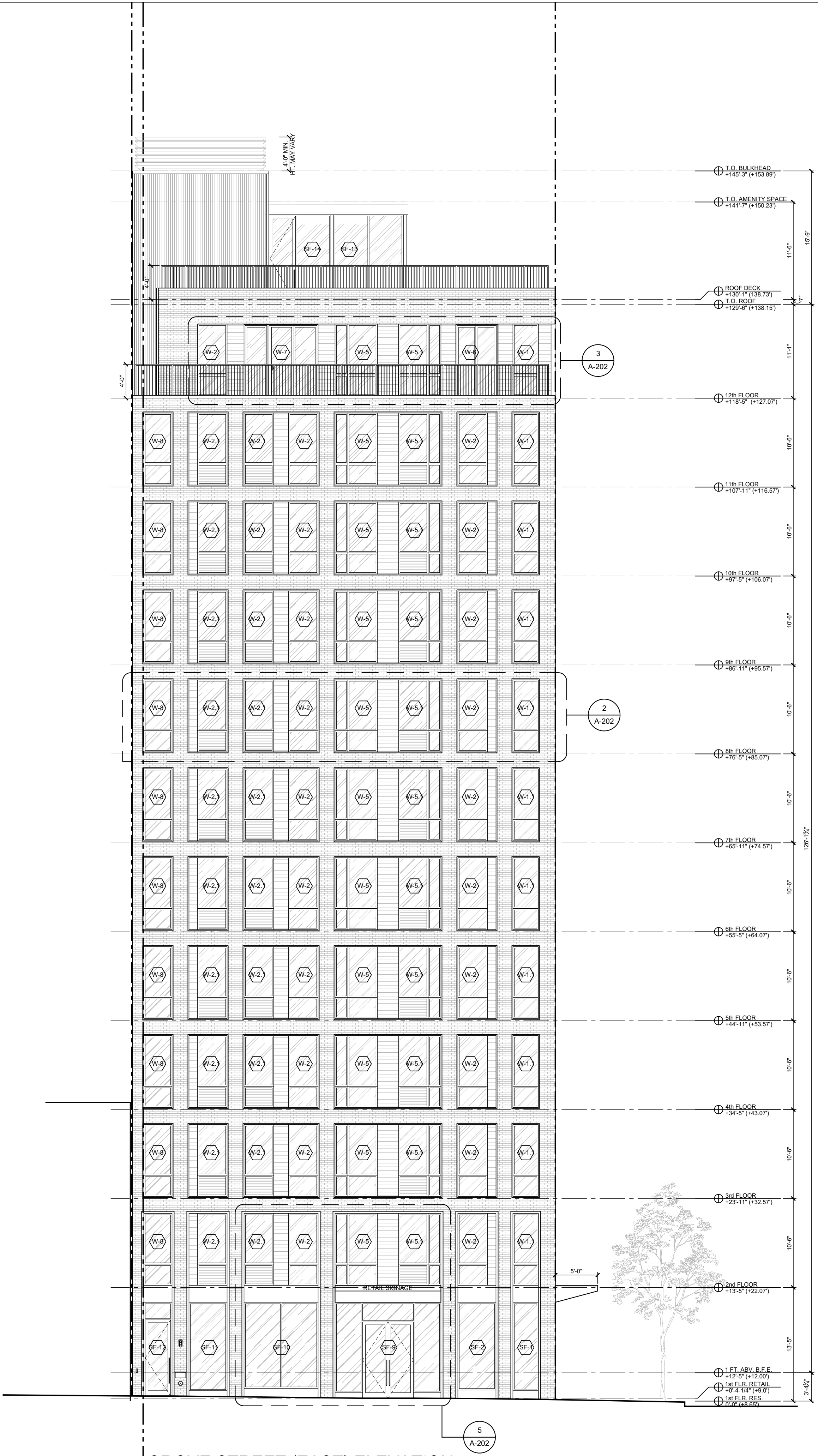
1 ROOF PLAN
SCALE : 1/4" = 1'-0"





1 15TH STREET (NORTH) ELEVATION

SCALE : 1/8" = 1'-0"



2 GROVE STREET (EAST) ELEVATION

SCALE : 1/8" = 1'-0"

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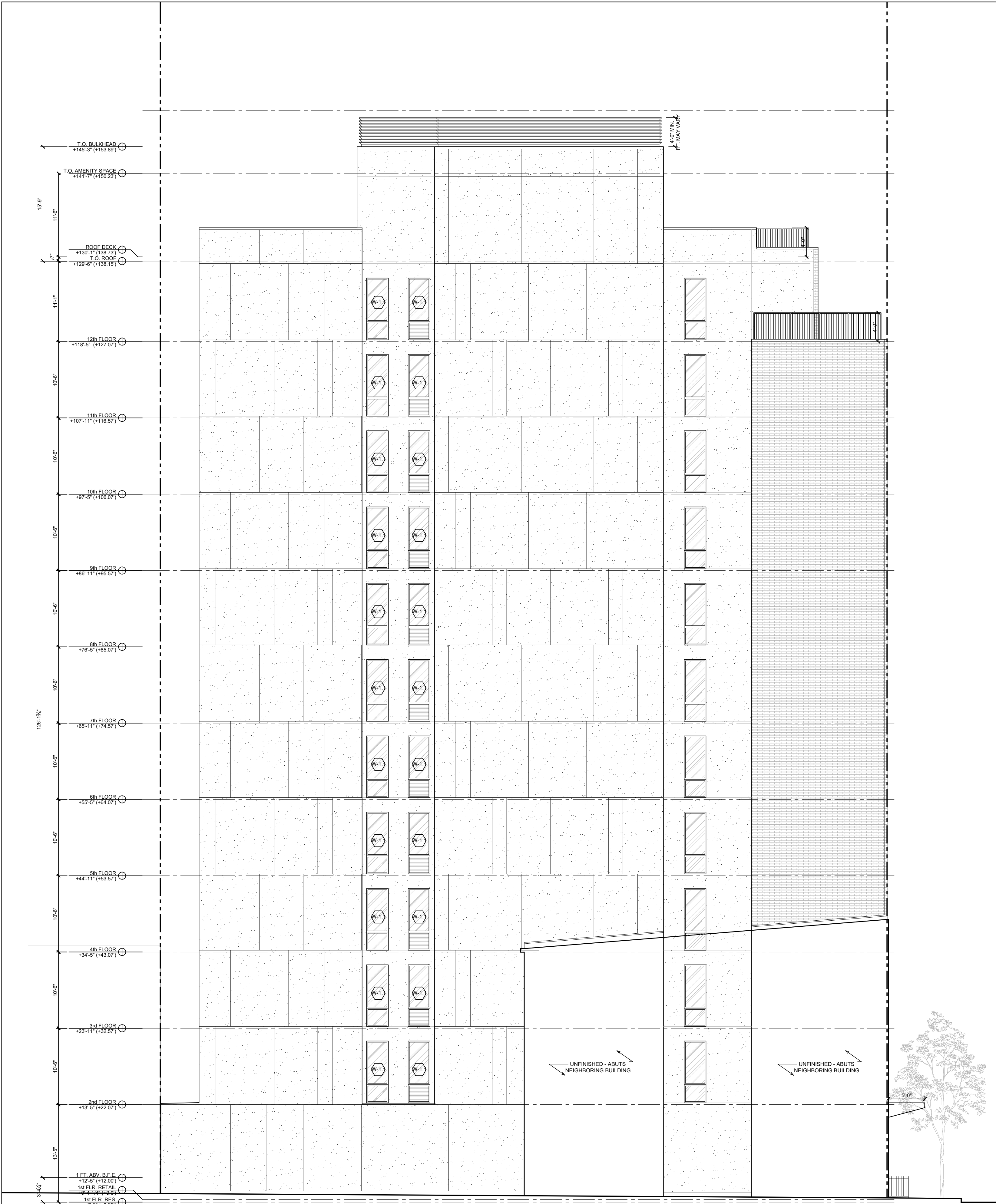
No.:	DATE:	NOTES:
01	01.30.23	PLANNING COMMENTS
02	03.06.23	PLANNING COMMENTS

15TH STREET (NORTH) AND
GROVE STREET (EAST)
ELEVATIONS

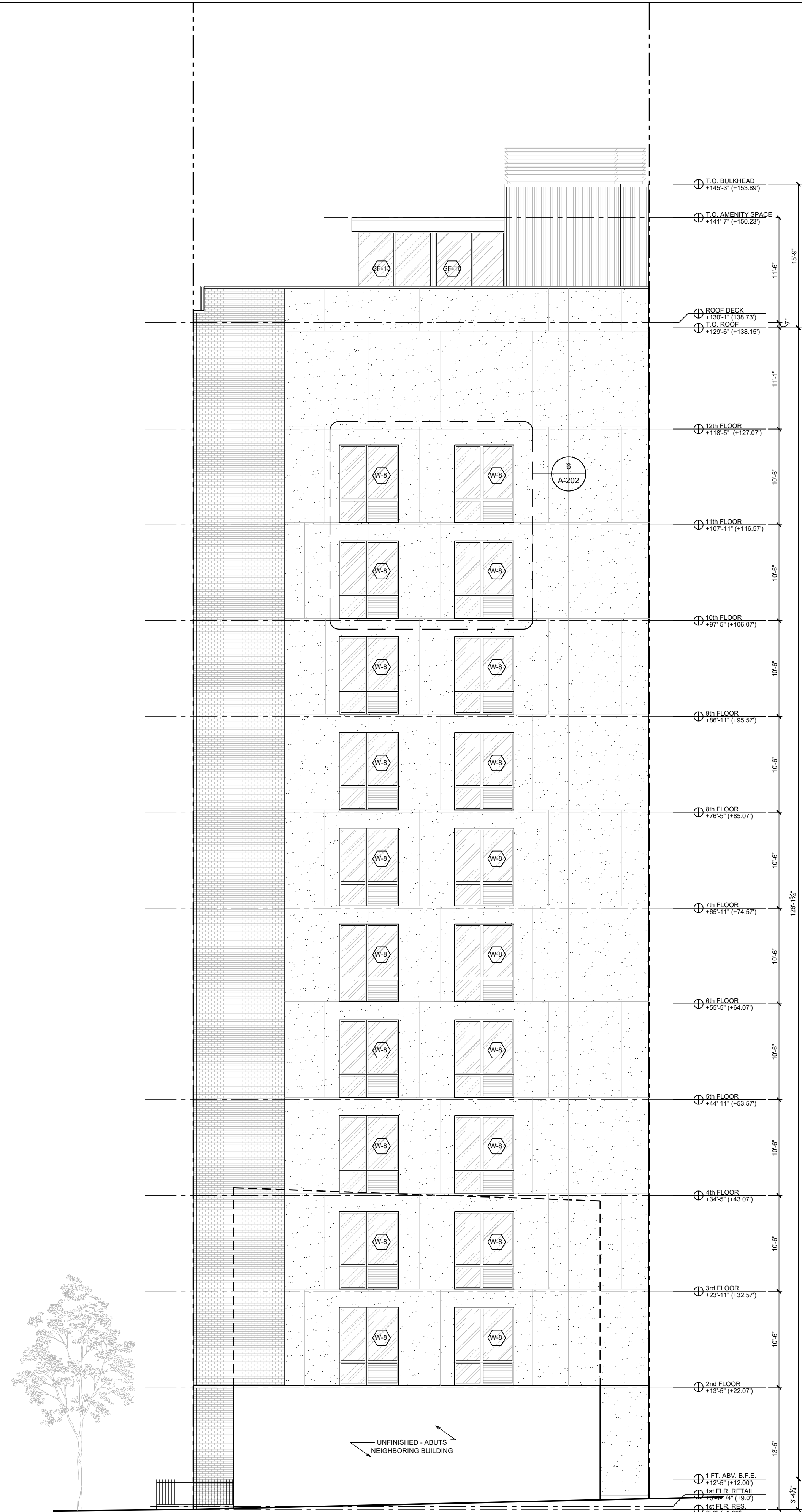
SHEET NUMBER:

A-200

SCALE: AS SHOWN



1 SIDE (SOUTH) ELEVATION
SCALE : 1/8" = 1'-0"



2 REAR (WEST) ELEVATION
SCALE : 1/8" = 1'-0"

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William J Weckenmann, RA



NJ LIC.: 21AIO2029300
NY LIC.: 038403

PROJECT NO.: 22015

PROPOSED MIXED-USE
APARTMENT BUILDING

605-607 GROVE STREET
JERSEY CITY
HUDSON COUNTY, NJ
BLOCK: 7105 | LOTS: 8,9

ISSUE::

DATE: ISSUED FOR:
12.09.22 PLANNING REVIEW

REVISION:

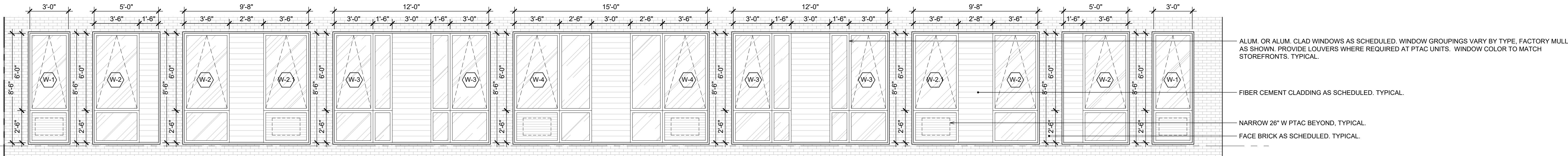
No.: DATE: NOTES:
01 01.30.23 PLANNING COMMENTS
02 03.06.23 PLANNING COMMENTS

SIDE (SOUTH) AND REAR
(WEST) ELEVATIONS

SHEET NUMBER:

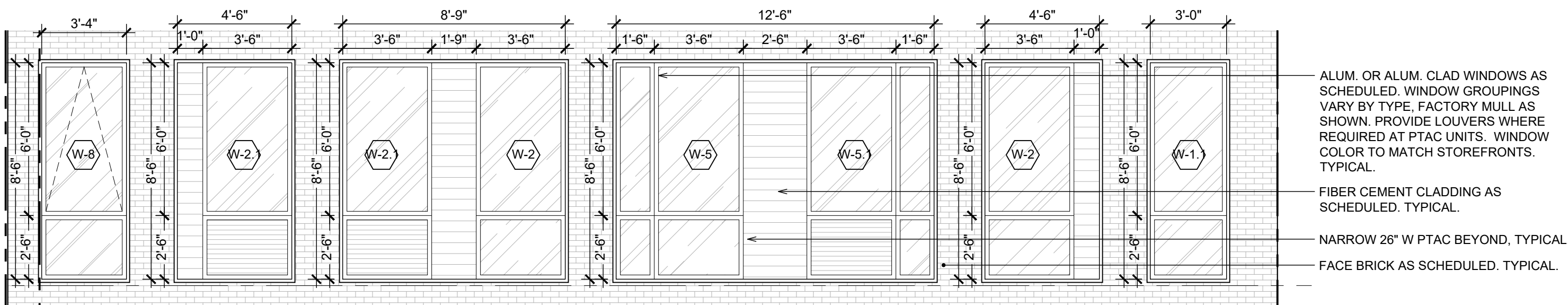
A-200

SCALE: AS SHOWN



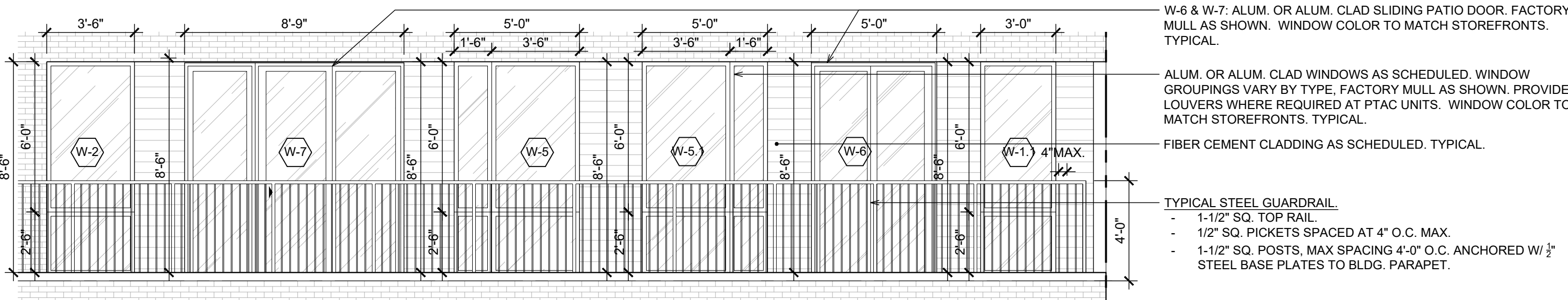
1 ENLARGED ELEVATION - TYP. 15TH STREET WINDOWS

SCALE : 1/4" = 1'-0"



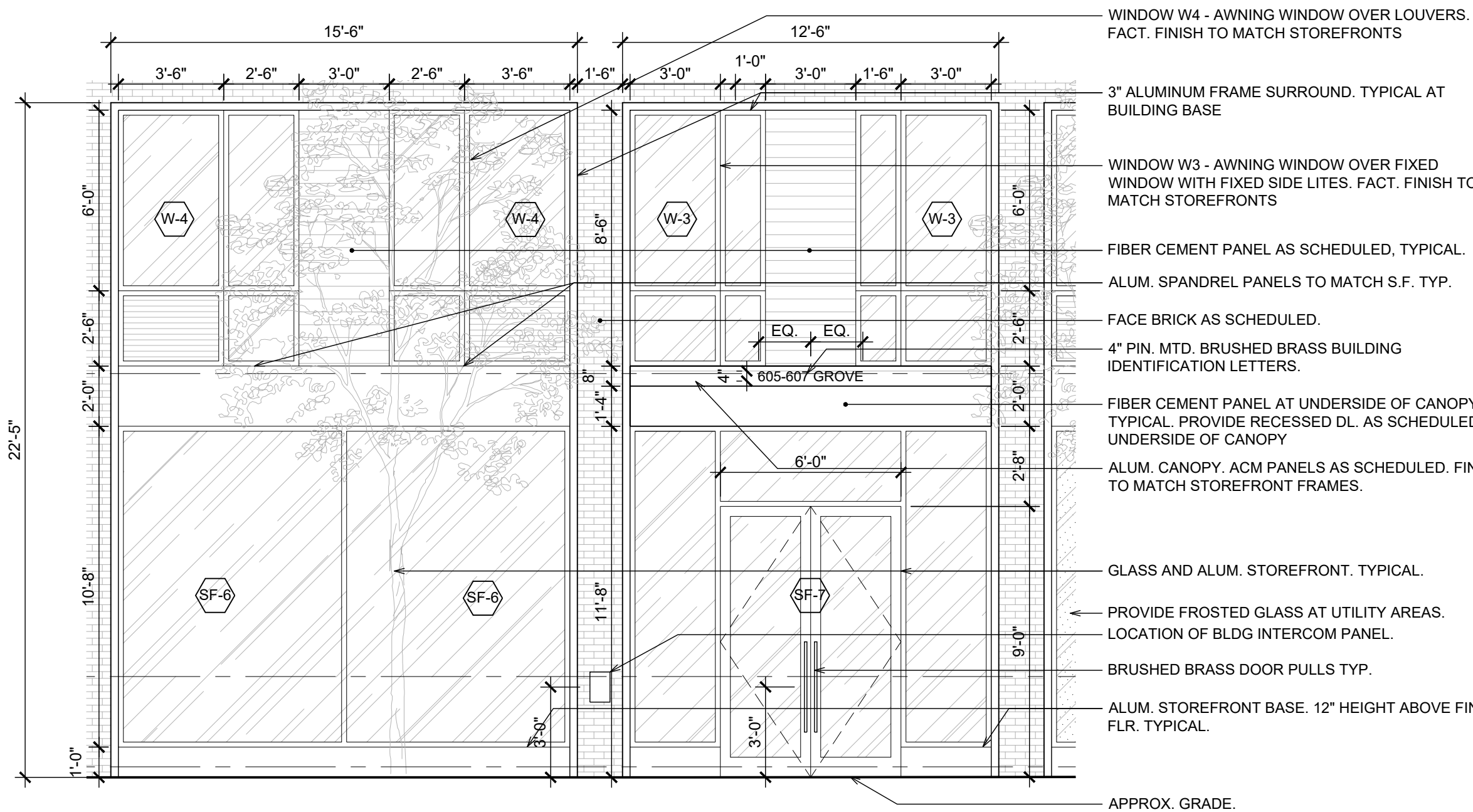
2 ENLARGED ELEVATION - TYP. GROVE STREET WINDOWS

SCALE : 1/4" = 1'-0"



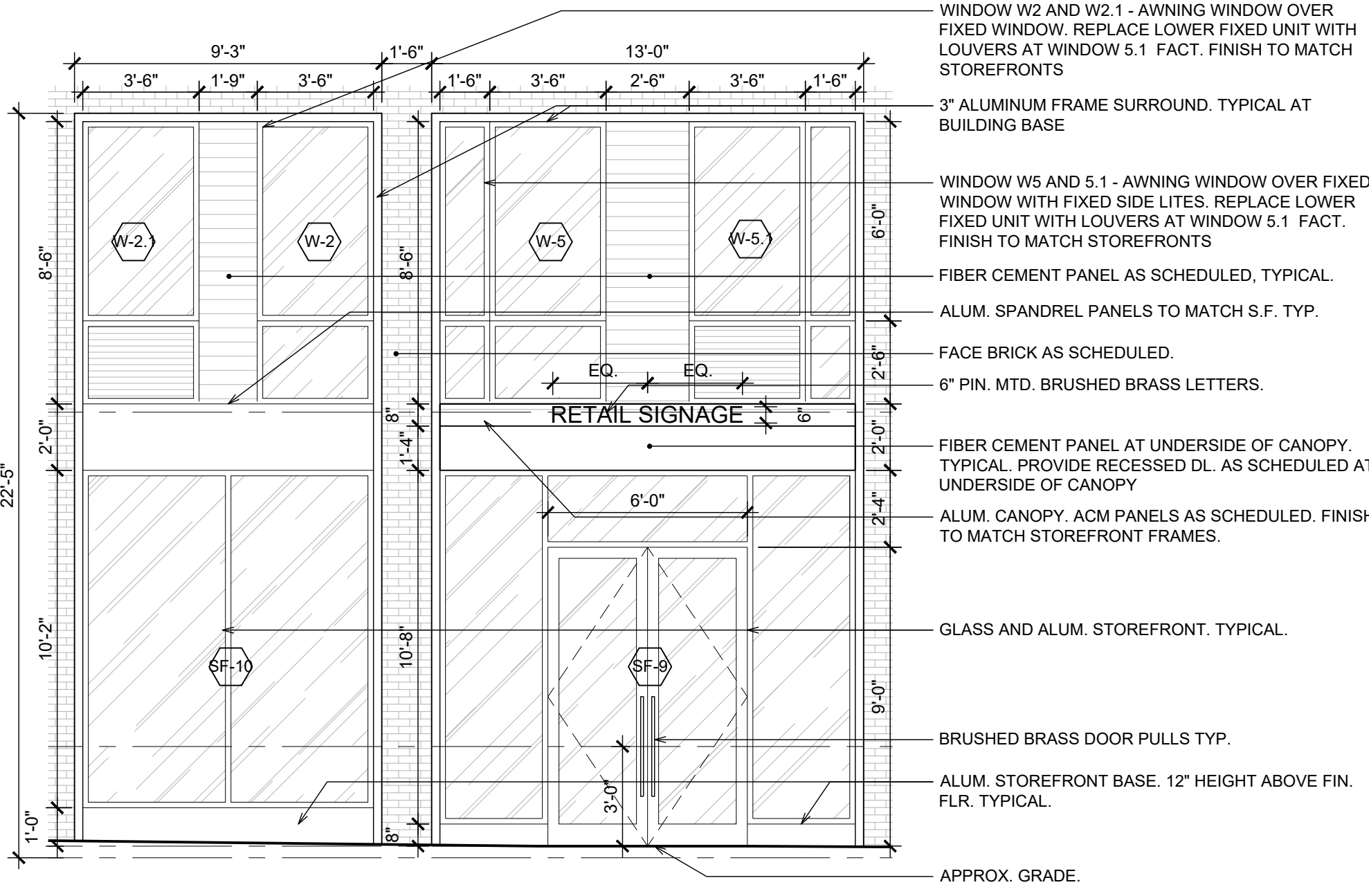
3 ENLARGED ELEVATION - 12TH FLR. PENTHOUSE

SCALE : 1/4" = 1'-0"



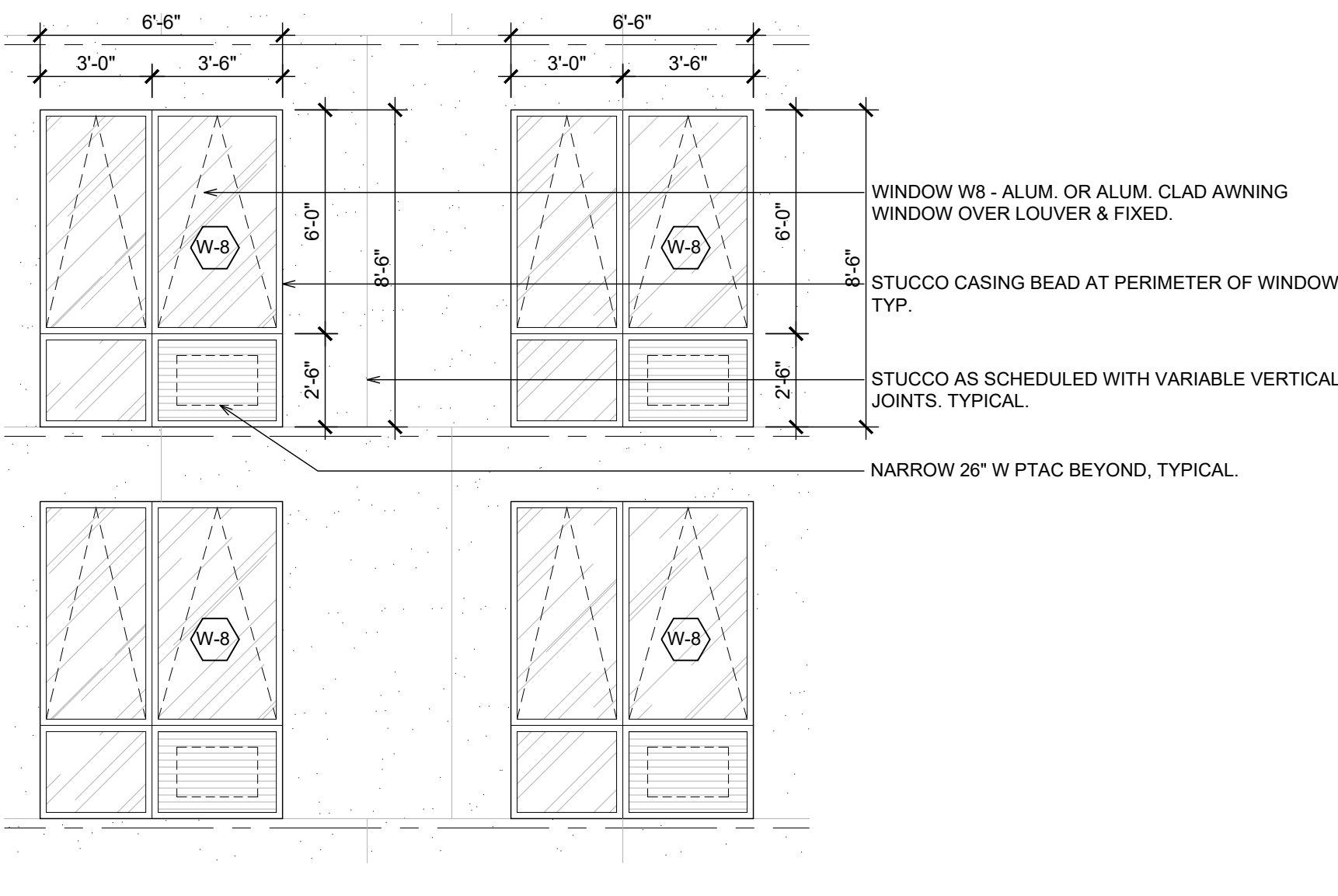
4 ENLARGED ELEVATION - 15TH STREET STOREFRONT

SCALE : 1/4" = 1'-0"



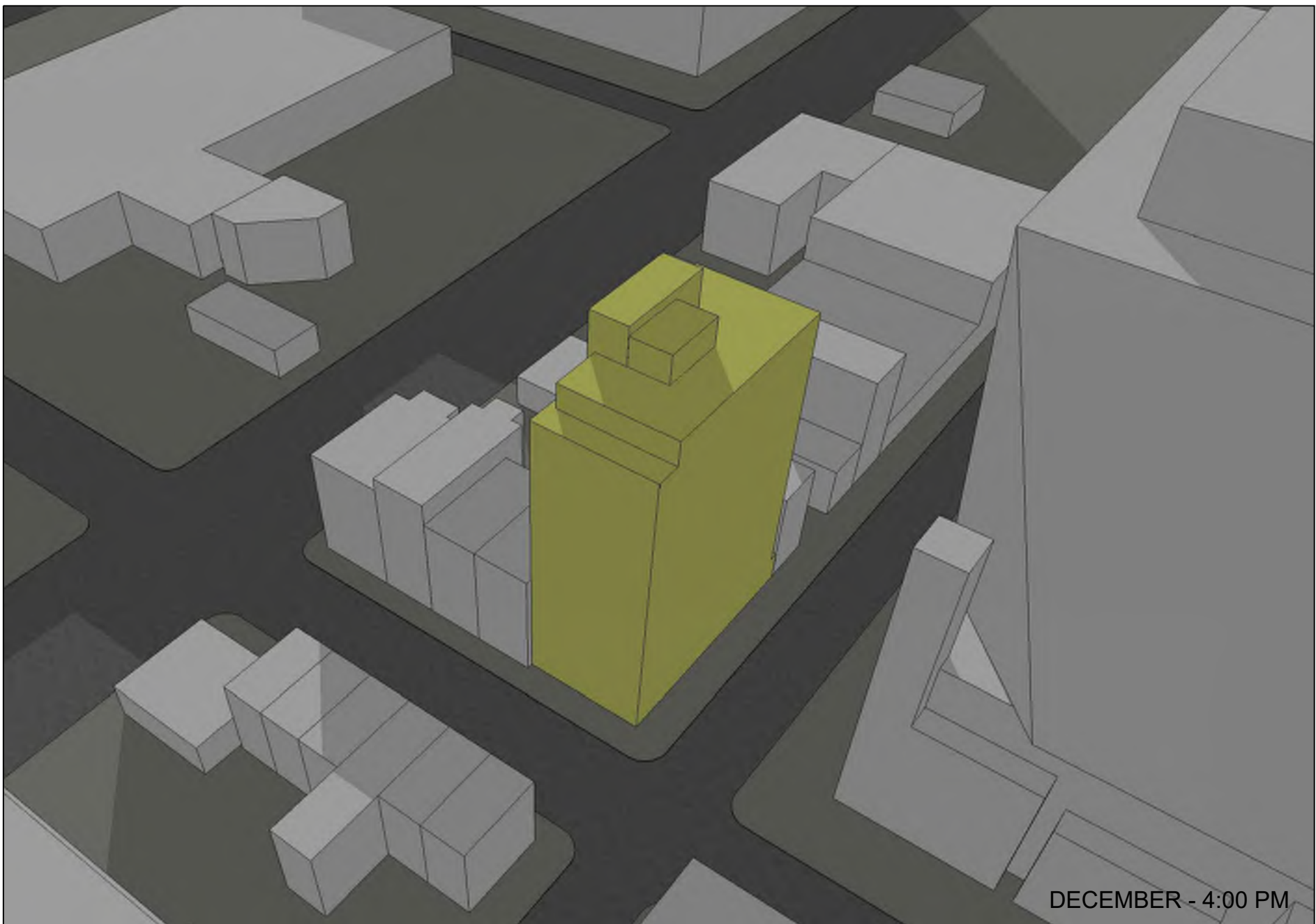
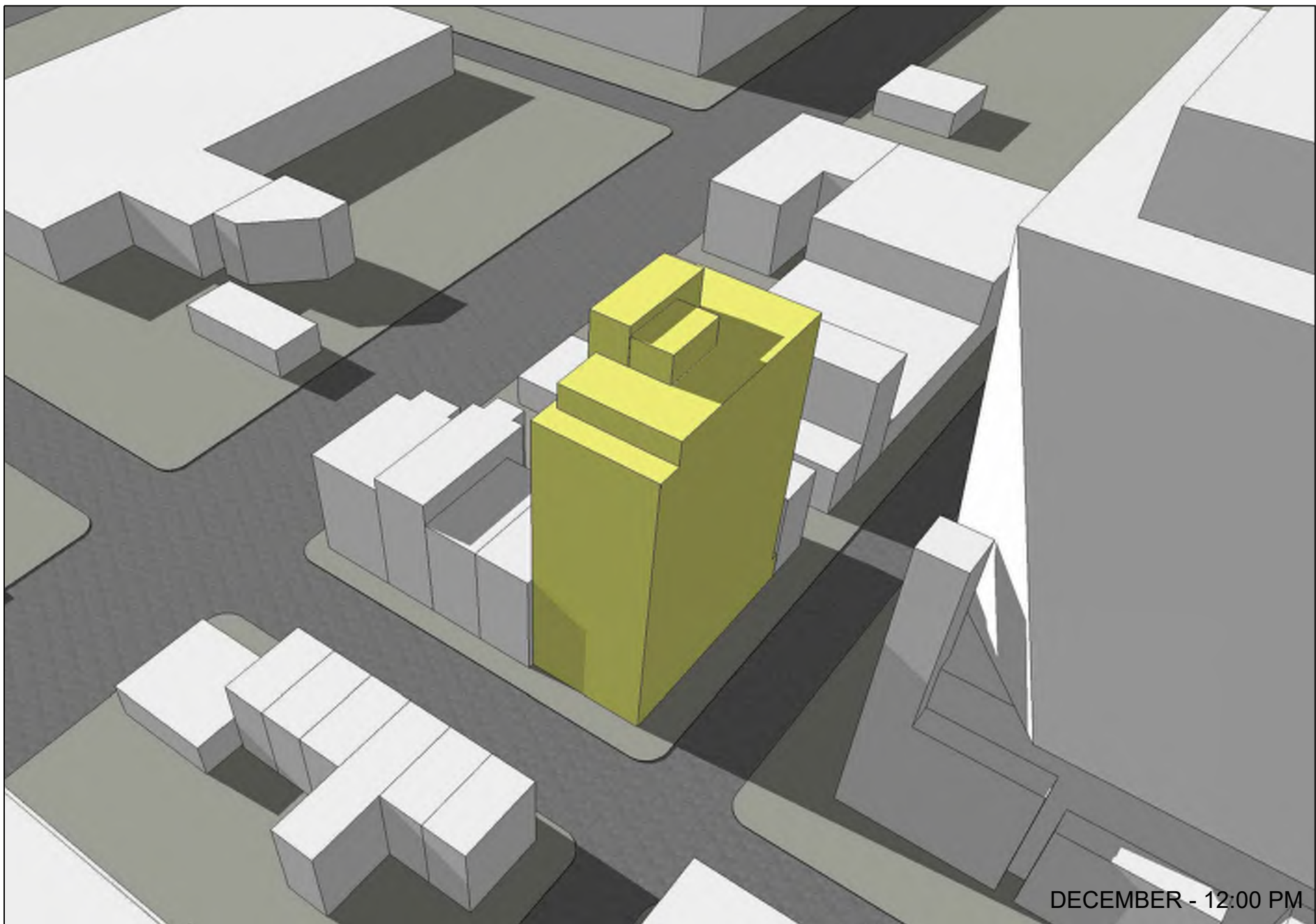
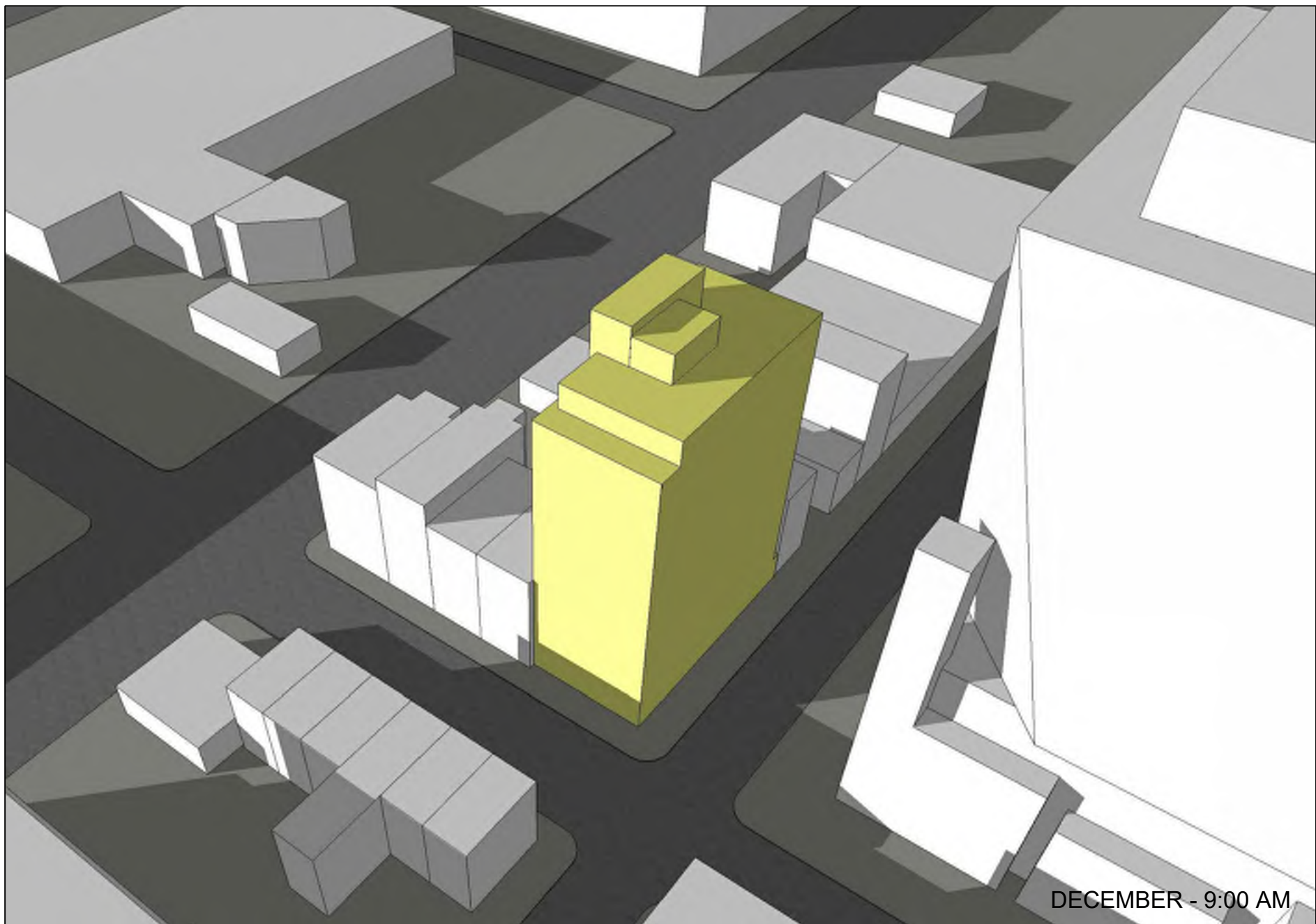
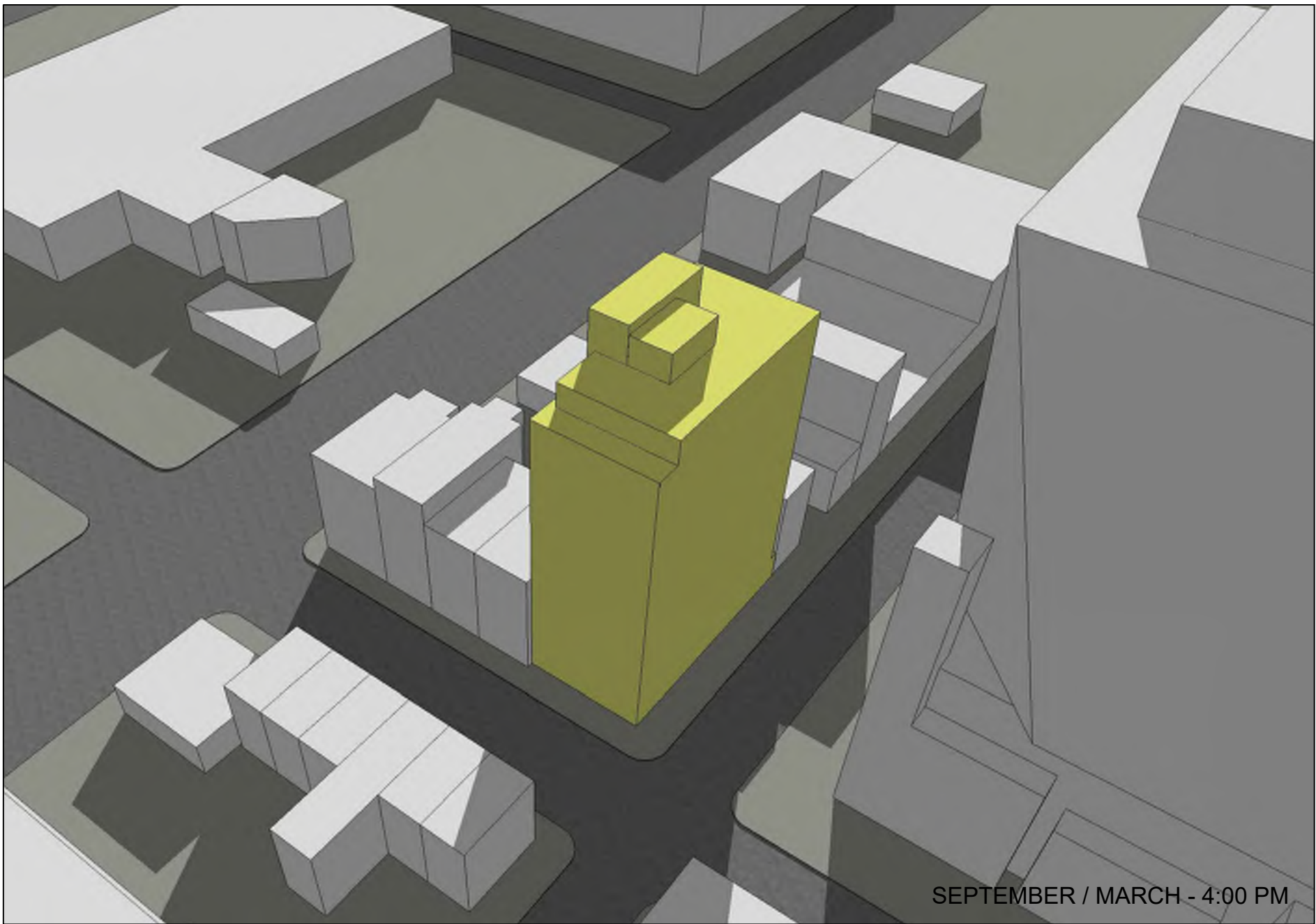
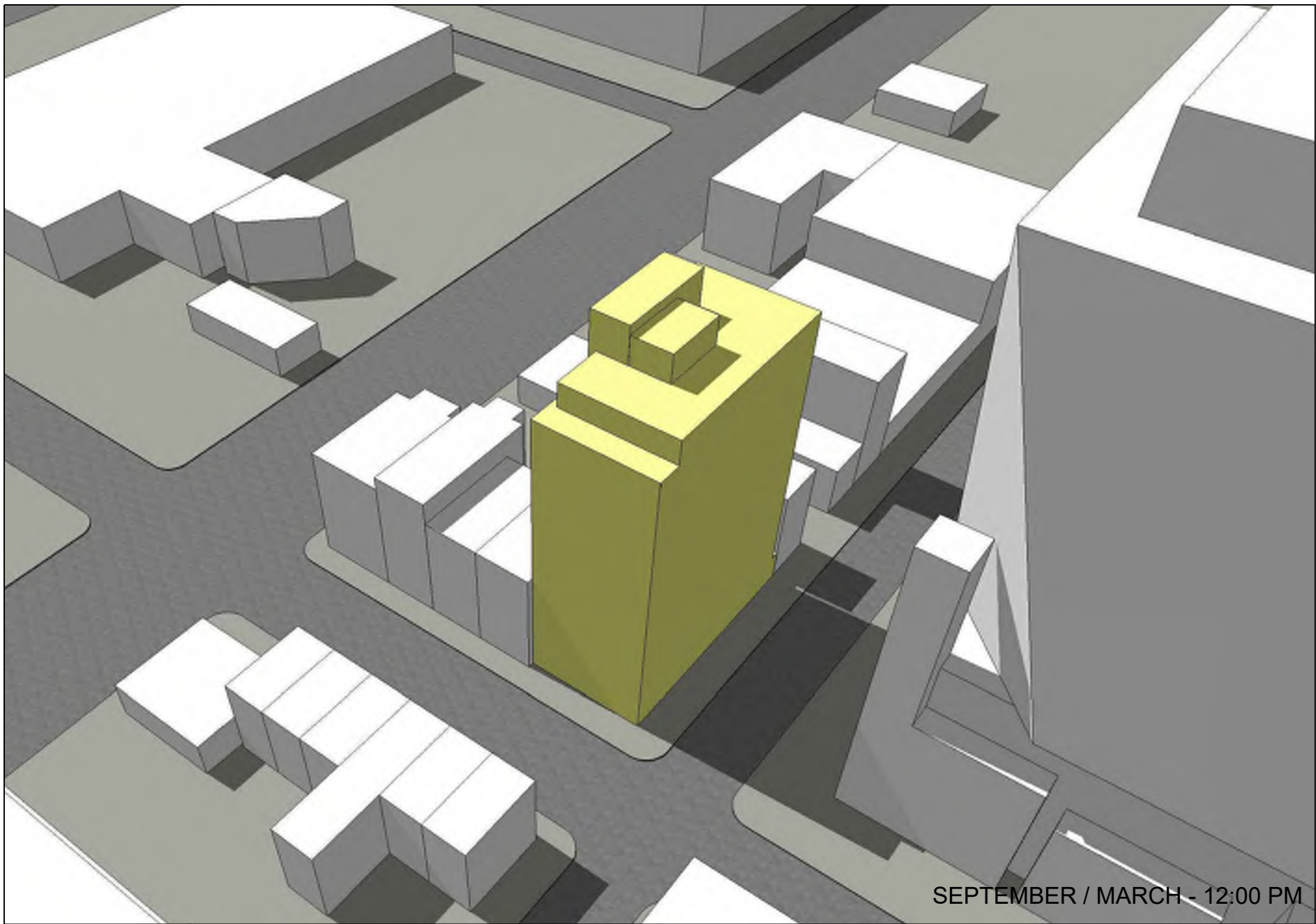
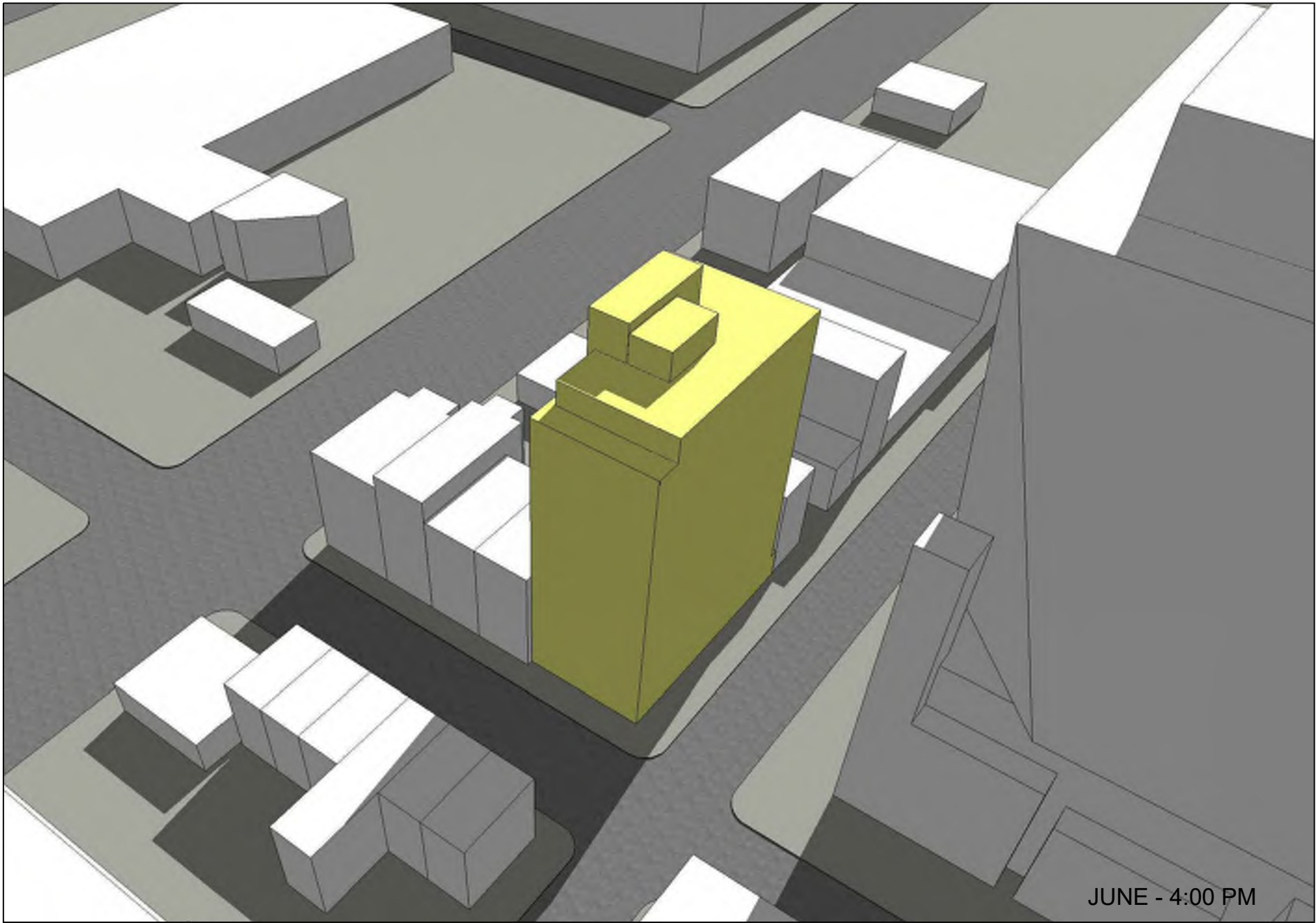
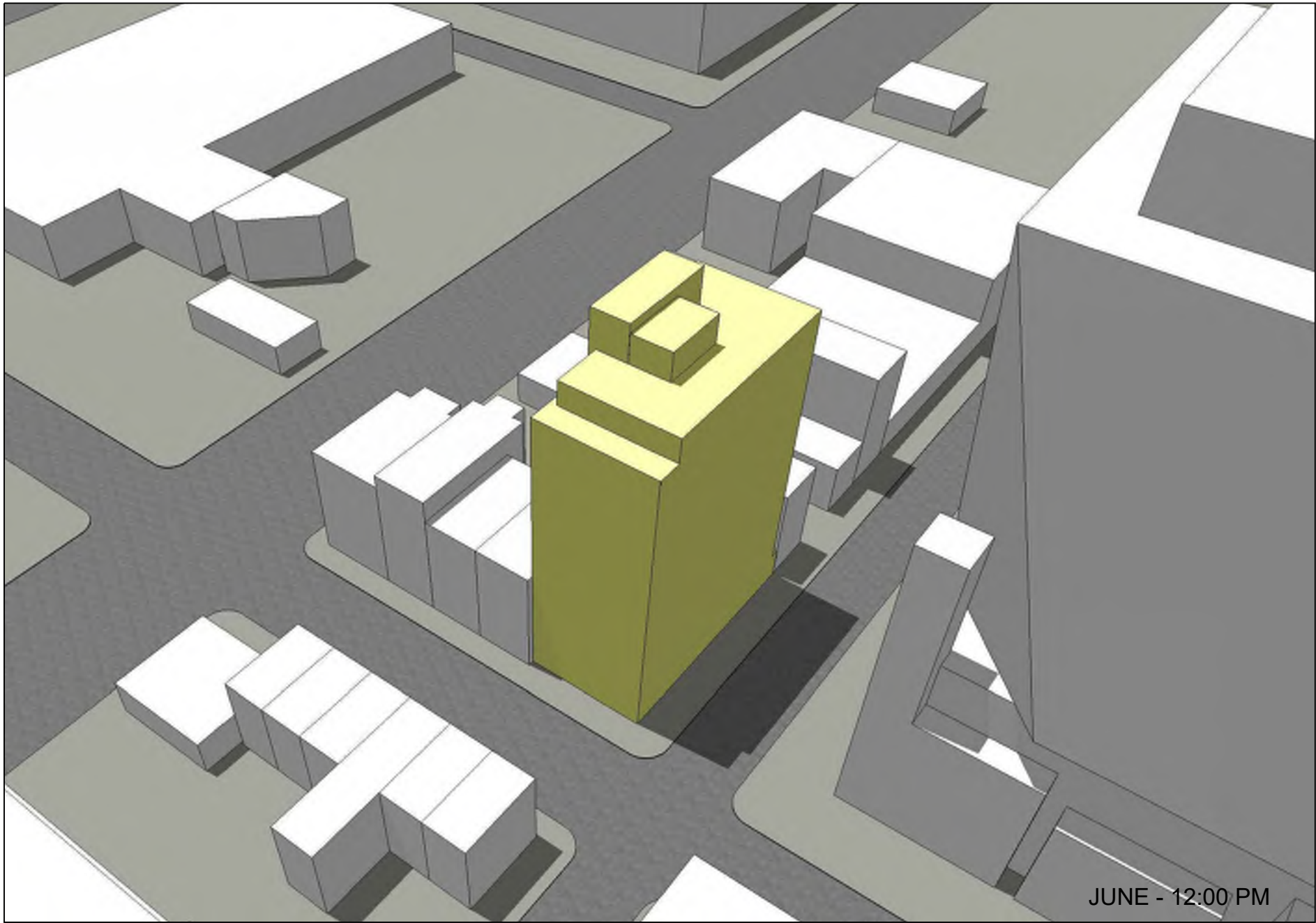
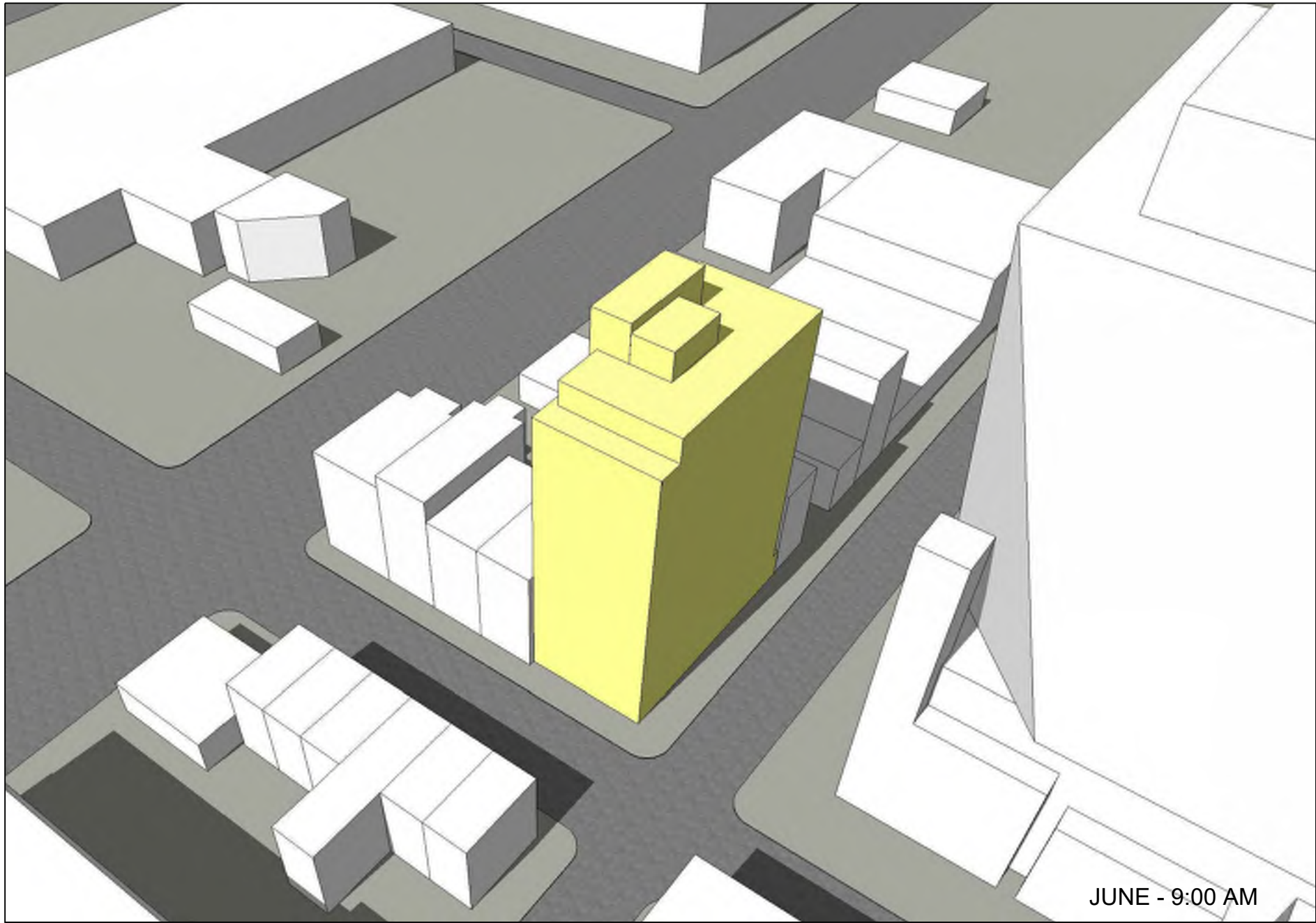
5 ENLARGED ELEVATION - GROVE ST. STOREFRONT

SCALE : 1/4" = 1'-0"



6 ENLARGED ELEVATION - REAR WINDOWS.

SCALE : 1/4" = 1'-0"



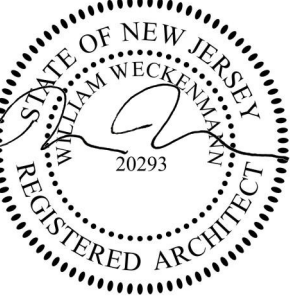
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SHADOW ANALYSIS

SHEET NUMBER:

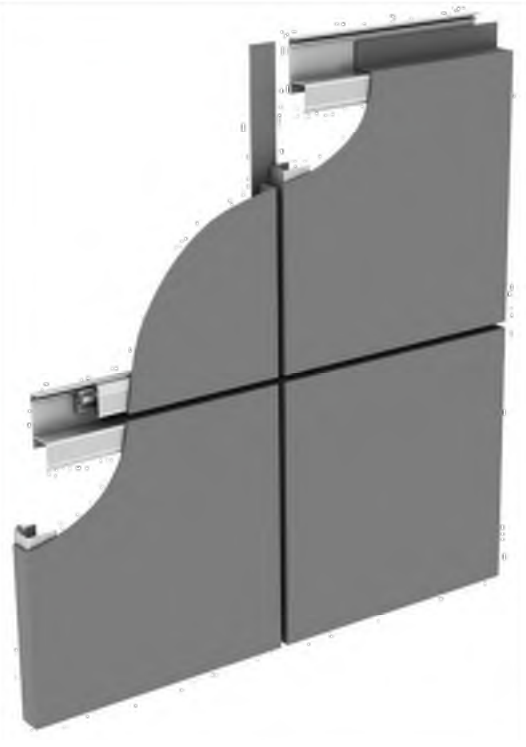
A-203

SCALE: AS SHOWN

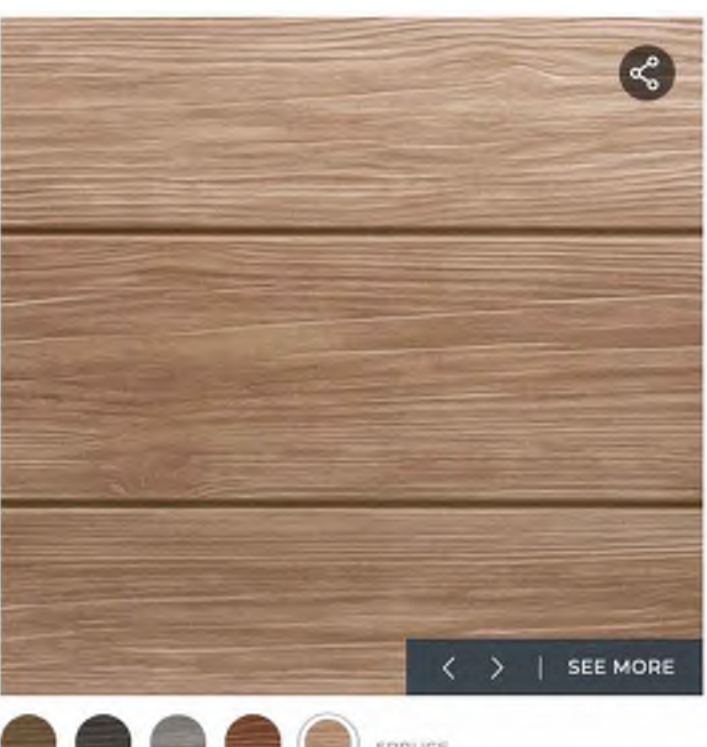
EXTERIOR MATERIAL SELECTIONS



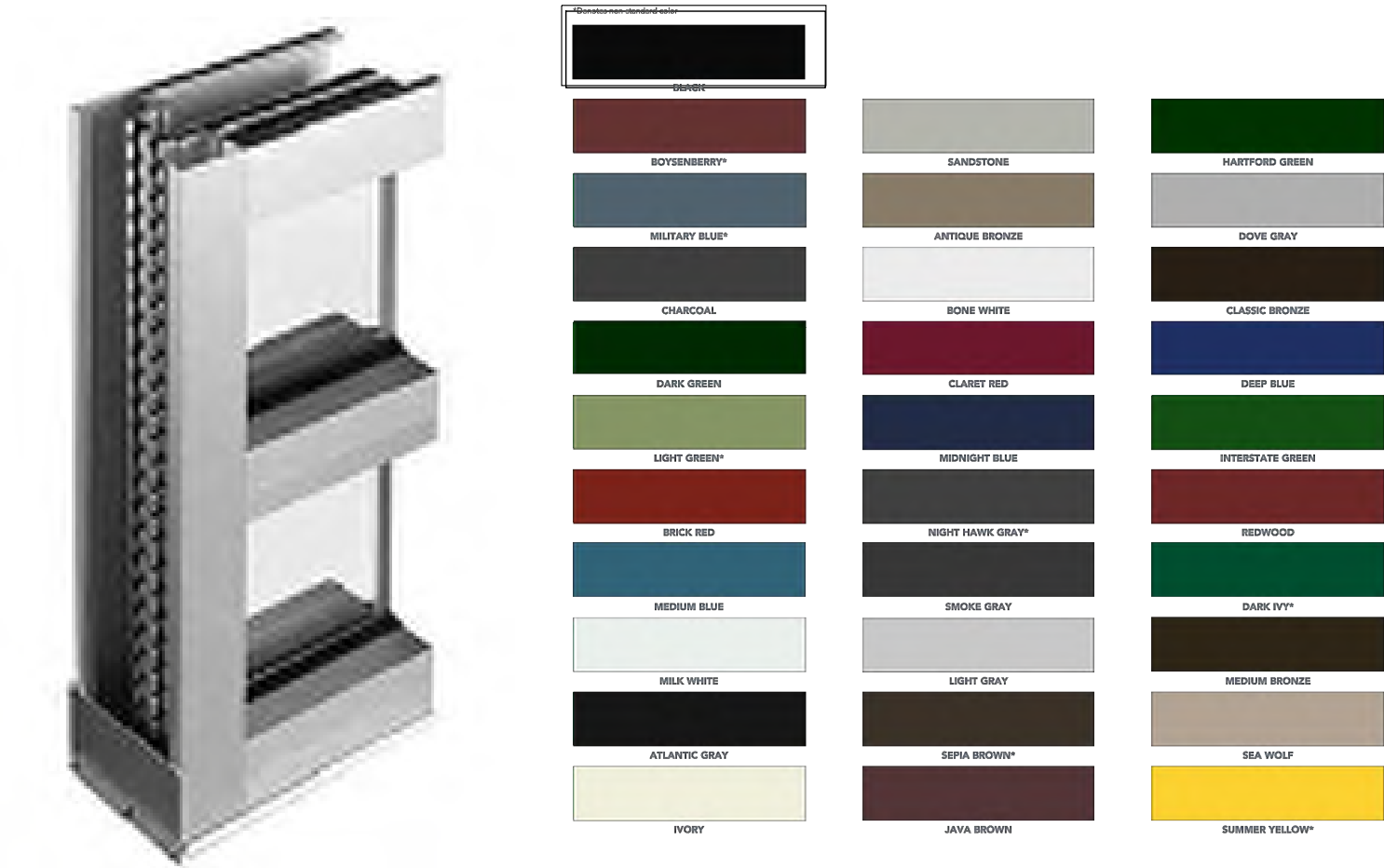
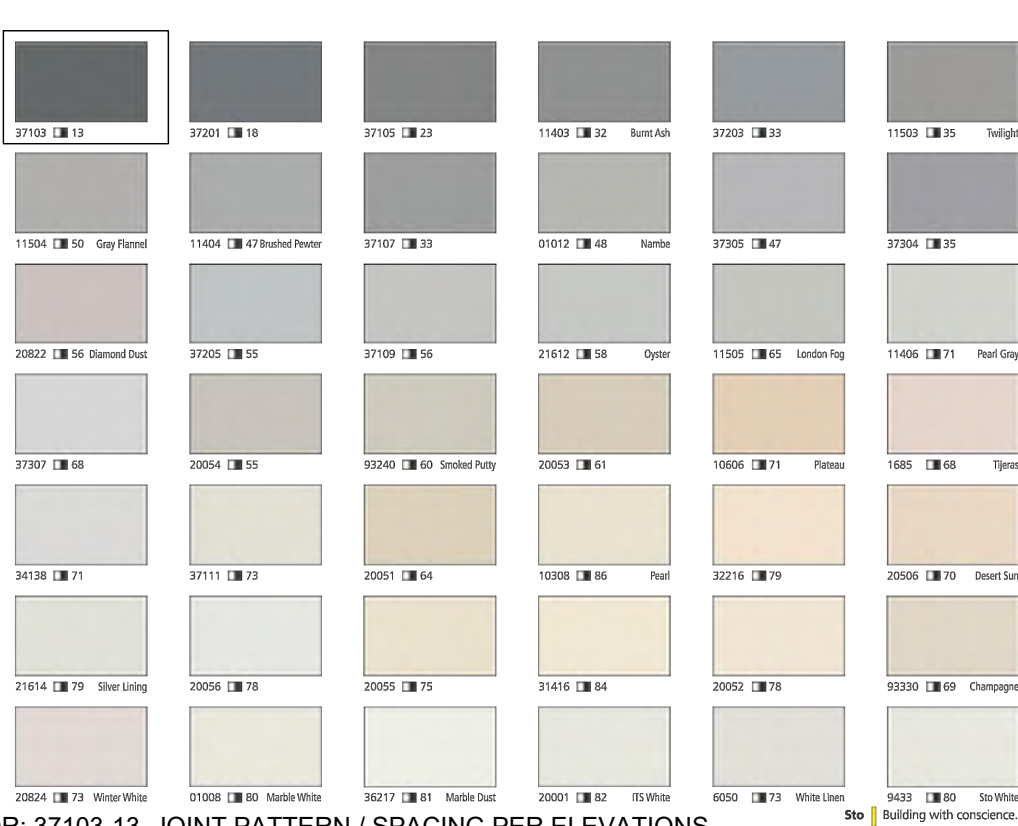
FACE BRICK: SIOUX CITY BRICK. CASTILE GRAY VELOUR. STANDARD MODULAR - 3-5/8" x 2-1/4" X 7-5/8"



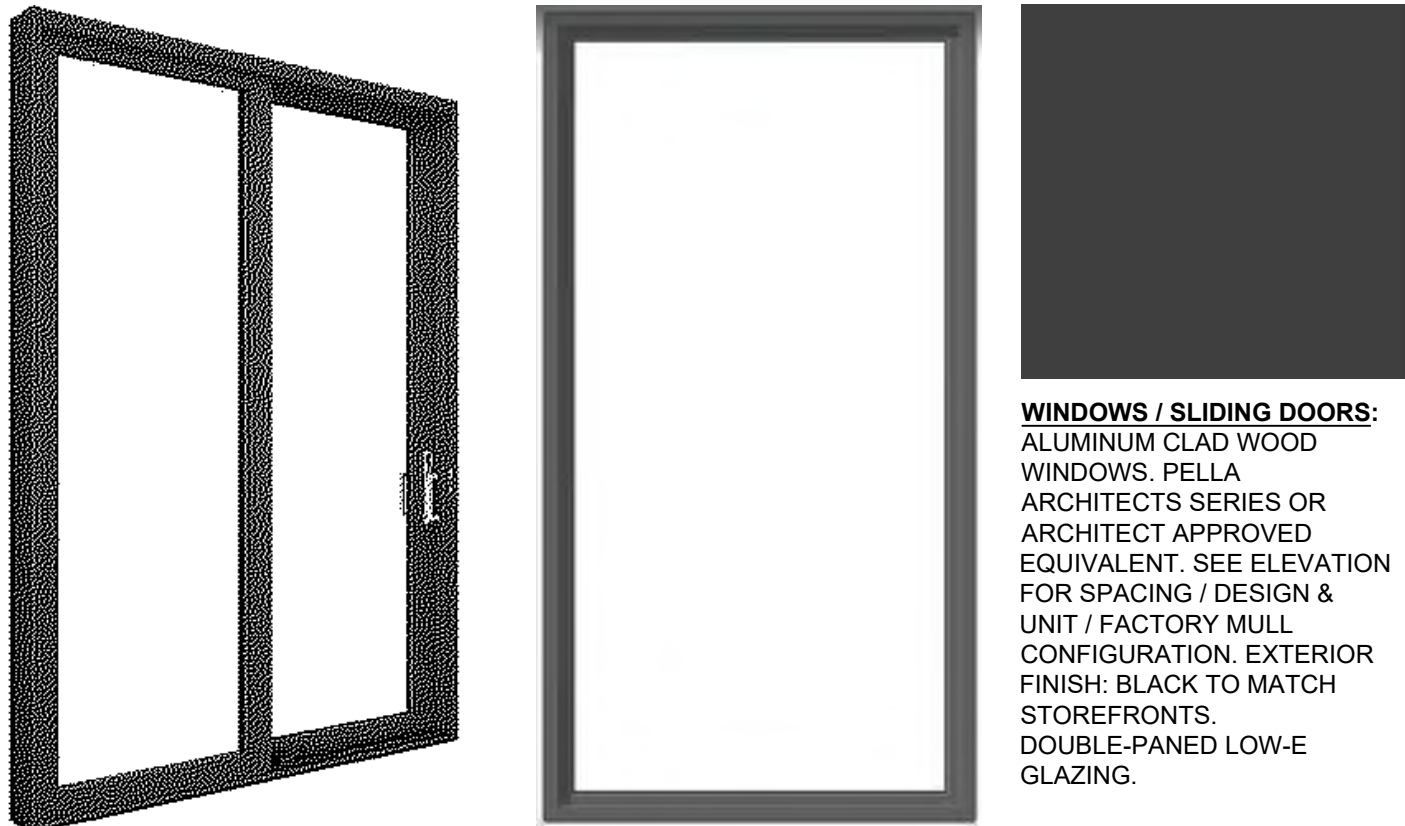
ALUMINUM ACM PANELS: CENTRIA, REYNOBOND OR ALUCOBOND COMPOSITE PANEL. MANUF. TO BE SELECTED PRIOR TO CONSTRUCTION. SEE ELEVATIONS FOR PANEL SIZING AND JOINT LOCATIONS (MAY VARY PER MANUFACTURER'S REQUIREMENTS). COORDINATE WITH WINDOW / STOREFRONT COLORS.



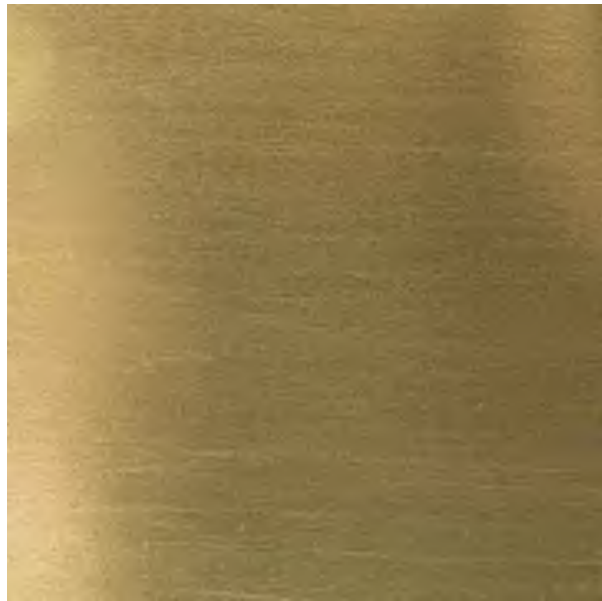
FIBER CEMENT ACCENT PANELS - NICHIIHA VINTAGEWOOD FIBER CEMENT SIDING, CEDAR FINISH. AWP3030



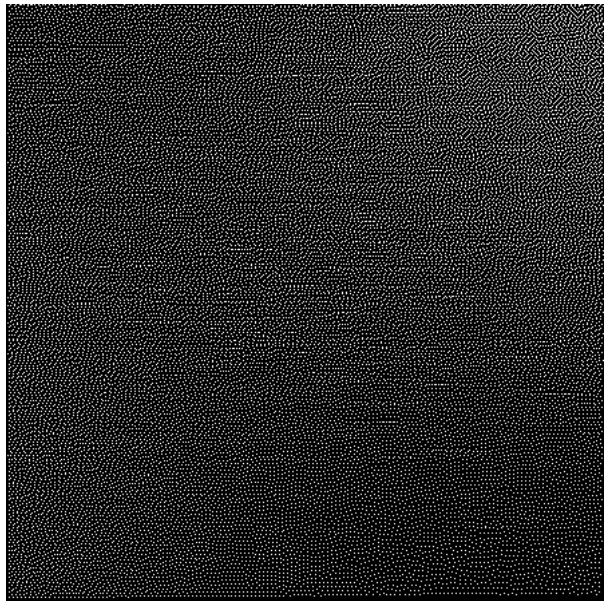
STOREFRONTS: KAWNEER TRIFAB VERSAGLAZE 451T. COLOR: BLACK. ALL S.F. ENTRY DOORS, APARTMENT WINDOWS, PATIO DOORS, BALCONY RAILINGS TO MATCH STOREFRONT ALUMINUM COLOR. SEE ELEVATIONS



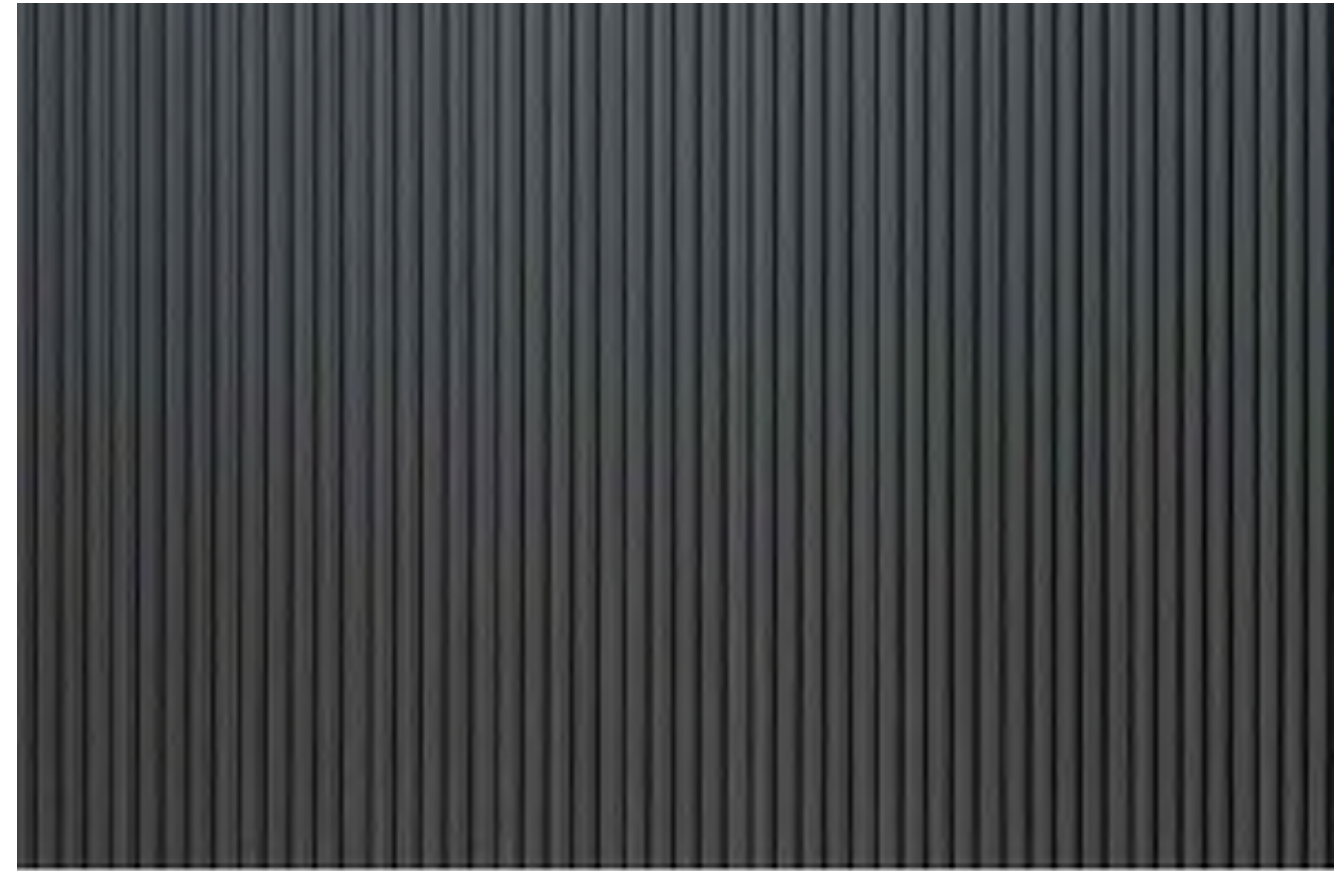
WINDOWS / SLIDING DOORS: ALUMINUM CLAD WOOD WINDOWS. PELLA ARCHITECTS SERIES OR ARCHITECT APPROVED EQUIVALENT. SEE ELEVATION FOR SPACING / DESIGN & UNIT / FACTORY MULL CONFIGURATION. EXTERIOR FINISH: BLACK TO MATCH STOREFRONTS. DOUBLE-PANED LOW-E GLAZING.



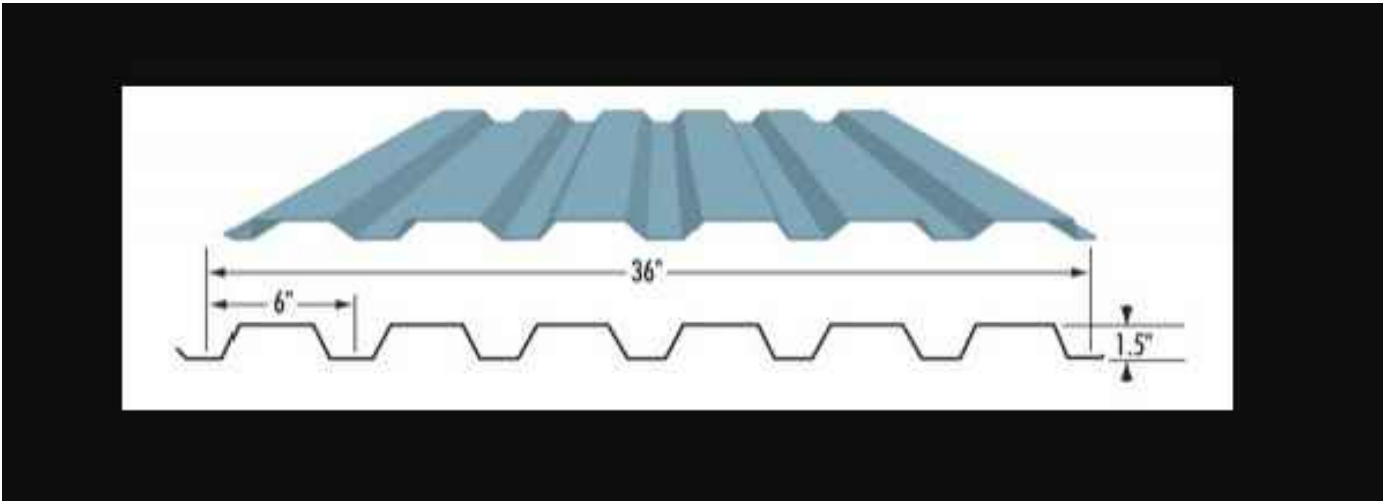
BRUSHED ALUMINUM : ACCENT - DOOR PULLS AND HARDWARE.



ALUMINUM - BLACK: STOREFRONTS, SPANDREL PANELS, BUILDING CANOPIES, MISC. BRAKE METAL, PARAPET COPING, WINDOWS AND DOORS.



CORRUGATED METAL BULKHEAD CLADDING:



CORRUGATED METAL BULKHEAD CLADDING: 1-1/2" 29 GA CORRUGATED METAL PANELS. FINISH - FACTORY FINISHED BLACK TO MATCH ROOFTOP STOREFRONTS AND BRAKE METAL. ALL FASTENERS AND TRIM PER MANUF. SPECS.

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02 03.06.23 PLANNING COMMENTS

EXTERIOR MATERIAL
SPECIFICATIONS

SHEET NUMBER:

A-204

SCALE: AS SHOWN



1 CONCEPTUAL RENDERING
SCALE : NOT TO SCALE

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CONCEPTUAL RENDERING

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