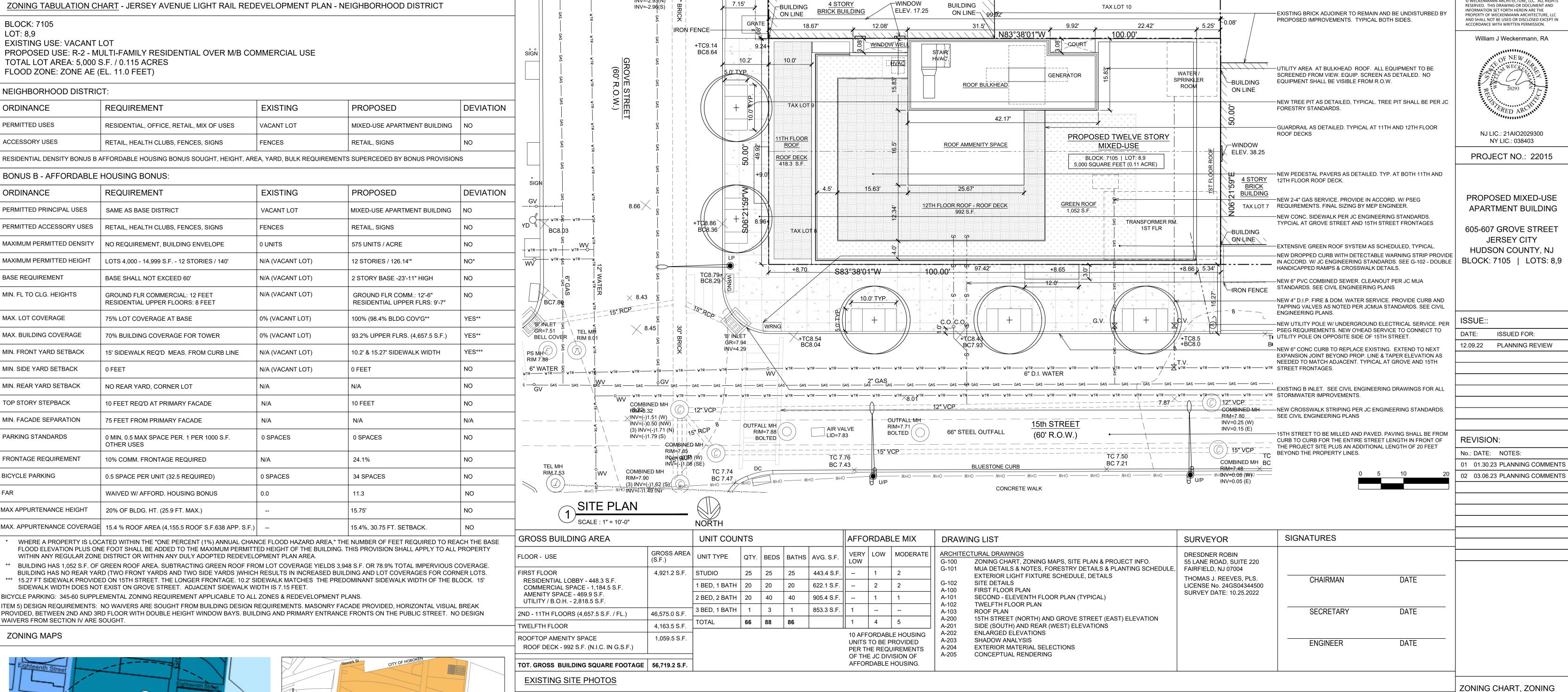
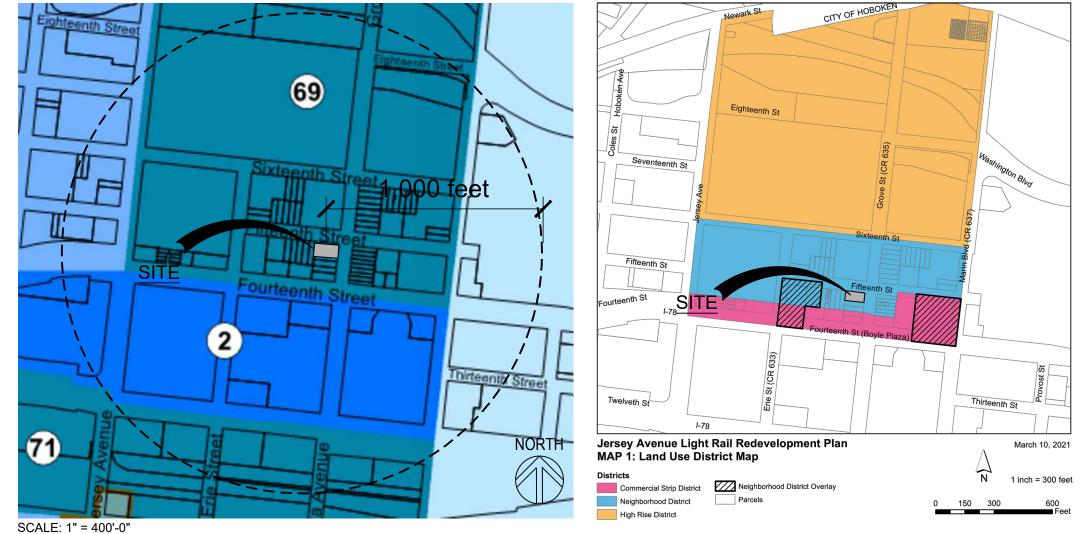
PROPOSED MIXED-USE APARTMENT BUILDING 605-607 GROVE STREET JERSEY CITY, HUDSON COUNTY, NJ

BLOCK: 7105 | LOT: 8,9











MAPS, SITE PLAN AND

PROJECT INFO.

Weckenmann

Architecture, LLC

PO BOX 1024 Maplewood, NJ 07040

(e) Will@WeckArch.com

(w) www.WeckArch.com

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(t) 973.220.7575

SHEET NUMBER:

GENERAL SITE AND MUA NOTES

- JERSEY CITY MUNICIPAL UTILITIES AUTHORITY STANDARD REQUIREMENTS FOR NEW SANITARY, STORM SEWERS AND SERVICE LATERALS 1.) BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NJDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE
- CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.
- 2.) ALL SEWER SERVICE CONNECTIONS 6-INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8-INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE. WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL MAY REQUIRE MODIFICATION.
- 3.) THE JCMUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE TELEVISED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY 4.) EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWINGS). T-WYE CLEANOUTS WHICH ENABLE CLEANING IN BOTH
- DIRECTIONS SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL 5.) PROPOSED SEWER LATERAL CONNECTION TO JCMUA SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS).
- 6.) THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. IN ADDITION, MANHOLE INVERTS AND RIM ELEVATION MUST BE SHOWN ON PLANS. THIS VERIFICATION IS TO BE INC. ON THE PLANS FOR THE PROJECT 7.) CIRCULAR HOLE SAWS WHICH ARE APPROXIMATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE

ATERALS, JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA SEWER MAIN ARE NOT

- ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO PIPE 8.) A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITIONTO RIM, GRATE AND INVERT ELEVATIONS OF THE STRUCTURE AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON PLANS, REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH
- 9.) PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY CO., PATTERN #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31-3/4 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES. THE LETTERS "JCMUA" AND "SEWER" SHALL BE CAST IN THE INSIDE COVER. MANHOLE. FRAMES SHALL BE CAMPBELL FOUNDRY CO. PATTERN #4428 (FOR 30-INCH OPENING) OR #1206 (FOR 41-INCH OPENING) OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH. REFER TO JCMUA STANDARD DETAIL FOR MANHOLE FRAME AND COVERS.
- 10.) STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWERS MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCMUA STANDARD DETAILS.
- 11.) THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.
- 12.) A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO JCMUA STD. DETAIL FOR DROP MANHOLE CONNECTION IF REQ'D 13.) TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND
- SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES. 14.) ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED W/CONCRETE SLURRY OR REMOVED FROM THE GROUND. CATCH BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTION(S) 15.) ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL FOUNDRY CO. TYPE "N" CURBPIECE WHERE
- 16.) PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATERENGINEERING

IN ADDITION TO OTHER REQUIREMENTS THAT MAY BE IMPOSED BY THE JCMUA.

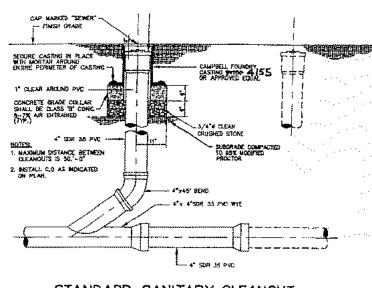
PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP

- 17.) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MONTGOMERY STREET, JERSEY CITY, NJ AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION. 18.) THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NJDEP RULES AND REGULATIONS GOVERNING TREATMENT WORKS APPROVAL PROGRAM, LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS ETC.
- THE JERSEY CITY MUNICIPAL UTILITIES AUTHORITY REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS: 1) ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU
- OF WATER ENGINEERING FOR APPROVAL. FIVE (5) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY. 2) SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES. INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREETS WITH WATER MAIN, SERVICE, AND DETAILS INDICATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY.
- 3) INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF TAP, LOCATION OF TAPPING AND CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE. 4) ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAXIMUM OF ONE (1) TAP SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT
- BY UNITED WATER JERSEY CITY (UWJC) UNLESS APPROVED BY JCMUA. 5) ONLY ONE DOMESTIC/ FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METERS ON INDIVIDUAL BRANCH CONNECTIONS DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE OWNER/ TENANT FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE
- 6) A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE TAP IS MADE. 7) FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT: A TAPPING VALVE, LOCATED AT
- THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE WET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC. 8) FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER. THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE
- TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE, & WRITTEN APPROVAL IS ISSUED BY JCMUA. 9) VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES /
- STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/ STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER. 10) ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL
- JOINTS. 11) THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL
- 12) FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2"), A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS, AMES 5000 RPDA OR WATTS 909 RPDA*) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER ON THE BYPASS (AMES 4000 SS OR WATTS 909*) (REFER TO FIGURE 1). ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1.5" OR 2"), A FIRE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000 DCV*) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909*) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS (REFER TO FIGURE 13). ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OS&Y VALVES, HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (VICTAULIC SERIES 728
- FIRELOCK*) INSTEAD OF OS&Y VALVES. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8 INCH X 3/4 INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METERS WITH TOUCHPAD AND RADIO READ CAPABILITIES. THE SAME RADIO MXU UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE. 3) FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909*) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY
- IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SEWAGE EJECTORS 14) IF A REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQ'D ON THE DOM. SERVICE, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST
- 15) METERS SIZES 2 INCHES THROUGH 6" SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND
- MANIFOLD METERS. 16) ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEANS SUCH AS UNIFLANGES WHERE INTERNAL PIPE PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON
- CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE. 17) ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT
- 18) EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED FROM JCMUA OR ITS AUTHORIZED AGENT. 19) METERS 2" & LARGER SHALL BE FURNISHED W/ SENSUS ECR/WP REMOTE TOUCH PAD MODULES AND RADIO MXU UNITS FOR BOTH TYPES OF READING
- 20) REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSIBLE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO STREET.
- 21) ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. 22) ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO MXU UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED
- PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS. 23) AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP, AND METER) THE APPLICANT SHALL CALL UWJC AT (201) 239-1108 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFFTY
- 24) UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS. 25) EXISTING DOMESTIC WATER SERVICE LINE IS TO BE CUT AND CAPPED AT THE WATER MAIN IN ACCORDANCE WITH JCMUA STANDARDS. PROVIDE FOR INSPECTION BY JCMUA 24 HOURS AFTER NEW WATER SERVICE INSTALLATION.
- * SPECIFIED MODEL OR APPROVED EQUAL

ISSUED FOR THE BLDG.

LANDSCAPE MAINTENANCE NOTES

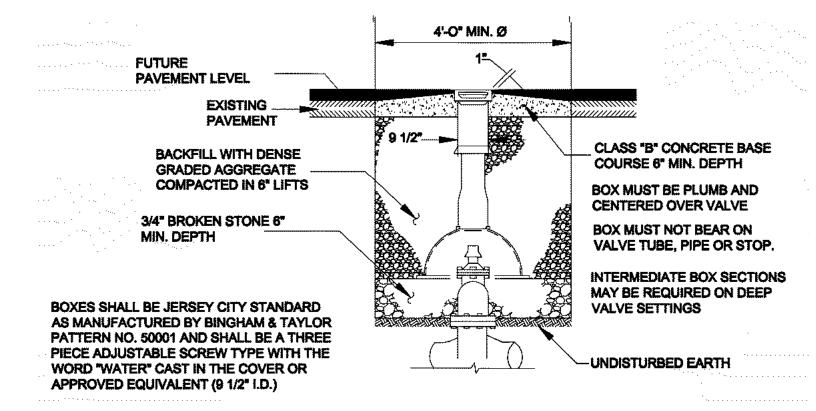
- 1. ALL EXTERIOR GROUND AREAS WITHIN THE LIMIT OF THE CONTRACT, EXCEPT SURFACES OCCUPIED BY BUILDING AND PAVING, SHALL RECEIVE GRASS SEED, MULCH OR PLANTS AS SHOWN ON THE DRAWINGS. LANDSCAPE CONTRACTOR TO FURNISH TOPSOIL, FINISH GRADING, PREPARE SEEDBED, SEED, ALL PLANTS AND MAINTAIN AREAS ON THE DRAWINGS.
- 2. ALL PLANTING INCLUDING SEED FOR LAWN AREAS SHALL BE INSTALLED BETWEEN MARCH 15 AND JUNE 15 OR BETWEEN SEPTEMBER 15 AND NOVEMBER 30 UNLESS DICTATED BY UNUSUAL SEASONAL OR WEATHER CONDITIONS.
- 3. ALL NEW PLANTING BEDS ARE TO RECEIVE A MINIMUM DEPTH OF 3 INCHES OF SHREDDED CEDAR BARK MULCH, OR SHREDDED HARDWOOD BARK MULCH, CONTINUOUS.
- 4. ALL PLANTING BEDS TO BE EDGED AND DEFINED WITH STEEL OR NEOPRENE
- 5. LANDSCAPE CONTRACTOR SHALL GUARANTEE TO THE OWNER THE LIFE OF ALL PLANT MATERIAL INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL NEW PLANT MATERIAL WITH 50% OR LESS LIVING TWIGS, STEMS AND BRANCHES SHALL BE REMOVED AND REPLACED WITH NEW FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND OWNER ACCEPTANCE. OWNER SHALL BE RESPONSIBLE FOR ALL NORMAL MAINTENANCE OF THE LAWNS AFTER THE THIRD MOWING AND ESTABLISHMENT OF A THICK AND UNIFORM CATCH OF GRASS.
- AND OF ALL OTHER PLANTS IMMEDIATELY AFTER FINAL COMPLETION OF ALL INSTALLATION, AND ACCEPTANCE OF THE PROJECT BY THE OWNER. 6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE LEGAL REMOVAL OF ALL SITE DEBRIS AND SITE RUBBISH FROM THE PROPERTY. ALL EXISTING VEGETATION AND STREET TREES (IF ANY) TO BE REMOVED PRIOR TO THE START OF WORK.
- 7. $\,$ CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES PRIOR TO START OF ANY WORK
- 8. CONTRACTOR TO REVIEW LIGHTING, POSTS, FENCING, GATES, WALK SURFACES AND PROPOSED BUILDINGS FOR COORDINATION PURPOSES 9. ALL PLANT MATERIAL TO BE REVIEWED WITH OWNER PRIOR TO ORDER. ANY SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED IN WRITING BY THE ARCHITECT. CONTRACTOR MUST REVIEW ACCEPTABLE SUBSTITUTIONS WITH ARCHITECT PRIOR TO ORDERING. UNAUTHORIZED SUBSTITUTIONS OF GENUS,
- SPECIES AND SIZES MUST BE REMOVED IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE 10. ANY LANDSCAPING WHICH IN NOT RESISTANT TO THE ENVIRONMENT OR THAT DIES WITHIN TWO (2) YEARS OF PLANTING SHALL BE REPLACED BY THE DEVELOPER.



SANTARY SEWER MAN "4" Ø 45" WITE HUANCH MINNEM SLOPE TO SCHER MAIN TO BE WAINCH PED PT. --4" X 4" WYE NOTE: LALSO SEPTER TO BUILDING MECHANICAL PLANS FOR LATERAL LOCATIONS.
2 ALSO SEE STANDARD SANTARY CLEANOUT OFTAL THE PAGE.

- CLEB OR CURBLINE

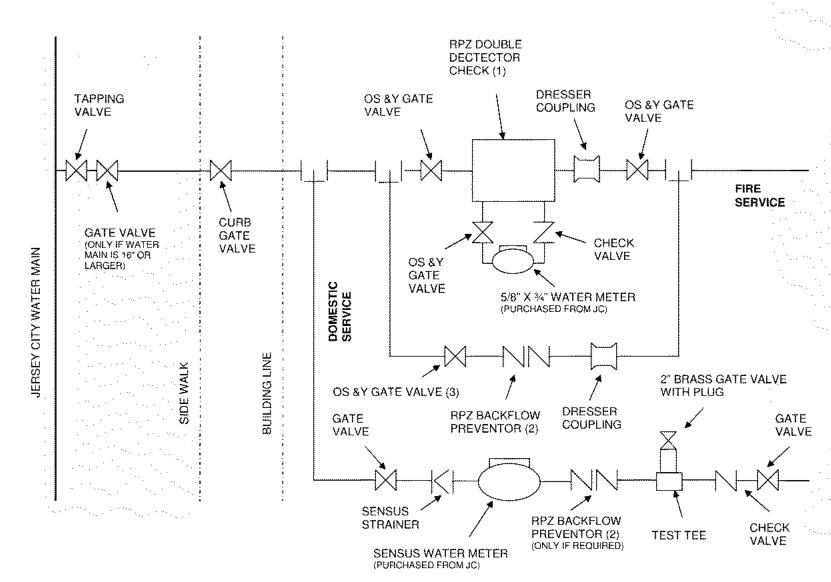
SANTARY SEWER SERVICE LATERAL DETAIL



NEW WATER VALVE BOX DETAIL

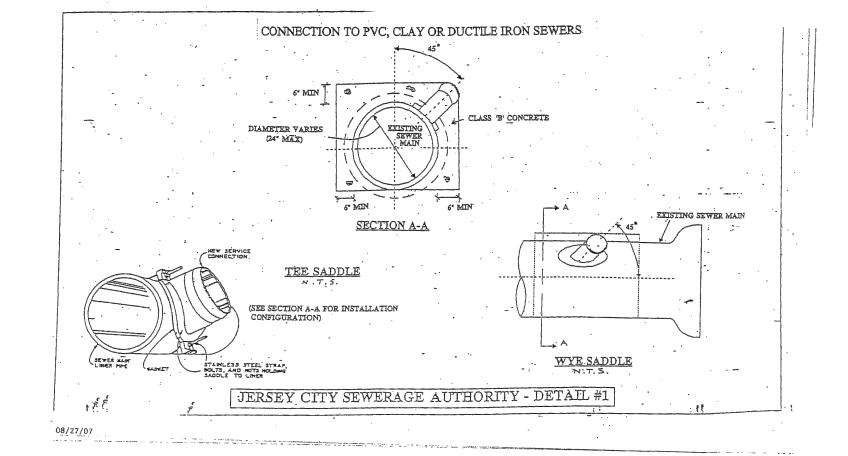
WATER VALVE BOX DETAIL

FIGURE 1. J.C.M.U.A. REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS

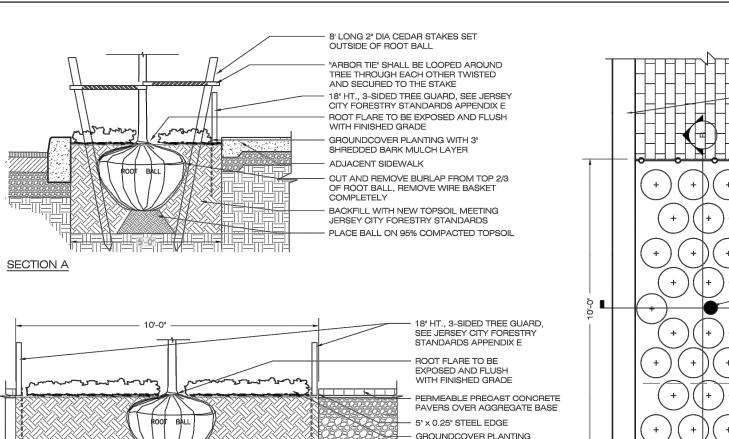


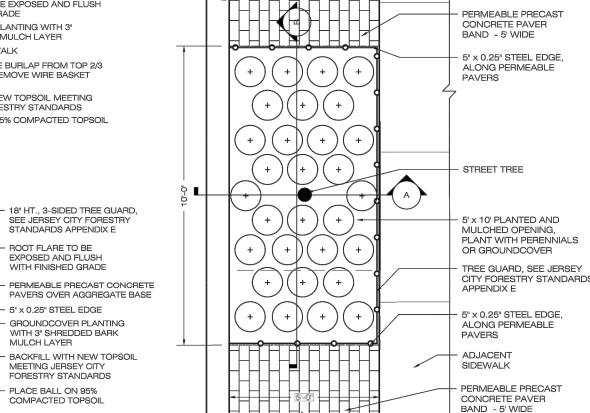
(1) Ames 5000 SS, Ames 5000 RPDA or Watts 909 RPDA, (2) Ames 4000 SS or Watts 909, (3) Gate valve sealed by JCMUA or agent (UWJC) Must use model # specified or approved equal

DOMESTIC/SPRINKLER SERVICE SCHEMATIC SCALE: NOT TO SCALE



CLAY SEWER CONNECTION DETAIL





PLAN VIEW

9" X 20" CONCRETE

STREET TREE PLANTING DETAILS

PLANTING SCHEDULE

SECTION E

KEY	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	COMMENTS
СС	CARPINUS CAROLINIANA	AMERICAN HORNBEAM	5	20'-30' HT.	B&B, RECOMMENDED UNDER POWER LINES, 20-30 FT SPREAD. 3.5" IN CALIPER MINIMUM SIZE.

VITH 3" SHREDDED BARK

MEETING JERSEY CITY

PLACE BALL ON 95%

FORESTRY STANDARDS

MULCH LAYER

EXTERIOR LIGHT FIXTURE SCHEDULE

LE SE

SYME	OL MANUF. / MODEL.	TYPE	WATTAGE	LAMP	FINISH	NOTES
L1	BEGA / 24 801+K27	SQ. RECESSED	8.4W	LED - 605 LUMENS, 25°	BRONZE (BRZ)	4-5/8" SQ. MOUNT AT UNDERSIDE OF CANOPIES / BAYS
L2	BEGA / 24 134+27K	WALL SCONCE	16.8W	LED - 1,083 LUMENS	BRONZE (BRZ)	7" CUBE. MTD. AT 7'-0" A.F.F. AT ROOF DECK LOCATIONS

ROOFTOP LANDSCAPING TO BE PER GREEN ROOF MANUFACTURER'S RECOMMENDATIONS. STREET TREE TO BE $\,$ PER JC FORESTRY STANDARDS $\,$

FIXTURE FEATURES REFLECTORS TO PREVENT GLARE TO ADJACENT PROPERTIES AND TOWARDS SKY



IMAGES NOT TO SCALE

SYSTEM TYPE:

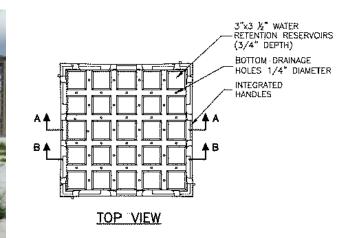
PRODUCT #:

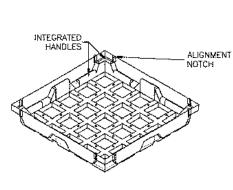
SIZE:

WEIGHT:

MANUFACTURER:







MODULE / TRAY DETAILS

VEGETATION: SUCCULENT GROUND COVERS, PERENNIALS AND NATIVE GRASSES. CUSTOM VEGETATION BLEND DESIGNED BY MANUFACTURER DURING CONSTRUCTION GREEN ROOF SYSTEM

30 LBS

EXTENSIVE

GREENGRID

G4 MODULE

2'-0" X 2'-0" X 0'- 4 1/2"



PEDESTAL PAVERS

WEIGHT:

IPE WOOD TILES

MANUFACTURER: PRODUCT #: DIMENSIONS:

WT-FSC-100%-IPE-24 WITH VERSADJUST / SCREWJACK PEDESTAL SYSTEM 23.875" X 23.875" X 1.69" 24 LBS

WEIGNT PSF: 6 PSF

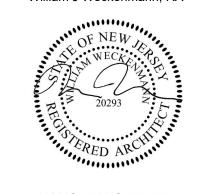
12TH FLOOR ROOF DECK PEDESTAL PAVERS

Weckenmann Architecture, LLC

PO BOX 1024 Maplewood, NJ 07040 (t) 973.220.7575 (e) Will@WeckArch.com (w) www.WeckArch.com

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William J Weckenmann, RA



NJ LIC.: 21AIO2029300 NY LIC.: 038403

PROJECT NO.: 22015

PROPOSED MIXED-USE APARTMENT BUILDING

605-607 GROVE STREET JERSEY CITY HUDSON COUNTY, NJ BLOCK: 7105 | LOTS: 8,9

ISSUE:: DATE:

ISSUED FOR: 12.09.22 PLANNING REVIEW

REVISION:

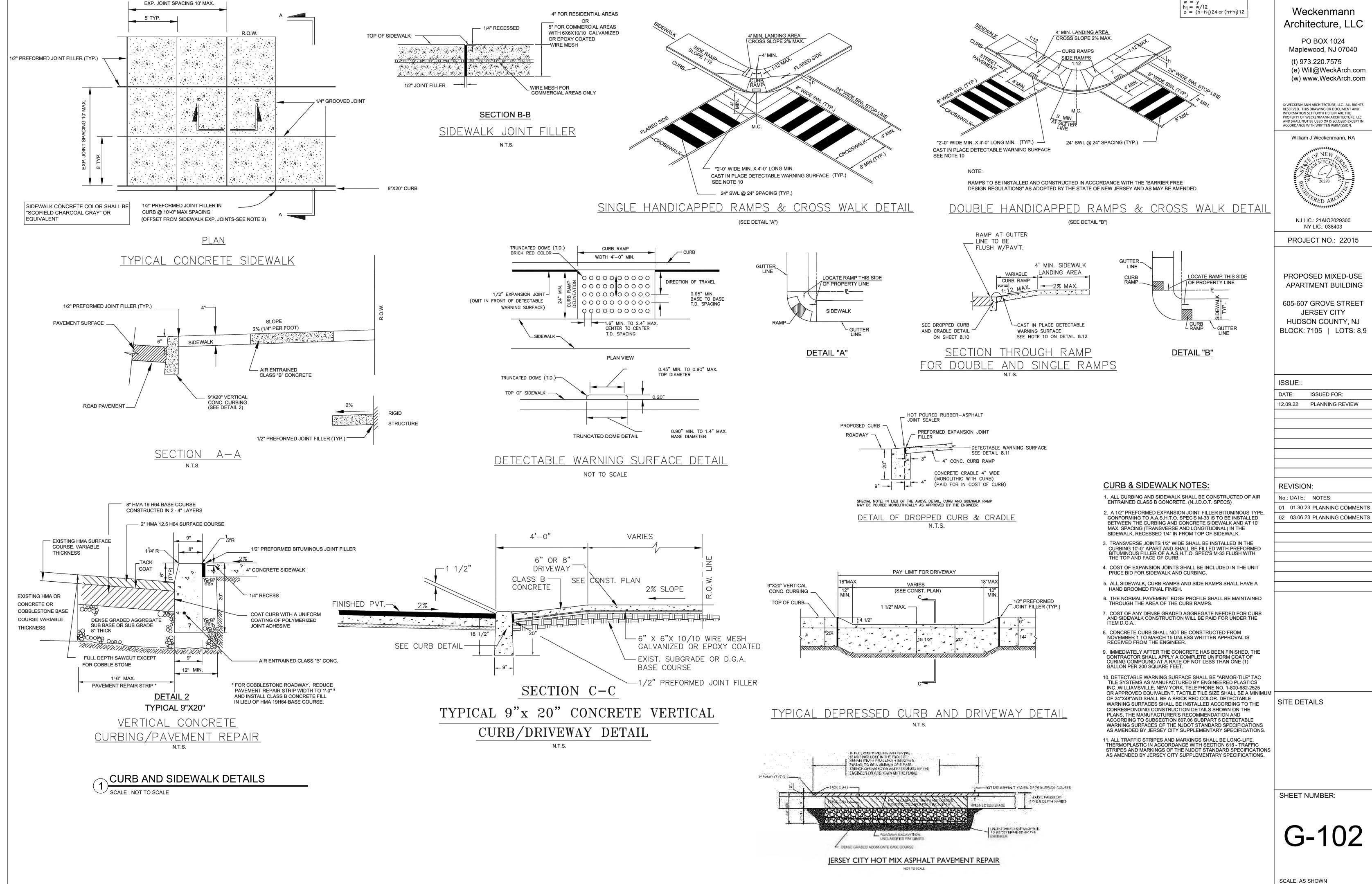
No.: DATE: NOTES: 01 01.30.23 PLANNING COMMENTS

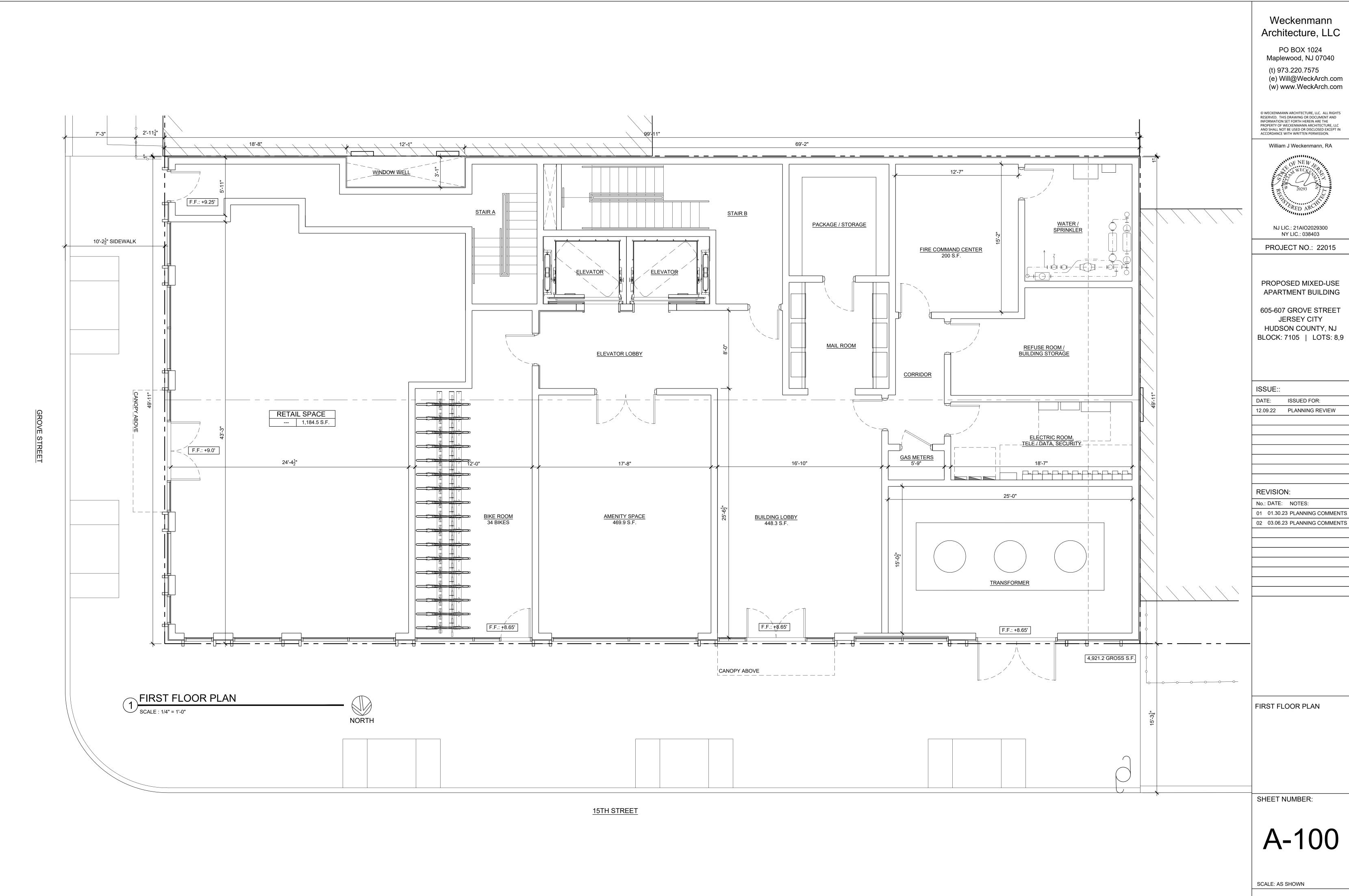
02 03.06.23 PLANNING COMMENTS

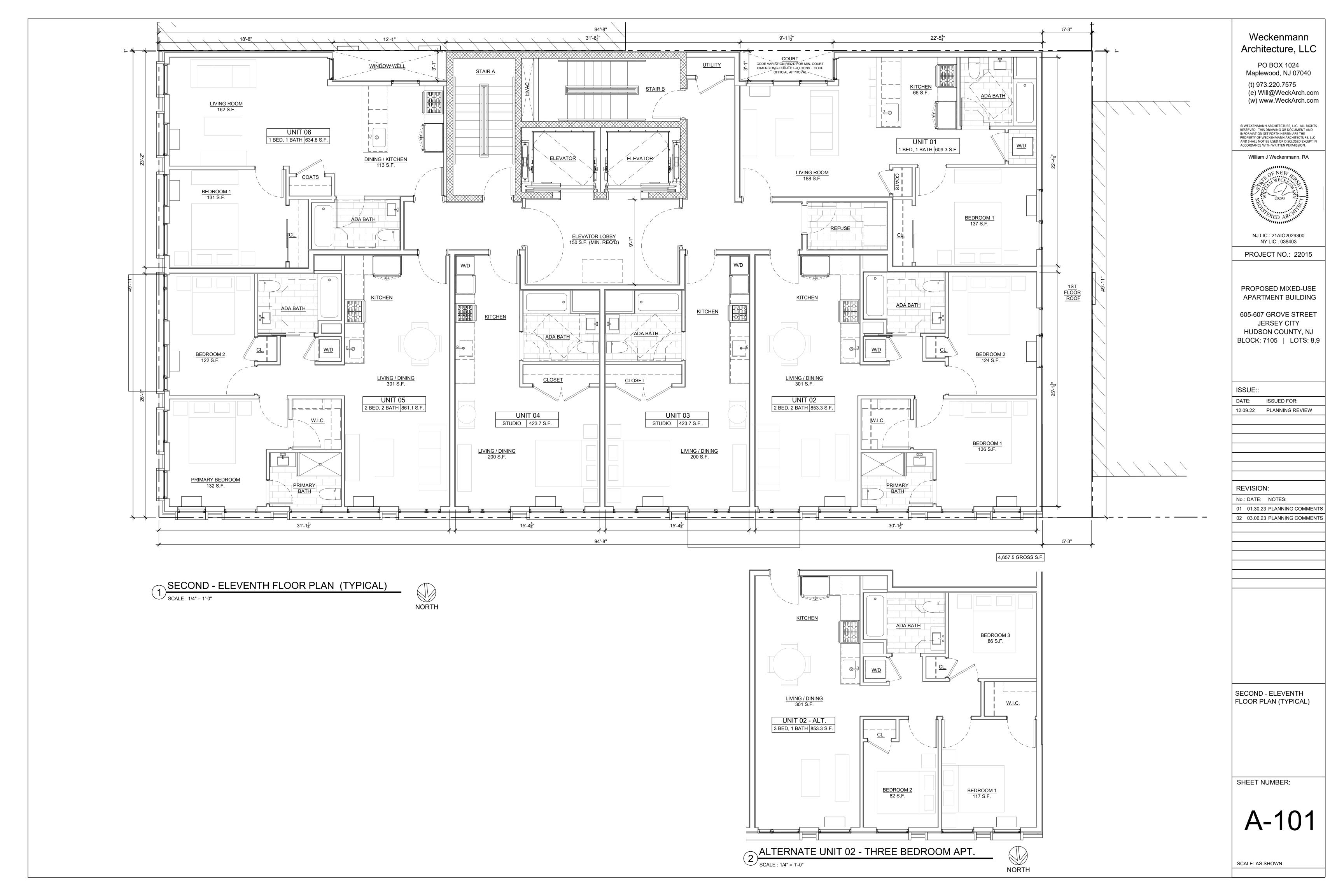
MUA DETAILS & NOTES, FORESTRY DETAILS & PLANTING SCHEDULE, EXTERIOR LIGHT FIXTURE

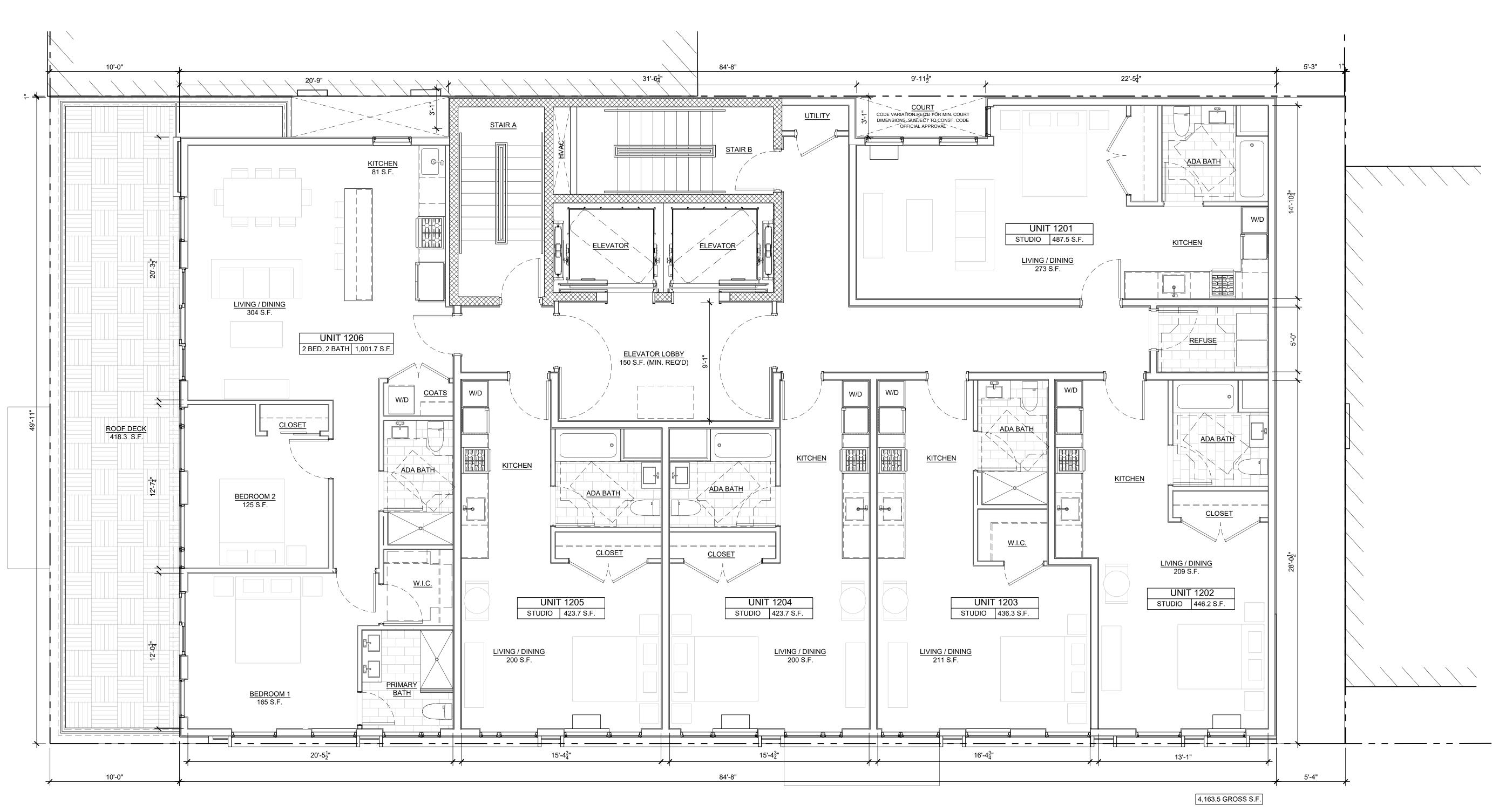
SCHEDULE, DETAILS

SHEET NUMBER:









TWELFTH FLOOR PLAN

SCALE: 1/4" = 1'-0"



Weckenmann

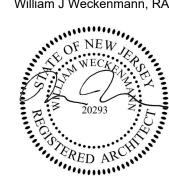
PO BOX 1024

Architecture, LLC

Maplewood, NJ 07040 (t) 973.220.7575 (e) Will@WeckArch.com (w) www.WeckArch.com

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William J Weckenmann, RA



NJ LIC.: 21AIO2029300 NY LIC.: 038403

PROJECT NO.: 22015

PROPOSED MIXED-USE APARTMENT BUILDING

605-607 GROVE STREET JERSEY CITY HUDSON COUNTY, NJ BLOCK: 7105 | LOTS: 8,9

DATE: ISSUED FOR: 12.09.22 PLANNING REVIEW

ISSUE::

REVISION:

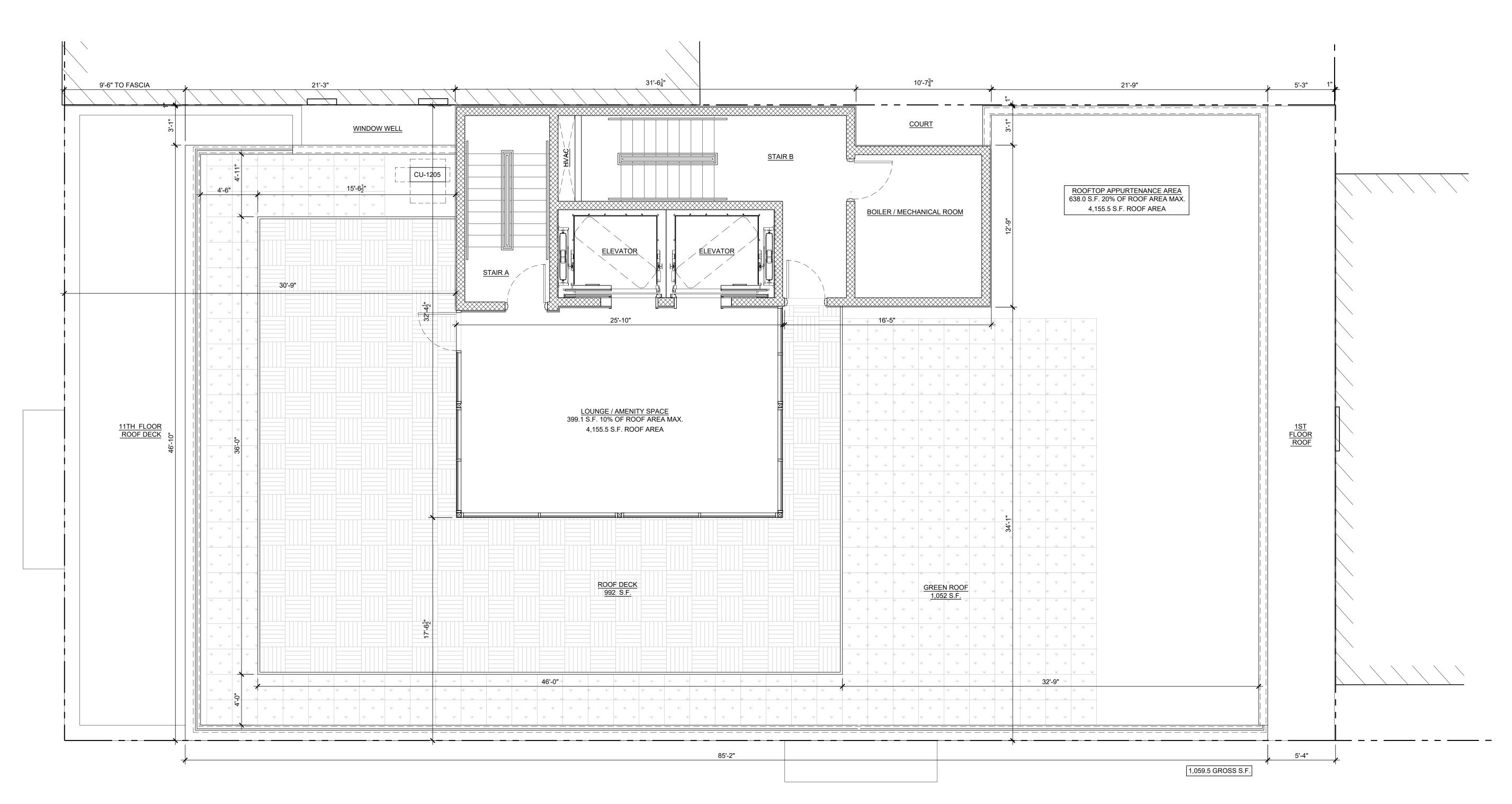
No.: DATE: NOTES: 01 01.30.23 PLANNING COMMENTS

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TWELFTH FLOOR PLAN

SHEET NUMBER:

A-102



ROOF PLAN



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PO BOX 1024
Maplewood, NJ 07040
(t) 973.220.7575
(e) Will@WeckArch.com
(w) www.WeckArch.com

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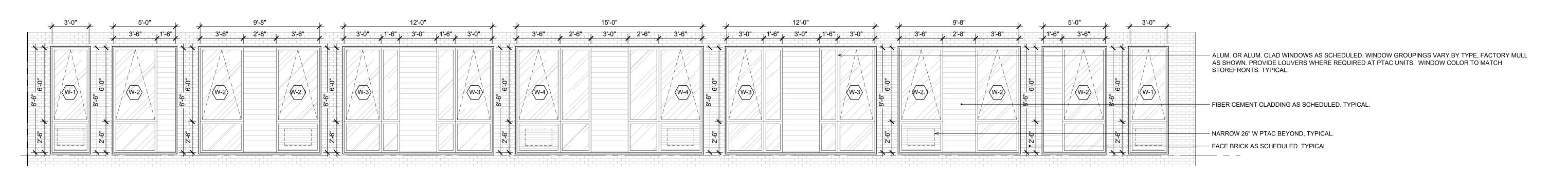
ROOF PLAN

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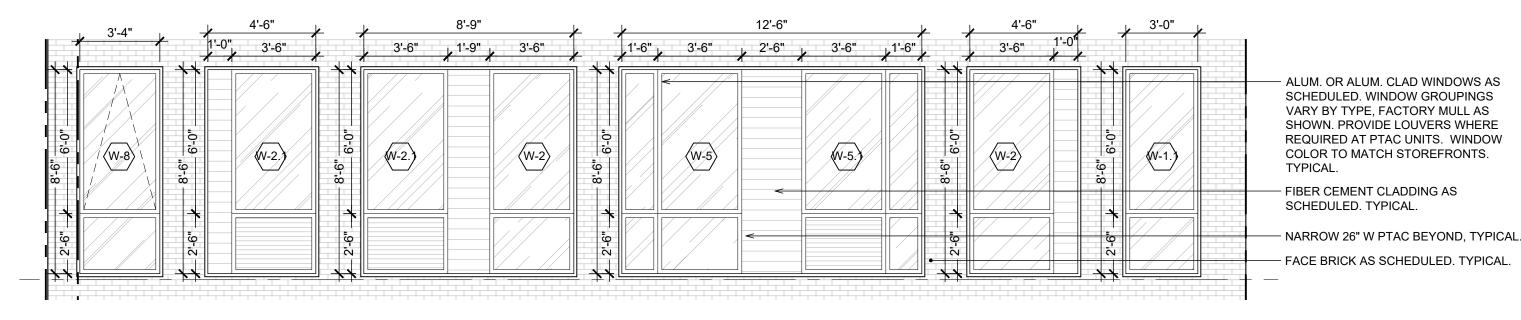
A-103







ENLARGED ELEVATION - TYP. 15TH STREET WINDOWS



1'-6" 3'-6" 3'-6" 1'-6"

WINDOW W2 AND W2.1 - AWNING WINDOW OVER

STOREFRONTS

FIXED WINDOW. REPLACE LOWER FIXED UNIT WITH

LOUVERS AT WINDOW 5.1 FACT. FINISH TO MATCH

W-6 & W-7: ALUM. OR ALUM. CLAD SLIDING PATIO DOOR. FACTORY MULL AS SHOWN. WINDOW COLOR TO MATCH STOREFRONTS. TYPICAL.

ALUM. OR ALUM. CLAD WINDOWS AS SCHEDULED. WINDOW GROUPINGS VARY BY TYPE, FACTORY MULL AS SHOWN. PROVIDE LOUVERS WHERE REQUIRED AT PTAC UNITS. WINDOW COLOR TO MATCH STOREFRONTS. TYPICAL.

FIBER CEMENT CLADDING AS SCHEDULED. TYPICAL.

- 1/2" SQ. PICKETS SPACED AT 4" O.C. MAX.

3'-0"

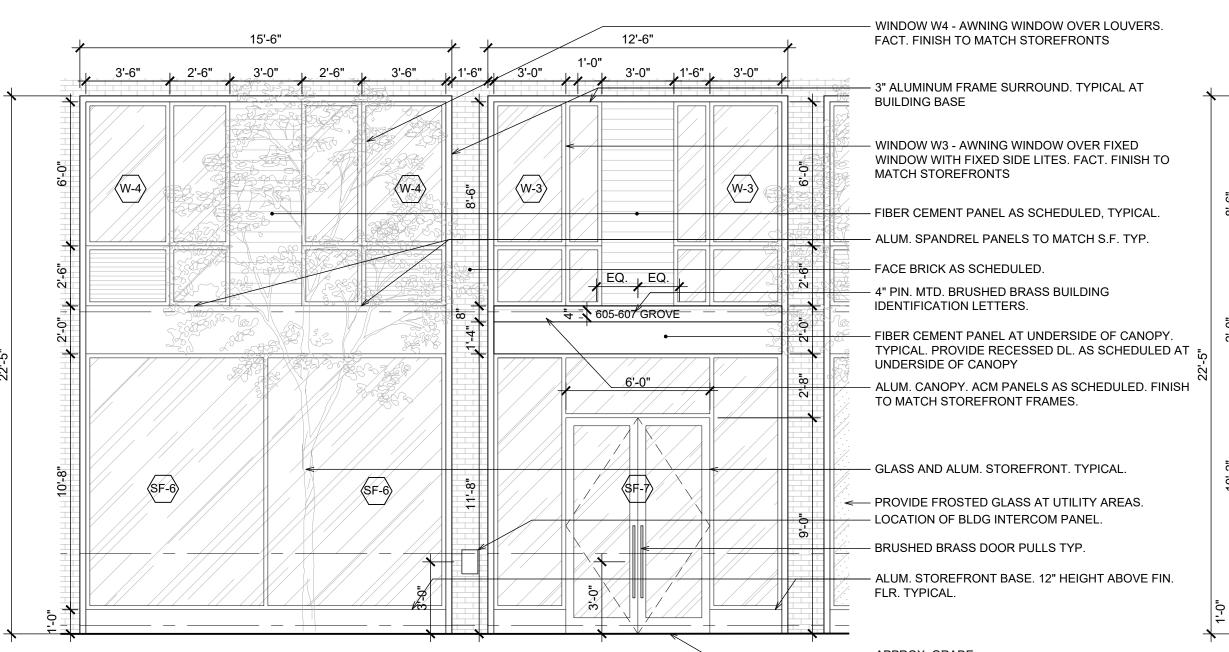
3'-6"

W-8

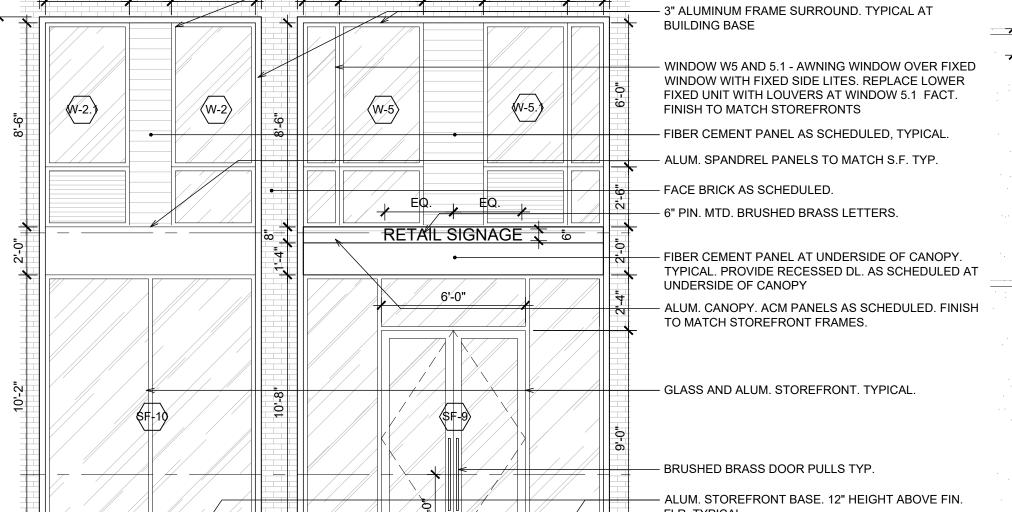
(W-8)

ENLARGED ELEVATION - 12TH FLR. PENTHOUSE









FLR. TYPICAL. - APPROX. GRADE.

ENLARGED ELEVATION - GROVE ST. STOREFRONT SCALE : 1/4" = 1'-0"

ENLARGED ELEVATION - REAR WINDOWS.

3'-0"

3'-6"

/ W-8

WINDOW W8 - ALUM. OR ALUM. CLAD AWNING

STUCCO CASING BEAD AT PERIMETER OF WINDOW.

WINDOW OVER LOUVER & FIXED.

- NARROW 26" W PTAC BEYOND, TYPICAL.

JOINTS. TYPICAL.

TYPICAL STEEL GUARDRAIL. - 1-1/2" SQ. TOP RAIL.

- 1-1/2" SQ. POSTS, MAX SPACING 4'-0" O.C. ANCHORED W/ $\frac{1}{2}$ " STEEL BASE PLATES TO BLDG. PARAPET.

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Weckenmann

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(w) www.WeckArch.com

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STUCCO AS SCHEDULED WITH VARIABLE VERTICAL

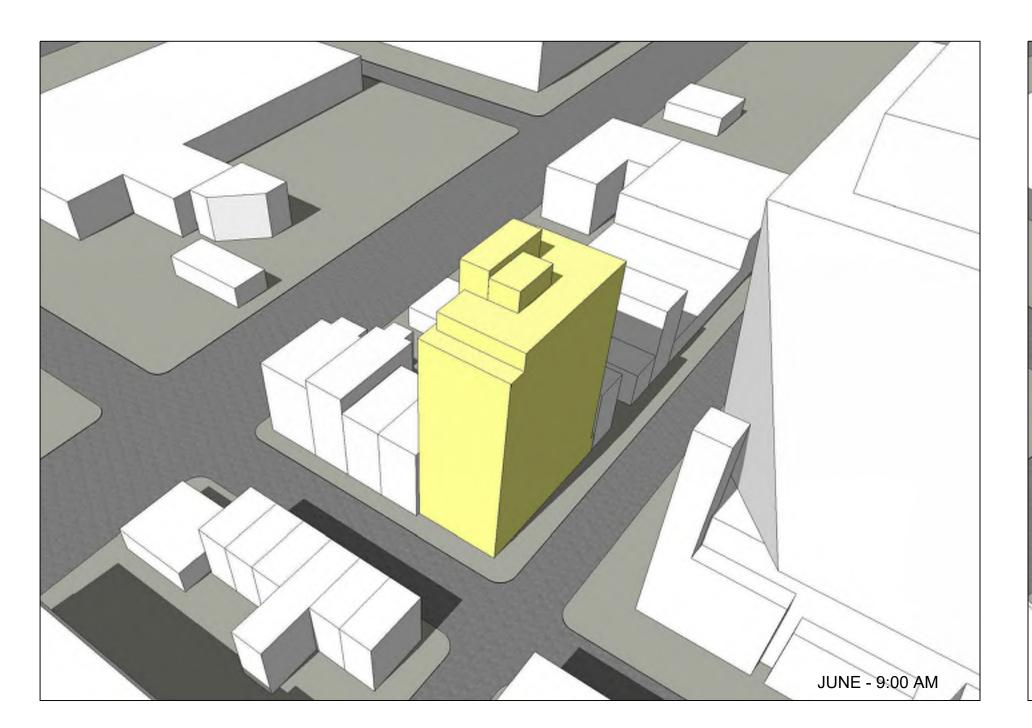
ENLARGED ELEVATIONS

SHEET NUMBER:

SCALE: AS SHOWN

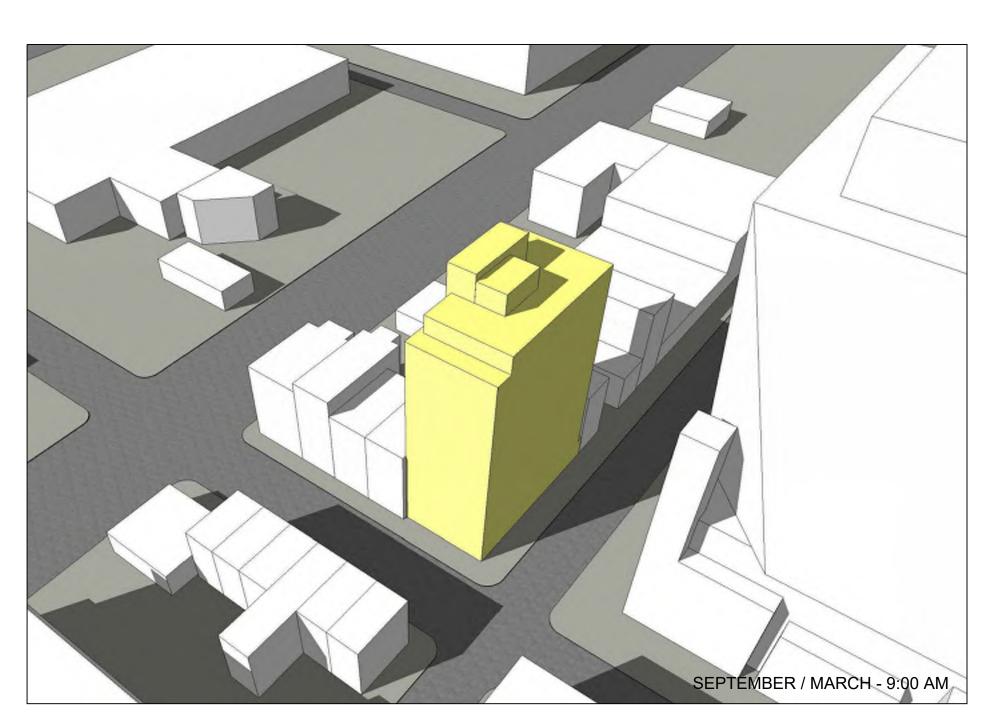
NOTE: MINOR VARIATIONS IN WINDOW PROFILES PROFILES, MULLING DETAILS, OPERABLE UNITS ETC. MAY VARY FROM THIS SET BASED UPON FINAL OWNER SELECTED WINDOW MANUFACTURER.

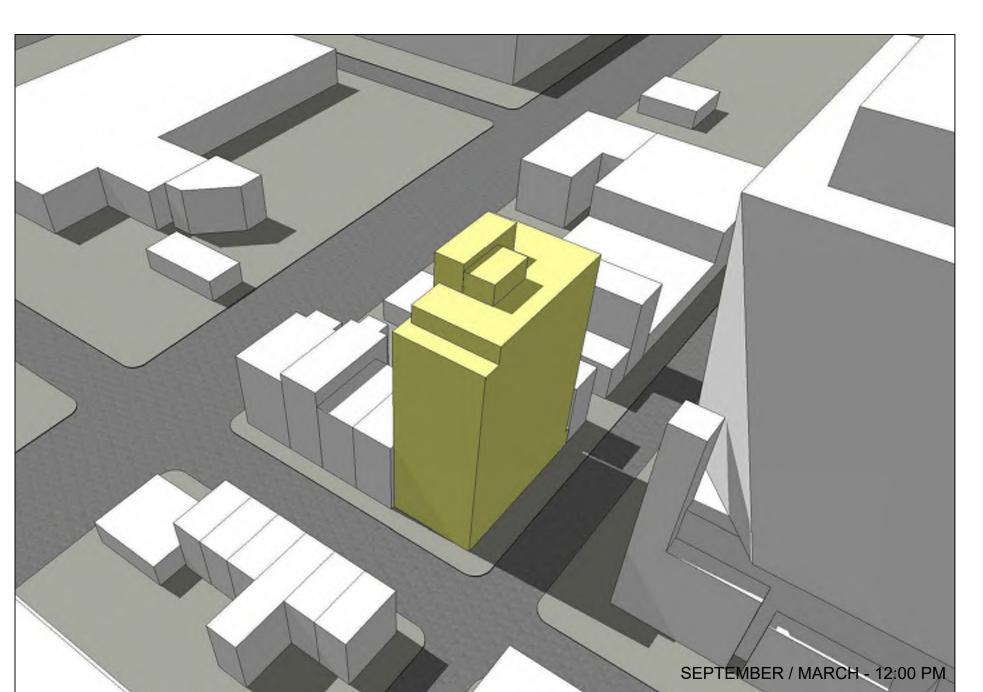
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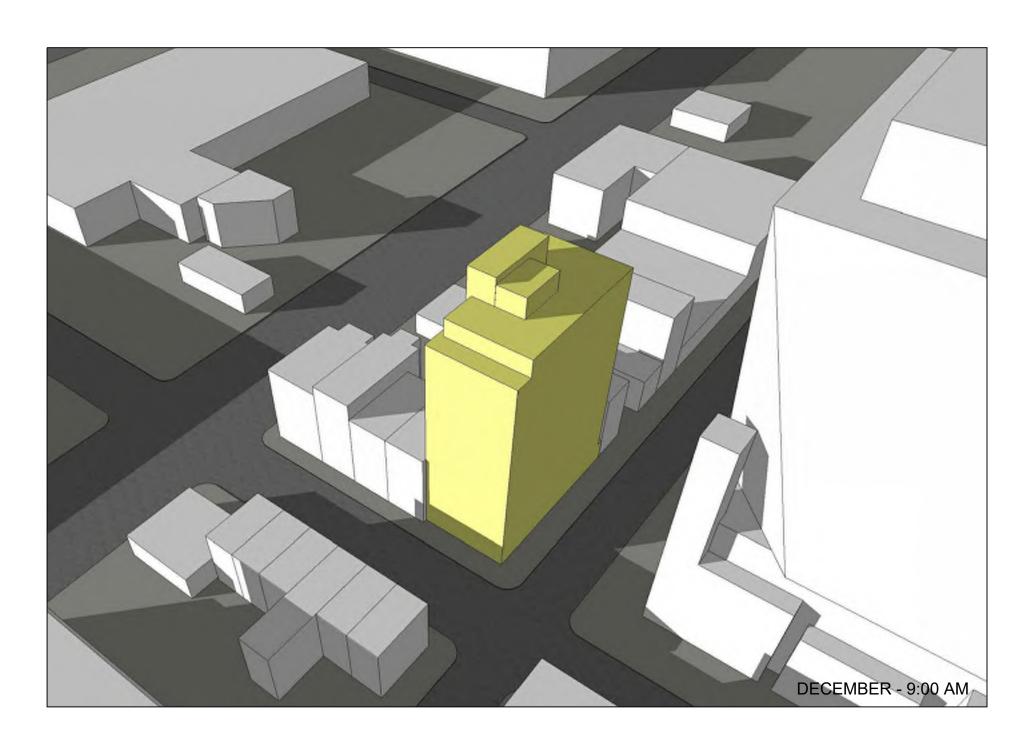




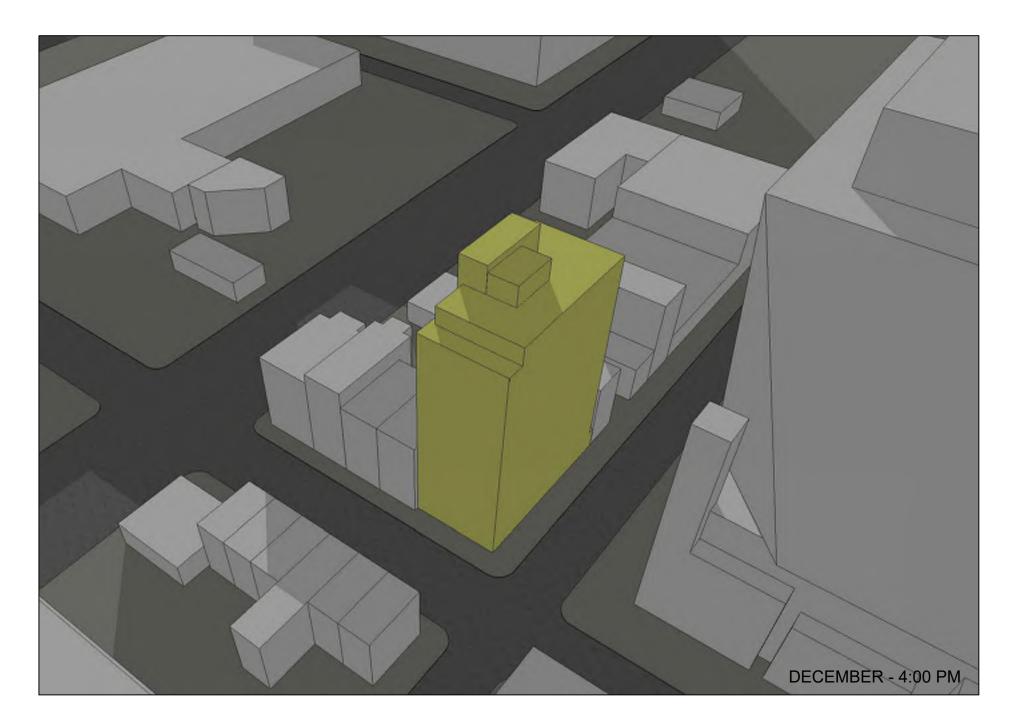












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SHADOW ANALYSIS

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EXTERIOR MATERIAL SELECTIONS



FACE BRICK: SIOUX CITY BRICK. CASTILE GRAY VELOUR. STANDARD MODULAR - 3-5/8" x 2-1/4" X 7-5/8"



ALUMINUM ACM PANELS: CENTRIA, REYNOBOND OR ALUCOBOND COMPOSITE PANEL. MANUF. TO BE SELECTED PRIOR TO CONSTRUCTION. SEE ELEVATIONS FOR PANEL SIZING AND JOINT LOCATIONS (MAY VARY PER MANUFACTURER'S REQUIREMENTS). COORDINATE WITH WINDOW / STOREFRONT COLORS.

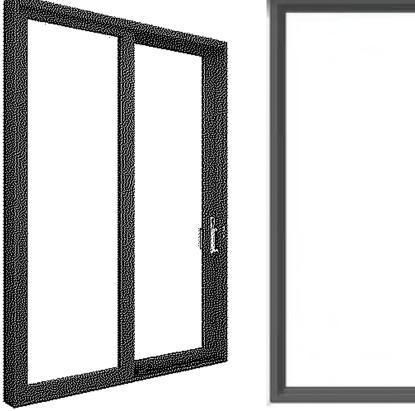


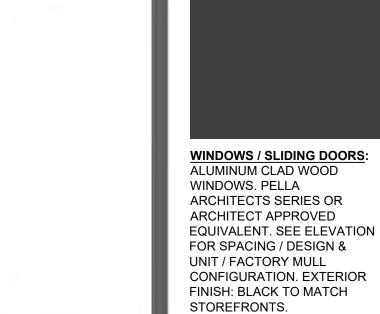
FIBER CEMENT ACCENT PANELS - NICHIHA
VINTAGEWOOD FIBER CEMENT SIDING, CEDAR FINISH. AWP3030



STUCCO - STO DESIGNER COLLECTION - FINE FINISH. COLOR: 37103-13. JOINT PATTERN / SPACING PER ELEVATIONS





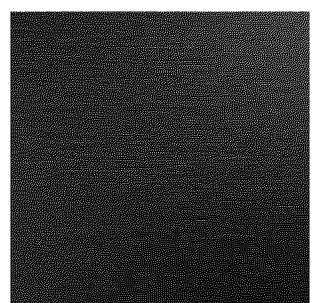


DOUBLE-PANED LOW-E

GLAZING.

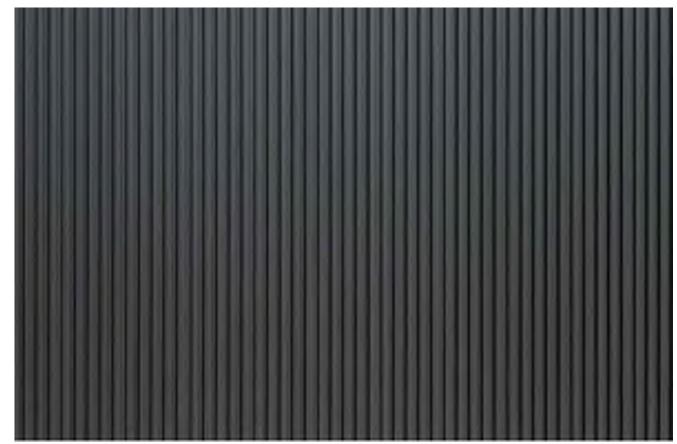


BRUSHED ALUMINUM: ACCENT - DOOR PULLS AND HARDWARE.

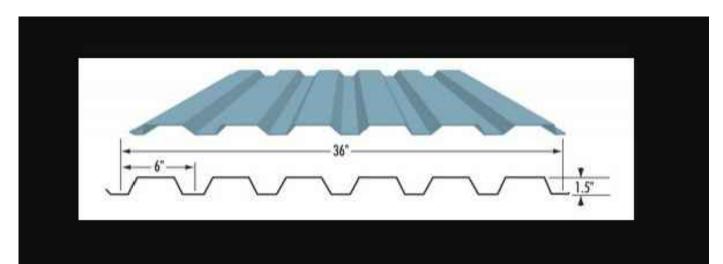


ALUMINUM - BLACK: STOREFRONTS, SPANDREL PANELS, BUILDING CANOPIES, MISC. BRAKE METAL, PARAPET COPING, WINDOWS AND

STOREFRONTS: KAWNEER TRIFAB VERSAGLAZE 451T. COLOR: BLACK. ALL S.F. ENTRY DOORS, APARTMENT WINDOWS, PATIO DOORS, BALCONY RAILINGS TO MATCH STOREFRONT ALUMINUM COLOR. SEE ELEVATIONS



CORRUGATED METAL BULKHEAD CLADDING:



CORRUGATED METAL BULKHEAD CLADDING: 1-1/2" 29 GA CORRUGATED METAL PANELS. FINISH - FACTORY FINISHED BLACK TO MATCH ROOFTOP STOREFRONTS AND BRAKE METAL. ALL FASTENERS AND TRIM PER MANUF. SPECS.

EXTERIOR MATERIAL SPECIFICATIONS

Weckenmann

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CONCEPTUAL RENDERING

SHEET NUMBER:

A-205