ZONING TABULATION CHART - JERSEY AVENUE LIGHT RAIL REDEVELOPMENT PLAN - NEIGHBORHOOD DISTRICT

BLOCK: 7105

LOT: 8,9

EXISTING USE: VACANT LOT

PROPOSED USE: R-2 - MULTI-FAMILY RESIDENTIAL OVER M/B COMMERCIAL USE TOTAL LOT AREA: 5,000 S.F. / 0.115 ACRES

FLOOD ZONE: ZONE AE (EL. 11.0 FEET)

NEIGHBORHOOD DISTRICT:

ORDINANCE	REQUIREMENT	EXISTING	PROPOSED	DEVIATION
PERMITTED USES	RESIDENTIAL, OFFICE, RETAIL, MIX OF USES	VACANT LOT	MIXED-USE APARTMENT BUILDING	NO
ACCESSORY USES	RETAIL, HEALTH CLUBS, FENCES, SIGNS	FENCES	RETAIL, SIGNS	NO

RESIDENTIAL DENSITY BONUS B AFFORDABLE HOUSING BONUS SOUGHT, HEIGHT, AREA, YARD, BULK REQUIREMENTS SUPERCEDED BY BONUS PROVISIONS

BONUS B - AFFORDABLE	HOUSING BONUS:			
ORDINANCE	REQUIREMENT	EXISTING	PROPOSED	DEVIATION
PERMITTED PRINCIPAL USES	SAME AS BASE DISTRICT	VACANT LOT	MIXED-USE APARTMENT BUILDING	NO
PERMITTED ACCESSORY USES	RETAIL, HEALTH CLUBS, FENCES, SIGNS	FENCES	RETAIL, SIGNS	NO
MAXIMUM PERMITTED DENSITY	NO REQUIREMENT, BUILDING ENVELOPE	0 UNITS	575 UNITS / ACRE	NO
MAXIMUM PERMITTED HEIGHT	LOTS 4,000 - 14,999 S.F 12 STORIES / 140'	N/A (VACANT LOT)	12 STORIES / 126.14'*	NO*
BASE REQUIREMENT	BASE SHALL NOT EXCEED 60'	N/A (VACANT LOT)	2 STORY BASE -23'-11" HIGH	NO
MIN. FL TO CLG. HEIGHTS	GROUND FLR COMMERCIAL: 12 FEETN/A (VACANT LOT)GROUND FLR COMM.: 12'-6"RESIDENTIAL UPPER FLOORS: 8 FEETN/A (VACANT LOT)RESIDENTIAL UPPER FLRS: 9'-7"		NO	
MAX. LOT COVERAGE	75% LOT COVERAGE AT BASE	0% (VACANT LOT)	100% (98.4% BLDG COV'G**	YES**
MAX. BUILDING COVERAGE	70% BUILDING COVERAGE FOR TOWER	0% (VACANT LOT)	93.2% UPPER FLRS. (4,657.5 S.F.)	YES**
MIN. FRONT YARD SETBACK	15' SIDEWALK REQ'D MEAS. FROM CURB LINE	N/A (VACANT LOT)	10.2' & 15.27' SIDEWALK WIDTH	YES***
MIN. SIDE YARD SETBACK	0 FEET	N/A (VACANT LOT)	0 FEET	NO
MIN. REAR YARD SETBACK	NO REAR YARD, CORNER LOT	N/A	N/A	NO
TOP STORY STEPBACK	10 FEET REQ'D AT PRIMARY FACADE	N/A	10 FEET	NO
MIN. FACADE SEPARATION	75 FEET FROM PRIMARY FACADE	N/A	N/A	N/A
PARKING STANDARDS	0 MIN, 0.5 MAX SPACE PER. 1 PER 1000 S.F. OTHER USES	0 SPACES	0 SPACES	NO
FRONTAGE REQUIREMENT	10% COMM. FRONTAGE REQUIRED	N/A	24.1%	NO
BICYCLE PARKING	0.5 SPACE PER UNIT (32.5 REQUIRED)	0 SPACES	34 SPACES	NO
FAR	WAIVED W/ AFFORD. HOUSING BONUS	0.0	11.3	NO
MAX APPURTENANCE HEIGHT	20% OF BLDG. HT. (25.9 FT. MAX.)		15.75'	NO
MAX. APPURTENANCE COVERAGE	15.4 % ROOF AREA (4,155.5 ROOF S.F.638 APP. S.F.)		15.4%, 30.75 FT. SETBACK.	NO

WHERE A PROPERTY IS LOCATED WITHIN THE "ONE PERCENT (1%) ANNUAL CHANCE FLOOD HAZARD AREA," THE NUMBER OF FEET REQUIRED TO REACH THE BASE FLOOD ELEVATION PLUS ONE FOOT SHALL BE ADDED TO THE MAXIMUM PERMITTED HEIGHT OF THE BUILDING. THIS PROVISION SHALL APPLY TO ALL PROPERTY WITHIN ANY REGULAR ZONE DISTRICT OR WITHIN ANY DULY ADOPTED REDEVELOPMENT PLAN AREA.

BUILDING HAS 1,052 S.F. OF GREEN ROOF AREA. SUBTRACTING GREEN ROOF FROM LOT COVERAGE YIELDS 3,948 S.F. OR 78.9% TOTAL IMPERVIOUS COVERAGE. BUILDING HAS NO REAR YARD (TWO FRONT YARDS AND TWO SIDE YARDS)WHICH RESULTS IN INCREASED BUILDING AND LOT COVERAGES FOR CORNER LOTS.

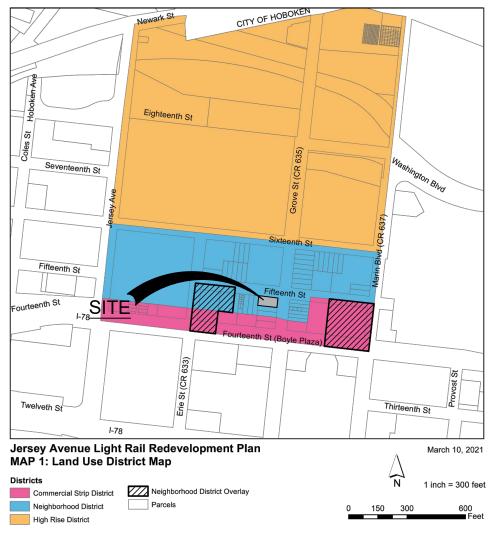
** 15.27 FT SIDEWALK PROVIDED ON 15TH STREET. THE LONGER FRONTAGE. 10.2' SIDEWALK MATCHES THE PREDOMINANT SIDEWALK WIDTH OF THE BLOCK. 15' SIDEWALK WIDTH DOES NOT EXIST ON GROVE STREET. ADJACENT SIDEWALK WIDTH IS 7.15 FEET

BICYCLE PARKING: 345-60 SUPPLEMENTAL ZONING REQUIREMENT APPLICABLE TO ALL ZONES & REDEVELOPMENT PLANS

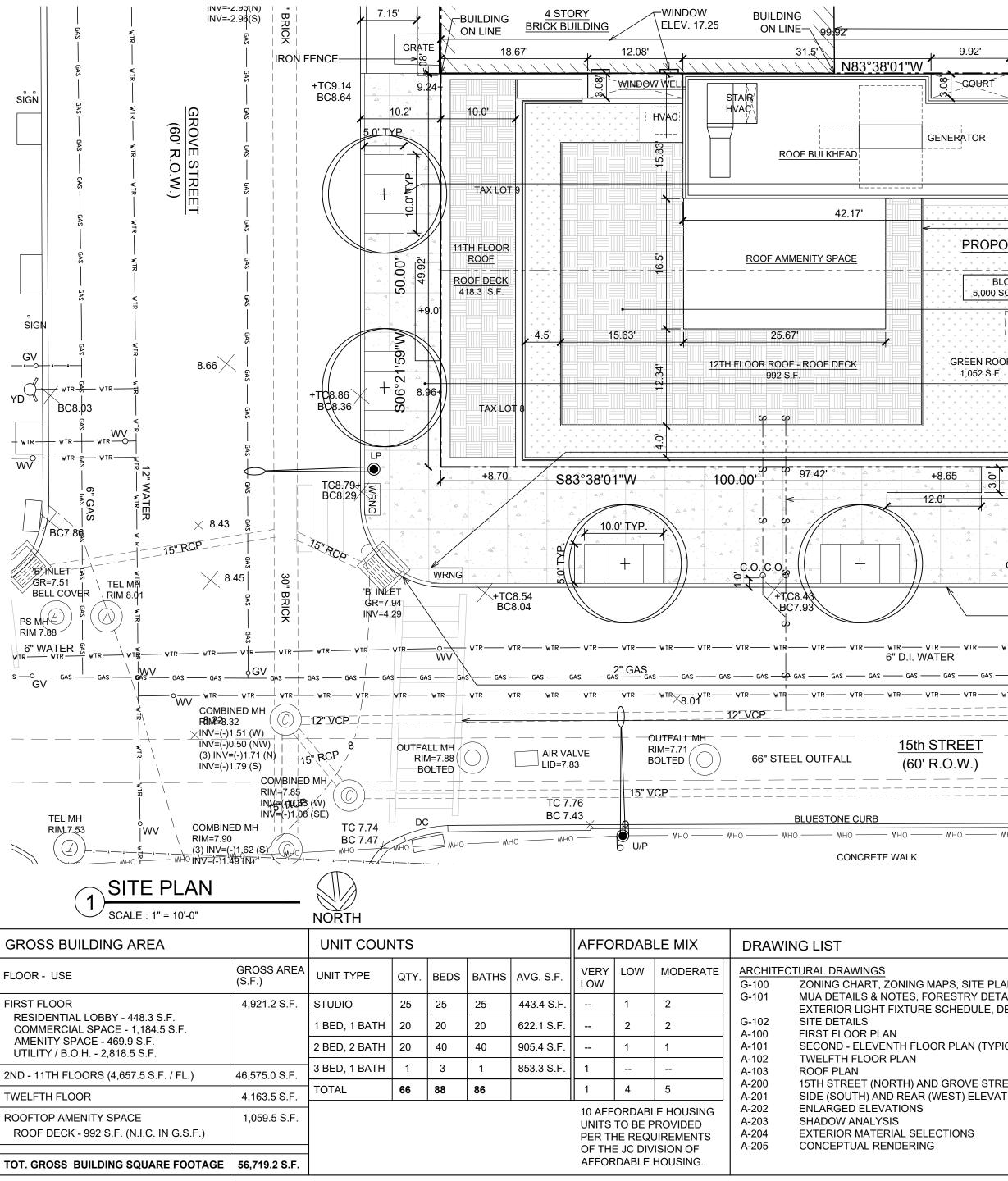
ITEM 5) DESIGN REQUIREMENTS: NO WAIVERS ARE SOUGHT FROM BUILDING DESIGN REQUIREMENTS. MASONRY FACADE PROVIDED, HORIZONTAL VISUAL BREAK PROVIDED, BETWEEN 2ND AND 3RD FLOOR WITH DOUBLE HEIGHT WINDOW BAYS. BUILDING AND PRIMARY ENTRANCE FRONTS ON THE PUBLIC STREET. NO DESIGN WAIVERS FROM SECTION IV ARE SOUGHT.

ZONING MAPS





PROPOSED MIXED-USE APARTMENT BUILDING 605-607 GROVE STREET JERSEY CITY, HUDSON COUNTY, NJ BLOCK: 7105 | LOT: 8,9



EXISTING SITE PHOTOS





POSED TWELVE STORY MIXED-USE BLOCK: 7105 LOT 8,9 SQUARE FEET (0.11 ACRE)	+8.66 1 5.34' +8.66 1 5.34' 	 -EXISTING BRICK ADJOINER TO REMAIN AND BE UNDISTURBED BY PROPOSED IMPROVEMENTS. TYPICAL BOTH SIDES. -UTILITY AREA AT BULKHEAD ROOF. ALL EQUIPMENT TO BE SCREENED FROM VIEW. EQUIP. SCREEN AS DETAILED. NO EQUIPMENT SHALL BE VISIBLE FROM R.O.W. -NEW TREE PIT AS DETAILED, TYPICAL. TREE PIT SHALL BE PER JC FORESTRY STANDARDS. -GUARDRAIL AS DETAILED. TYPICAL AT 11TH AND 12TH FLOOR ROOF DECK. -NEW PEDESTAL PAVERS AS DETAILED. TYP. AT BOTH 11TH AND 12TH FLOOR ROOF DECK. -NEW 24" GAS SERVICE. PROVIDE IN ACCORD. W/ PSEG REQUIREMENTS. FINAL SIZING BY MEP ENGINEER. -NEW 24" GAS SERVICE. PROVIDE IN ACCORD. W/ PSEG REQUIREMENTS. FINAL SIZING BY MEP ENGINEER. -NEW CONC. SIDEWALK PER JC ENGINEERING STANDARDS. TYPCIAL AT GROVE STREET AND 15TH STREET FRONTAGES -EXTENSIVE GREEN ROOF SYSTEM AS SCHEDULED, TYPICAL. -NEW GROPPED CURB WITH DETECTABLE WARNING STRIP PROVIDE IN ACCORD. WJ SEG CROSSWALK DETAILS. -NEW 67 PVC COMBINED SEWER. CLEANOUT PER JC MUA STANDARDS. SEE G-102 - DOUBLE HANDICAPPED RAMPS & CROSSWALK DETAILS. -NEW 4" D.I.P. FIRE & DOM. WATER SERVICE. PROVIDE CURB AND TAPPING VALVES AS NOTED PER JCMUA STANDARDS. SEE CIVIL ENGINEERING PLANS -NEW 4" D.I.P. FIRE & DOM. WATER SERVICE. PROVIDE CURB AND TAPPING VALVES AS NOTED PER JCMUA STANDARDS. SEE CIVIL ENGINEERING PLANS -NEW 4" D.I.P. FIRE & DOM. WATER SERVICE PROVIDE CURB AND TAPPING VALVES AS NOTED PER JCMUA STANDARDS. SEE CIVIL ENGINEERING PLANS -NEW 4" D.I.P. FIRE & DOM. WATER SERVICE TO CONNECT TO UTILITY POLE ON UPPOSITE SIDE OF 15TH STREET. -NEW 6" CONC CURB TO REPLACE EXISTING. EXTEND TO NEXT EXPANSION JOINT BEYCAPPOR PROP. DIME & XIEW AFTER ELVATION AS 	Archittecture, LLCO PO BOX 1024 Maplewood, NJ 07040 (t) 973.220.7575 (e) Will@WeckArch.com (w) www.WeckArch.com (w) www.WeckArch.com O WECKENMANN ARCHITECTURE, LLC ALL RIGHTS RESERVED. THIS DRAWING OR DOCUMENT AND INFORMATION SET FORTH HEREIN ARE THE PROPERTY OF WECKENMANN ARCHITECTURE, LLC AND SHALL NOT BUSED OR DISCOSED EXCEPT IN ACCORDANCE WITH WRITTEN PERMISSION. William J Weckenmann, RA William J Weckenmann, RA NJ LIC: 21AIO2029300 NY LIC: 038403 PROJECT NO.: 22015 PROPOSED MIXED-USE APARTMENT BUILDING 605-607 GROVE STREET JERSEY CITY HUDSON COUNTY, NJ BLOCK: 7105 LOTS: 8,9 ISSUE:: DATE: ISSUED FOR: 12.09.22 PLANNING REVIEW
	T.V. wTR wTR wTR wTR wTR wTR wTR wTR wTR wTR	NEEDED TO MATCH ADJACENT. TYPICAL AT GROVE AND 15TH STREET FRONTAGES. -EXISTING B INLET. SEE CIVIL ENGINEERING DRAWINGS FOR ALL STORMWATER IMPROVEMENTS. -NEW CROSSWALK STRIPING PER JC ENGINEERING STANDARDS. SEE CIVIL ENGINEERING PLANS -15TH STREET TO BE MILLED AND PAVED. PAVING SHALL BE FROM CURB TO CURB FOR THE ENTIRE STREET LENGTH IN FRONT OF THE PROJECT SITE PLUS AN ADDITIONAL LENGTH OF 20 FEET BEYOND THE PROPERTY LINES. 0 5 10 20	REVISION: No.: DATE: NOTES: 01 01.30.23 PLANNING COMMENTS 02 03.06.23 PLANNING COMMENTS
LAN & PROJECT INFO. TAILS & PLANTING SCHEDULE, DETAILS PICAL)	SURVEYOR DRESDNER ROBIN 55 LANE ROAD, SUITE 220 FAIRFIELD, NJ 07004 THOMAS J. REEVES, PLS. LICENSE No. 24GS04344500 SURVEY DATE: 10.25.2022	SIGNATURES CHAIRMAN DATE SECRETARY DATE	
REET (EAST) ELEVATION ATIONS		ENGINEER DATE	ZONING CHART. ZONING

ZONING CHART, ZONING MAPS, SITE PLAN AND PROJECT INFO.

Weckenmann

Architecture, LLC

SHEET NUMBER:



GENERAL SITE AND MUA NOTES

JERSEY CITY MUNICIPAL UTILITIES AUTHORITY STANDARD REQUIREMENTS FOR NEW SANITARY, STORM SEWERS AND SERVICE LATERALS 1.) BEDDING AND BACKFILL MATERIAL SHALL COMPLY WITH THE REQUIREMENTS OF THE NJDOT STANDARD SPECIFICATION FOR ROAD AND BRIDGE

- CONSTRUCTION, AND THE DESIGN AND CONSTRUCTION OF URBAN STORMWATER MANAGEMENT SYSTEMS, ASCE MANUALS AND REPORTS OF ENGINEERING PRACTICE NO. 77, 1993, AS APPLICABLE.
- 2.) ALL SEWER SERVICE CONNECTIONS 6-INCHES IN SIZE OR SMALLER MUST BE MADE DIRECTLY TO THE SEWER MAIN AND ALL CONNECTIONS 8-INCHES IN SIZE OR LARGER MUST BE MADE TO A MANHOLE. WHERE A CONNECTION TO A MANHOLE IS REQUIRED, MANHOLE BENCH AND CHANNEL MAY REQUIRE MODIFICATION. 3.) THE JCMUA REQUIRES THAT SEWER SERVICE CONNECTIONS TO BE RE-USED BE TELEVISED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY
- DEFECTS 4.) EACH BUILDING CONNECTION REQUIRES A CURB CLEANOUT (REFER TO ATTACHED DETAIL DRAWINGS). T-WYE CLEANOUTS WHICH ENABLE CLEANING IN BOTH DIRECTIONS SHOULD BE INSTALLED ON BOTH THE STORM AND SANITARY LATERAL
- 5.) PROPOSED SEWER LATERAL CONNECTION TO JCMUA SEWER MAIN SHALL BE MADE ABOVE HORIZONTAL CENTER LINE OF PIPE (REFER TO ATTACHED SEWER SERVICE CONNECTION DETAILS).
- 6.) THE SIZE, MATERIAL, DEPTH, CONDITION, DIRECTION OF FLOW AND ANY OTHER RELEVANT CONDITIONS OF THE EXISTING JCMUA SEWER TO WHICH YOU PLAN TO CONNECT MUST BE FIELD VERIFIED BY DEVELOPER TO DETERMINE IF SAID CONNECTION IS PHYSICALLY POSSIBLE AND PRACTICAL. IN ADDITION, MANHOLE INVERTS AND RIM ELEVATION MUST BE SHOWN ON PLANS. THIS VERIFICATION IS TO BE INC. ON THE PLANS FOR THE PROJECT 7.) CIRCULAR HOLE SAWS WHICH ARE APPROXIMATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE THE OPENINGS IN THE EXISTING SEWER TO RECEIVE THE
- LATERALS, JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY DAMAGE THE JCMUA SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE THE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT ALLOWED TO FALL INTO PIPE 8.) A DETAIL OF ANY PROPOSED MANHOLE OR CATCH BASIN SHOWING ALL DIMENSIONS IN ADDITIONTO RIM. GRATE AND INVERT ELEVATIONS OF THE STRUCTURE
- AND ALL PIPES CONNECTED TO THE STRUCTURE MUST BE SHOWN ON PLANS. REFER TO JCMUA STANDARD DETAIL DRAWINGS FOR MANHOLES AND CATCH BASINS 9.) PROPOSED MANHOLES CONSTRUCTED IN THE PUBLIC R.O.W. ON EXISTING OR PROPOSED JCMUA SEWERS SHALL BE FURNISHED WITH CONCENTRIC MANHOLE COVERS AS MANUFACTURED BY CAMPBELL FOUNDRY CO., PATTERN #4428 OR EQUAL WITH OUTSIDE COVER DIAMETER OF 31-3/4 INCHES AND INSIDE COVER DIAMETER OF 24 INCHES. THE LETTERS "JCMUA" AND "SEWER" SHALL BE CAST IN THE INSIDE COVER. MANHOLE. FRAMES SHALL BE CAMPBELL FOUNDRY CO.
- PATTERN #4428 (FOR 30-INCH OPENING) OR #1206 (FOR 41-INCH OPENING) OR EQUAL FURNISHED WITH A PATTERN #4428 CONCENTRIC COVER AS SPECIFIED IN THE PRECEDING PARAGRAPH. REFER TO JCMUA STANDARD DETAIL FOR MANHOLE FRAME AND COVERS. 10.) STORM INLETS WHICH ARE CONNECTED DIRECTLY TO JCMUA COMBINED SEWERS MUST BE FURNISHED WITH A SUMP AND TRAP AS PER JCMUA STANDARD DETAILS.
- 11.) THE JCMUA HAS A COMBINED SEWER SYSTEM WHICH SURCHARGES DURING WET WEATHER PERIODS RESULTING IN POSSIBLE SEWAGE BACK-UPS THROUGH PLUMBING FIXTURES (SINKS, TOILETS, FLOOR DRAINS, ETC.) BELOW STREET LEVEL. THIS POSSIBILITY MUST BE ADDRESSED DURING THE DESIGN/CONSTRUCTION PHASE.
- 12.) A DROP MANHOLE CONNECTION SHALL BE USED WHERE THERE IS A DIFFERENCE IN ELEVATION OF TWO (2) FEET OR GREATER BETWEEN THE INVERT OF A SANITARY OR COMBINED INLET PIPE TO MANHOLE AND THE CROWN OF THE OUTLET PIPE FROM MANHOLE. REFER TO JCMUA STD. DETAIL FOR DROP MANHOLE CONNECTION IF REQ'D
- 13.) TEST PITS MUST BE PERFORMED AT THE DEVELOPER'S EXPENSE DURING THE DESIGN PHASE OF THE PROJECT TO ENSURE THAT PROPOSED SEWERS AND SEWER SERVICES MAY BE CONSTRUCTED AS PROPOSED WITHOUT CONFLICTING WITH OTHER UNDERGROUND UTILITIES OR STRUCTURES. 14.) ALL EXISTING SEWER MAINS AND SANITARY LATERALS TO BE ABANDONED MUST BE FILLED W/CONCRETE SLURRY OR REMOVED FROM THE GROUND. CATCH
- BASINS AND MANHOLES MUST BE REMOVED FROM THE GROUND. CONNECTIONS MUST BE CUT AND SEALED AT THE MAIN AND PRECAUTIONS MUST BE UNDERTAKEN BY THE CONTRACTOR TO ENSURE CONCRETE AND OTHER MATERIALS DO NOT ENTER THE MAIN AND CREATE OBSTRUCTION(S) 15.) ALL PROPOSED INLETS/CATCH BASINS MUST BE CONSTRUCTED WITH A BICYCLE SAFE GRATE AND CAMPBELL FOUNDRY CO. TYPE "N" CURBPIECE WHERE
- REQUIRED. 16.) PROPOSED WATER SERVICES REQUIRE THE REVIEW AND APPROVAL OF THE DIVISION OF WATERENGINEERING
- 17.) THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS FROM THE JERSEY CITY BUILDING DEPARTMENT LOCATED AT 30 MONTGOMERY STREET, JERSEY CITY, NJ AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION. 18.) THE SYSTEM DESIGNER IS ALSO RESPONSIBLE FOR COMPLIANCE WITH THE APPLICABLE REGULATIONS OF THE NEW JERSEY ADMINISTRATIVE CODE, NJDEP RULES AND REGULATIONS GOVERNING TREATMENT WORKS APPROVAL PROGRAM, LOCAL CODES AND ORDINANCES, FEDERAL AND STATE REGULATIONS ETC. IN ADDITION TO OTHER REQUIREMENTS THAT MAY BE IMPOSED BY THE JCMUA.
- THE JERSEY CITY MUNICIPAL UTILITIES AUTHORITY REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS: 1) ALL FIRE SERVICE APPLICATIONS AND ALL DOMESTIC SERVICE APPLICATIONS TWO (2) INCHES AND LARGER MUST BE SUBMITTED TO THE JCMUA'S BUREAU OF WATER ENGINEERING FOR APPROVAL. FIVE (5) SETS OF PLANS SHALL BE SUBMITTED FOR APPROVAL. ALL PLANS SHALL BE SIGNED AND SEALED BY A PROFESSIONAL ENGINEER OR REGISTERED ARCHITECT LICENSED TO PRACTICE IN NEW JERSEY.
- 2) SUBMITTED PLANS SHALL BE STANDARD ENGINEERING DRAWINGS, SIZE 24 INCHES X 36 INCHES. INCLUDED SHALL BE A SITE PLAN SHOWING ADJACENT STREETS WITH WATER MAIN, SERVICE, AND DETAILS INDICATED. ALSO INCLUDED SHALL BE A KEY MAP SHOWING GENERAL LOCATION WITHIN THE CITY. 3) INDICATED ON THE SUBMITTED PLANS SHALL BE THE SIZE OF TAP, LOCATION OF TAPPING AND CURB GATE VALVES, DETAILED METER SET-UP, AND SIZE OF FACILITY'S METER. ALSO INDICATED ON THE PLANS SHALL BE THE TYPE OF OCCUPANCY OF THE FACILITY RECEIVING THE WATER SERVICE.
- 4) ALL EXISTING WATER SERVICE LINES TO BE ABANDONED SHALL BE CUT AND CAPPED AT THE MAIN, IN ACCORDANCE WITH JCMUA STANDARDS, AND INSPECTED WITHIN 24 HOURS AFTER INSTALLATION OF NEW TAP. THE MAXIMUM OF ONE (1) TAP SHALL BE MADE FOR BOTH DOMESTIC AND FIRE SERVICE PER FACILITY. THE TAP SHALL BE THE MAXIMUM OF ONE (1) SIZE SMALLER THAN THE CITY'S WATER MAIN. NO TAPPING SHALL BE DONE BY ANYONE EXCEPT BY UNITED WATER JERSEY CITY (UWJC) UNLESS APPROVED BY JCMUA. 5) ONLY ONE DOMESTIC/ FIRE SERVICE IS ALLOWED FOR EACH FACILITY. APPLICANT MAY INSTALL CHECK METERS ON INDIVIDUAL BRANCH CONNECTIONS
- DOWNSTREAM OF DOMESTIC METER SETUP WHERE THERE IS MORE THAN ONE OWNER/ TENANT FOR A FACILITY. HOWEVER, ONLY ONE WATER BILL WILL BE ISSUED FOR THE BLDG. 6) A SOLID DUCTILE IRON TAPPING SLEEVE SUCH AS MUELLER H-615 TAPPING SLEEVE OR APPROVED EQUAL SHALL BE UTILIZED FOR ALL TAPS 2-INCHES AND
- LARGER. THE TAPPING SLEEVE SHALL PASS PRESSURE TESTING BASED ON AWWA STANDARDS BEFORE TAP IS MADE. 7) FOR ALL SERVICES INCLUDED HEREIN, TWO (2) GATE VALVES ARE REQUIRED THAT ARE TO BE INSTALLED BY THE APPLICANT; A TAPPING VALVE, LOCATED AT THE TAP AND CURB VALVE, LOCATED IN THE SIDEWALK BEFORE THE METER. TAPPING GATES SHALL BE FURNISHED OPENED RIGHT. ALL TAPPING AND CURB VALVES SHALL BE DOUBLE DISC GATE VALVES AND MEET AWWA STANDARDS. THE WET TAP UP TO 12 INCHES SHALL BE PERFORMED BY UWJC.
- 8) FOR TAPS OFF MAINS SIXTEEN (16) INCHES AND LARGER, THE APPLICANT SHALL FURNISH AND INSTALL AN ADDITIONAL GATE VALVE ADJACENT TO THE TAPPING VALVE. NO TAPS SHALL BE PERMITTED ON MAINS LARGER THAN TWENTY (20) INCHES UNLESS THERE IS NO ALTERNATIVE WATER SOURCE. & WRITTEN APPROVAL IS ISSUED BY JCMUA.
- 9) VALVE BOX PARTS FOR ALL VALVES SHALL BE PROVIDED BY THE APPLICANT. ALL TAPPING GATE VALVES LARGER THAN 2-INCHES AND ALL CURB VALVES / STOPS REGARDLESS OF SIZE REQUIRE A VALVE BOX WITH THE WORD "WATER" CAST IN THE COVER. BURIED CORPORATION VALVES/ STOPS SHALL BE USED AT THE TAP FOR CLASS K COPPER SERVICES 2-INCHES AND SMALLER. 10) ALL SERVICE PIPES, SIZES 2-INCHES THROUGH 12-INCHES, SHALL BE PRESSURE CLASS 350 PSI, CEMENT-LINED DUCTILE IRON PIPE WITH MECHANICAL
- JOINTS. 11) THE APPLICANT SHALL INSTALL THE METER INSIDE THE BUILDING. IF THE BUILDING LINE IS IN EXCESS OF 75 FT. FROM THE MAIN, THE APPLICANT SHALL PLACE THE METER IN A PIT NEAR THE SIDEWALK OR STREET IN CLOSE PROXIMITY TO THE TAP.
- 12) FOR A REGULAR FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE LARGER THAN 2"), A COMBINED REDUCED PRESSURE DETECTOR ASSEMBLY (AMES 5000 SS, AMES 5000 RPDA OR WATTS 909 RPDA*) SHALL BE INSTALLED ON THE MAIN FIRE SERVICE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER ON THE BYPASS (AMES 4000 SS OR WATTS 909*) (REFER TO FIGURE 1). ON THE LIMITED FIRE SUPPRESSION SYSTEM (COMBINED SERVICE LINE 1.5" OR 2"), A FIRE LINE DETECTOR CHECK WITH A SINGLE CHECK VALVE (AMES 1000 DCV*) SHALL BE INSTALLED ON THE MAIN FIRE LINE AND A REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909*) SHALL BE INSTALLED DOWNSTREAM OF THE BYPASS (REFER TO FIGURE 13). ALL REGULAR FIRE SUPPRESSION SYSTEMS MUST HAVE OS&Y VALVES, HOWEVER, LIMITED FIRE SUPPRESSION SYSTEMS MAY USE BALL VALVES (VICTAULIC SERIES 728 FIRELOCK*) INSTEAD OF OS&Y VALVES. THE FIRE UNIT SHALL BE FURNISHED WITH A 5/8 INCH X 3/4 INCH METERED BYPASS. BYPASS METERS SHALL BE JERSEY CITY STANDARD SINGLE DISPLACEMENT SENSUS METERS WITH TOUCHPAD AND RADIO READ CAPABILITIES. THE SAME RADIO MXU UNIT SHALL BE USED FOR A COMBINED DOMESTIC AND FIRE SERVICE.
- 3) FOR DOMESTIC SERVICE, AN APPROVED REDUCED PRESSURE BACKFLOW PREVENTER (AMES 4000 SS OR WATTS 909*) IS REQUIRED WHEN THE JCMUA DETERMINES THAT THERE IS A CROSS-CONNECTION HAZARD AND THE FACILITY PRESENTS A THREAT TO THE CITY'S DISTRIBUTION SYSTEM WATER QUALITY IN ACCORDANCE WITH THE PLUMBING SUBCODE OF THE NEW JERSEY STATE UNIFORM CONSTRUCTION CODE, NJAC 5:23-3.15 AND THE NEW JERSEY SAFE DRINKING WATER ACT NJAC 7:10-10 PHYSICAL CONNECTIONS AND CROSS CONNECTIONS CONTROL BY CONTAINMENT. SOME SERVICES WHICH REQUIRE SUCH DEVICES INCLUDE: A HOSPITAL, SCHOOL, CHEMICAL PLANT, FACTORY, AND A FACILITY WITH SEWAGE EJECTORS
- 14) IF A REDUCED PRESSURE BACKFLOW PREVENTER IS NOT REQ'D ON THE DOM. SERVICE, A CHECK VALVE SHOULD BE INSTALLED DOWNSTREAM OF THE TEST 15) METERS SIZES 2 INCHES THROUGH 6" SHALL BE SINGLE COMPOUND METERS AND ALL METERS 8 INCHES AND LARGER SHALL BE DUPLEX COMPOUND
- MANIFOLD METERS. 16) ALL METERS SHALL BE ADEQUATELY RESTRAINED WITH METAL BRACKETS FASTENED TO THE FLOOR OR WALL OR OTHER APPROVED MEANS SUCH AS
- UNIFLANGES WHERE INTERNAL PIPE PRESSURE AND FLOW WARRANT SUCH RESTRAINTS. METERS, DETECTOR CHECKS, AND VALVES MAY BE SEATED ON CONCRETE BLOCK AND TAPERED SHIMS TO PROVIDE ADEQUATE SUPPORT. METERS SHALL BE INSTALLED APPROXIMATELY 36" ABOVE FLOOR GRADE. 17) ALL METER INSTALLATIONS IN METER PIT OR VAULT SHALL BE PRE-APPROVED BY JCMUA AND HAVE PROPER ACCESS OPENINGS FOR METER READING AND REPLACEMENT 18) EACH COMPOUND METER SHALL HAVE STRAINER INSTALLED ON THE INLET SIDE IMMEDIATELY BEFORE THE METER. ALL STRAINERS MUST BE PURCHASED
- FROM JCMUA OR ITS AUTHORIZED AGENT. 19) METERS 2" & LARGER SHALL BE FURNISHED W/ SENSUS ECR/WP REMOTE TOUCH PAD MODULES AND RADIO MXU UNITS FOR BOTH TYPES OF READING
- CAPABILITIES 20) REMOTE TOUCH PAD MODULE WIRE SHALL BE CONNECTED TO THE METER REGISTER UTILIZING A GEL CAP FOR WATERTIGHT SEALING OF ALL TERMINAL CONNECTIONS. TOUCH PADS MAY BE WALL MOUNTED OR LID MOUNTED WHERE A METER PIT IS UTILIZED. TOUCH PADS ARE TO BE INSTALLED ON EXTERIOR BUILDING WALL FACING THE STREET AND LOCATED AS CLOSE AS POSSIBLE TO STREET. THE RADIO MXU UNIT MUST BE INSTALLED WITH MOUNTING BRACKET AND LIKEWISE IS TO BE INSTALLED IN PROXIMITY TO STREET.
- 21) ALL INSTALLATIONS OF EQUIPMENT AND COMPONENTS SHALL BE PERFORMED IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS. 22) ALL METERS INCLUDING TOUCH PAD MODULES, AND RADIO MXU UNITS SHALL BE PURCHASED THROUGH THE PERMIT CLERK AT JCMUA OFFICE. APPROVED PLANS MUST BE SUBMITTED TO THE PERMIT CLERK FOR ISSUANCE OF REQUIRED PERMITS.
- 23) AFTER OBTAINING THE REQUIRED PERMITS (STREET OPENING, TAP, AND METER) THE APPLICANT SHALL CALL UWJC AT (201) 239-1108 TO SCHEDULE THE TAP. THE EXCAVATION SHALL BE COMPLETED TWENTY-FOUR (24) HOURS PRIOR TO THE SCHEDULED TAP, AND VERIFIED BY JCMUA OR ITS AUTHORIZED AGENT BEFORE THE TAP WILL BE INSTALLED. EXCAVATION SHALL BE CONSTRUCTED IN ACCORDANCE WITH OSHA REQUIREMENTS FOR SHEETING AND SAFFTY
- 24) UPON COMPLETION OF THE INSTALLATION, THE APPLICANT SHALL SUBMIT THREE (3) SETS OF "AS BUILT" PLANS, TO THE JCMUA'S BUREAU OF WATER ENGINEERING. THE JCMUA WILL AUTHORIZE SUPPLY WATER UPON ACCEPTANCE OF THE "AS BUILT" DRAWINGS. 25) EXISTING DOMESTIC WATER SERVICE LINE IS TO BE CUT AND CAPPED AT THE WATER MAIN IN ACCORDANCE WITH JCMUA STANDARDS. PROVIDE FOR INSPECTION BY JCMUA 24 HOURS AFTER NEW WATER SERVICE INSTALLATION.

LANDSCAPE MAINTENANCE NOTES

* SPECIFIED MODEL OR APPROVED EQUAL.

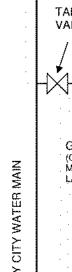
- 1. ALL EXTERIOR GROUND AREAS WITHIN THE LIMIT OF THE CONTRACT, EXCEPT SURFACES OCCUPIED BY BUILDING AND PAVING, SHALL RECEIVE GRASS SEED, MULCH OR PLANTS AS SHOWN ON THE DRAWINGS. LANDSCAPE CONTRACTOR TO FURNISH TOPSOIL, FINISH GRADING, PREPARE SEEDBED, SEED, ALL PLANTS AND MAINTAIN AREAS ON THE DRAWINGS.
- 2. ALL PLANTING INCLUDING SEED FOR LAWN AREAS SHALL BE INSTALLED BETWEEN MARCH 15 AND JUNE 15 OR BETWEEN SEPTEMBER 15 AND NOVEMBER 30 UNLESS DICTATED BY UNUSUAL SEASONAL OR WEATHER CONDITIONS. 3. ALL NEW PLANTING BEDS ARE TO RECEIVE A MINIMUM DEPTH OF 3 INCHES OF SHREDDED CEDAR BARK MULCH, OR SHREDDED HARDWOOD BARK MULCH,
- CONTINUOUS. 4. ALL PLANTING BEDS TO BE EDGED AND DEFINED WITH STEEL OR NEOPRENE 5. LANDSCAPE CONTRACTOR SHALL GUARANTEE TO THE OWNER THE LIFE OF ALL PLANT MATERIAL INSTALLED FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND ACCEPTANCE OF THE PROJECT BY THE OWNER. ALL NEW PLANT MATERIAL WITH 50% OR LESS LIVING TWIGS, STEMS AND BRANCHES SHALL BE REMOVED AND REPLACED WITH NEW FOR A PERIOD OF ONE YEAR FROM THE DATE OF INSTALLATION AND OWNER ACCEPTANCE. OWNER SHALL BE RESPONSIBLE FOR ALL NORMAL MAINTENANCE OF THE LAWNS AFTER THE THIRD MOWING AND ESTABLISHMENT OF A THICK AND UNIFORM CATCH OF GRASS. AND OF ALL OTHER PLANTS IMMEDIATELY AFTER FINAL COMPLETION OF ALL INSTALLATION, AND ACCEPTANCE OF THE PROJECT BY THE OWNER.
- 6. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COMPLETE LEGAL REMOVAL OF ALL SITE DEBRIS AND SITE RUBBISH FROM THE PROPERTY. ALL EXISTING VEGETATION AND STREET TREES (IF ANY) TO BE REMOVED PRIOR TO THE START OF WORK. 7. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PROPERTY LINES PRIOR TO START OF ANY WORK
- 8. CONTRACTOR TO REVIEW LIGHTING, POSTS, FENCING, GATES, WALK SURFACES AND PROPOSED BUILDINGS FOR COORDINATION PURPOSES 9. ALL PLANT MATERIAL TO BE REVIEWED WITH OWNER PRIOR TO ORDER. ANY SUBSTITUTIONS OF PLANT MATERIAL MUST BE APPROVED IN WRITING BY THE ARCHITECT. CONTRACTOR MUST REVIEW ACCEPTABLE SUBSTITUTIONS WITH ARCHITECT PRIOR TO ORDERING. UNAUTHORIZED SUBSTITUTIONS OF GENUS, SPECIES AND SIZES MUST BE REMOVED IMMEDIATELY AT THE LANDSCAPE CONTRACTOR'S EXPENSE 10. ANY LANDSCAPING WHICH IN NOT RESISTANT TO THE ENVIRONMENT OR THAT DIES WITHIN TWO (2) YEARS OF PLANTING SHALL BE REPLACED BY THE DEVELOPER.

T CLEAR AROUND PVC CONCRETE GRADE COLLAR SHALL BE CLASS 'B' CON 5...7% AR ENTRADED

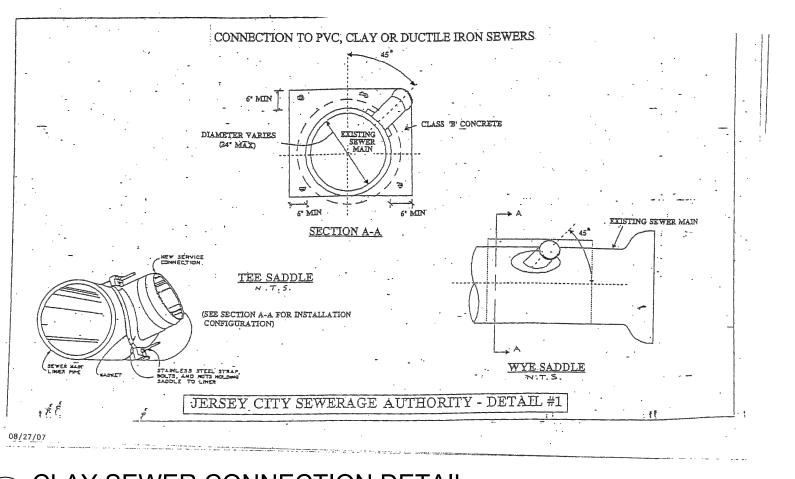
+ SDR 35 FVC NOTES: 1. NAXONUM DISTANCE BETWEEN OLEANOUTS IS 30.7-07 2 INSTALL C.O AS INDICATED ON PLAN.



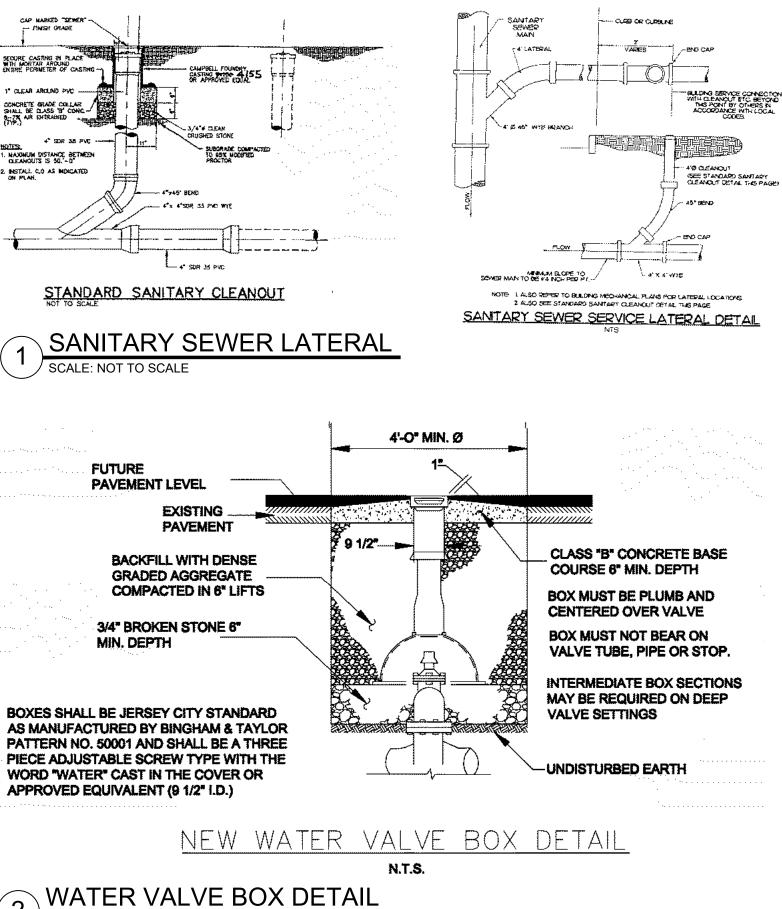






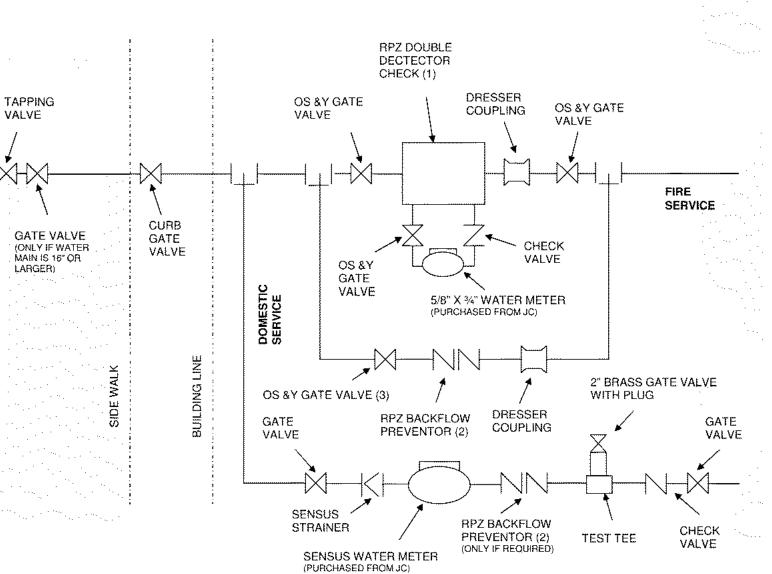


[/] SCALE: NOT TO SCALE



/ SCALE: NOT TO SCALE

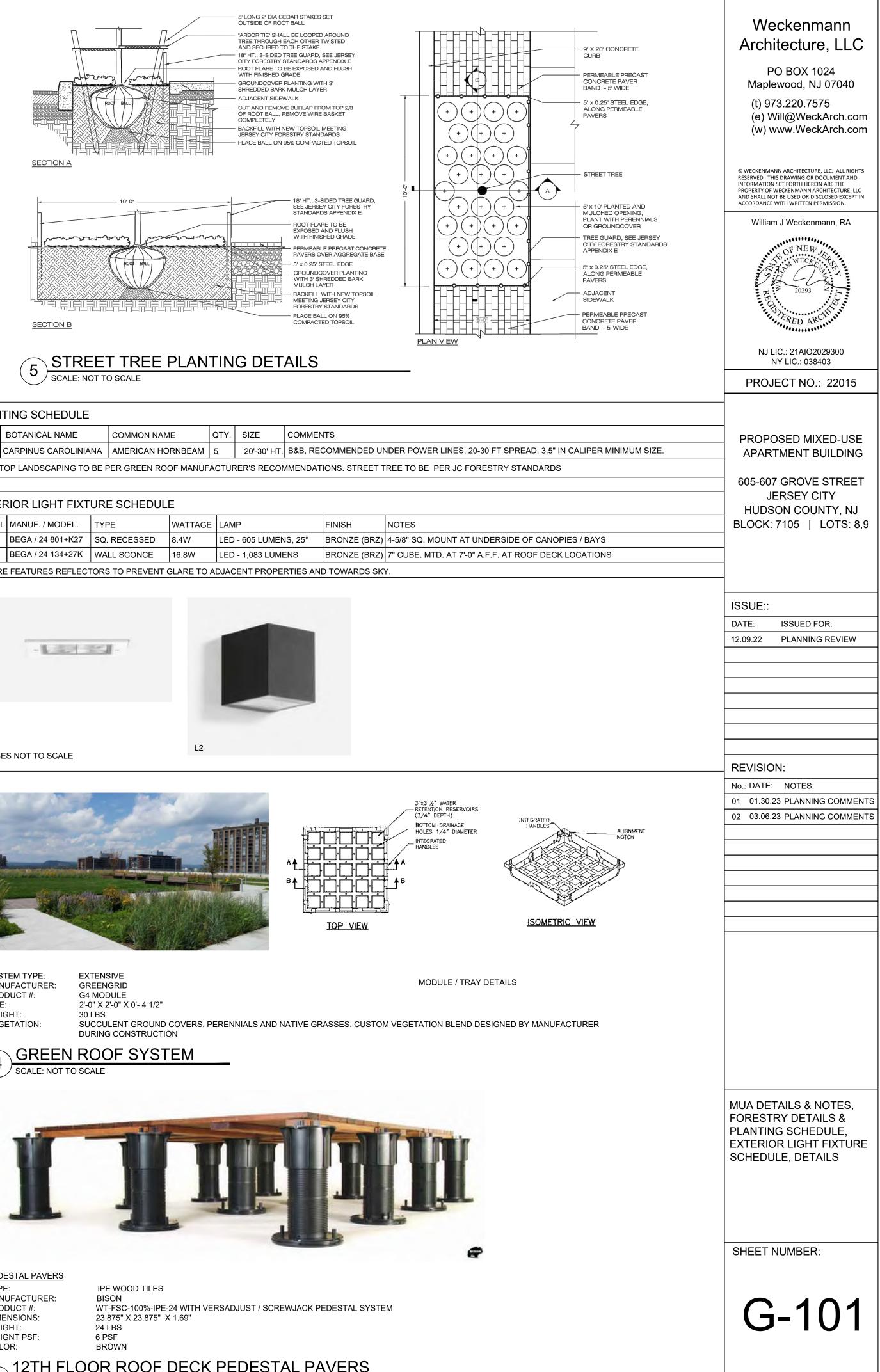
FIGURE 1. J.C.M.U.A. REQUIREMENTS FOR FIRE AND DOMESTIC WATER LINE AND METER INSTALLATIONS



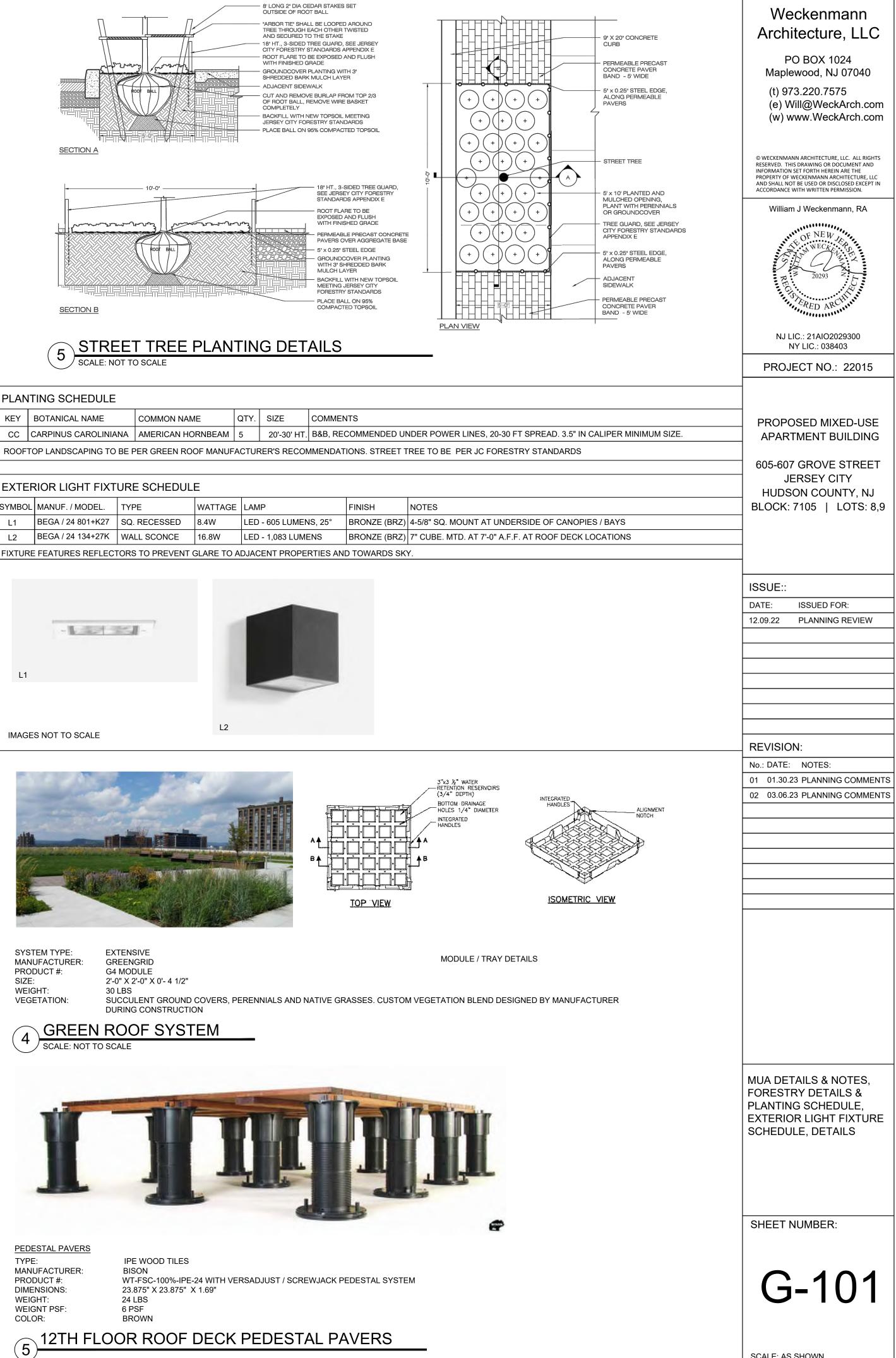
(1) Ames 5000 SS, Ames 5000 RPDA or Watts 909 RPDA, (2) Ames 4000 SS or Watts 909, (3) Gate valve sealed by JCMUA or agent (UWJC) Must use model # specified or approved equal Revised 06/28/06

DOMESTIC/SPRINKLER SERVICE SCHEMATIC SCALE: NOT TO SCALE

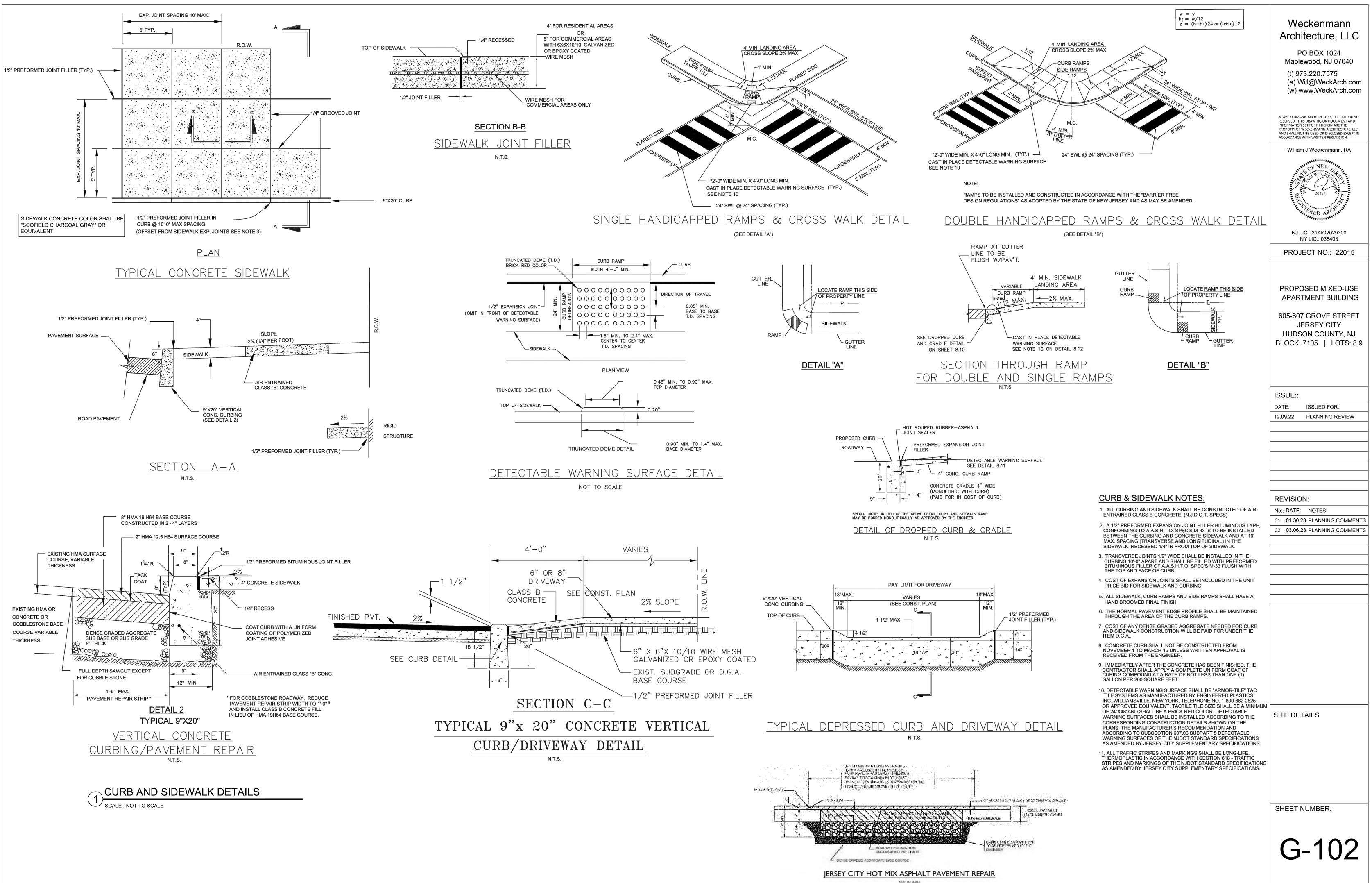
CLAY SEWER CONNECTION DETAIL

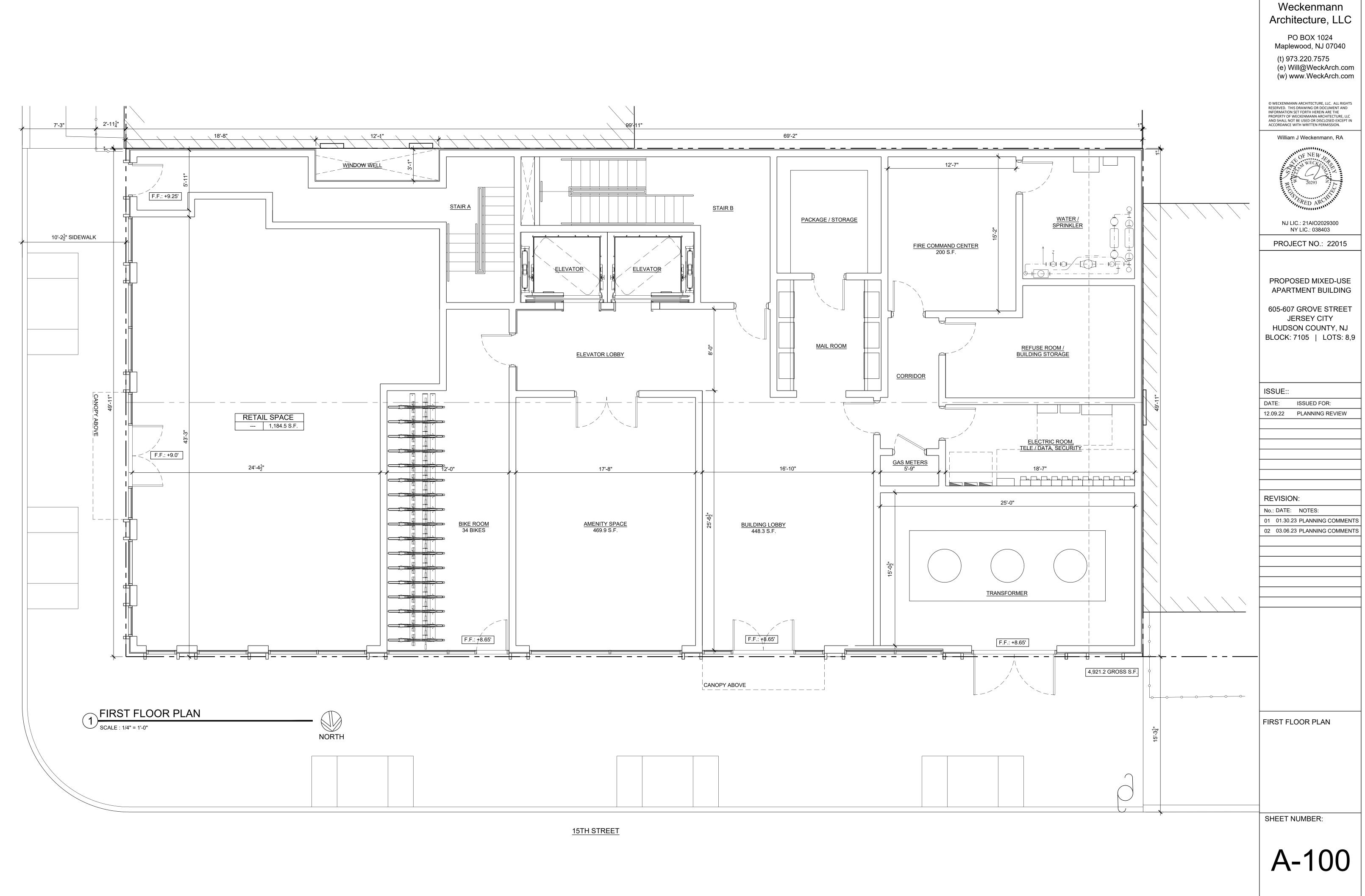


WEIGHT: **VEGETATION**:

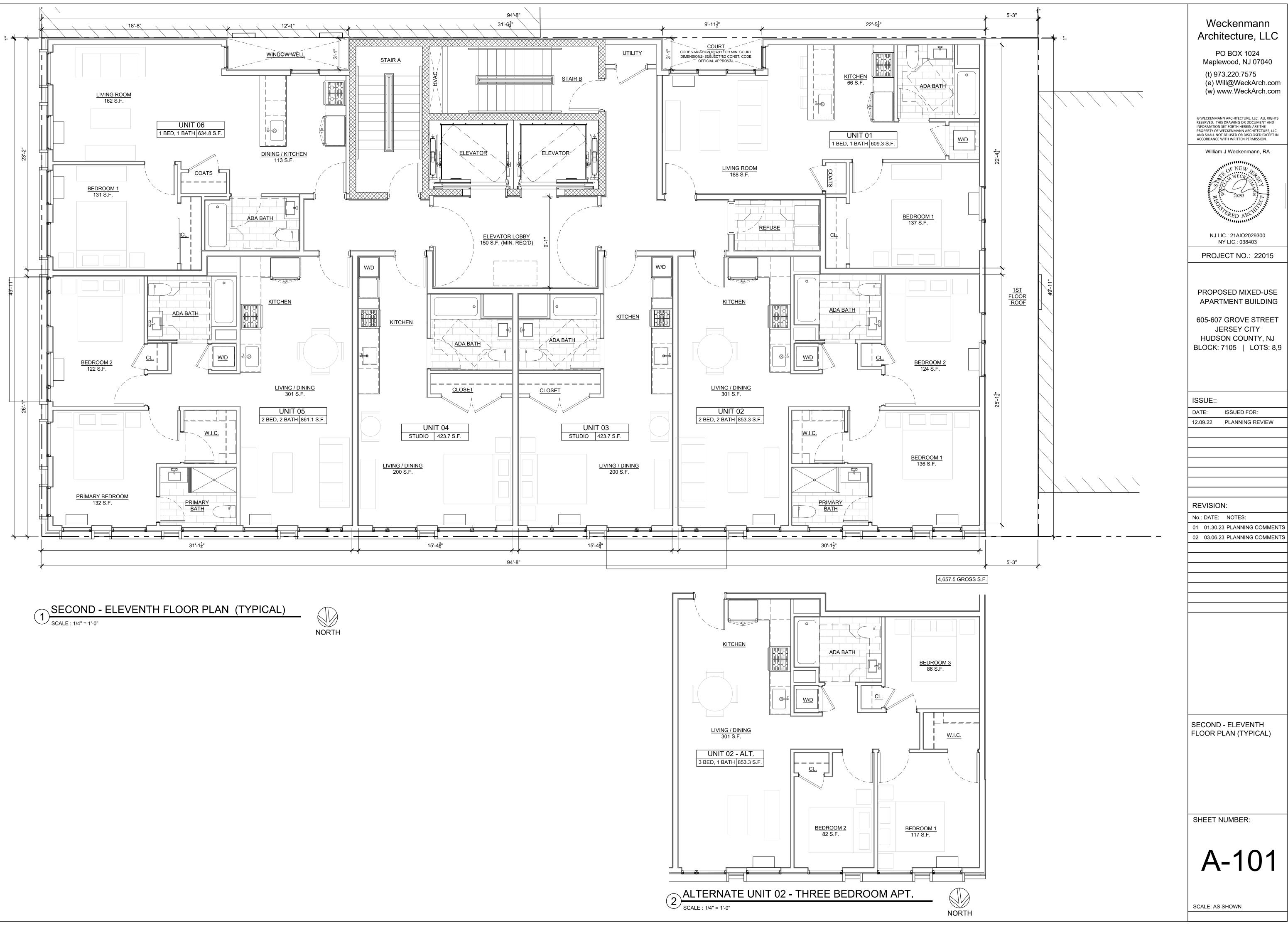


PEDESTAL PAVERS MANUFACTURER: PRODUCT #: DIMENSIONS: WEIGHT: WEIGNT PSF: COLOR:



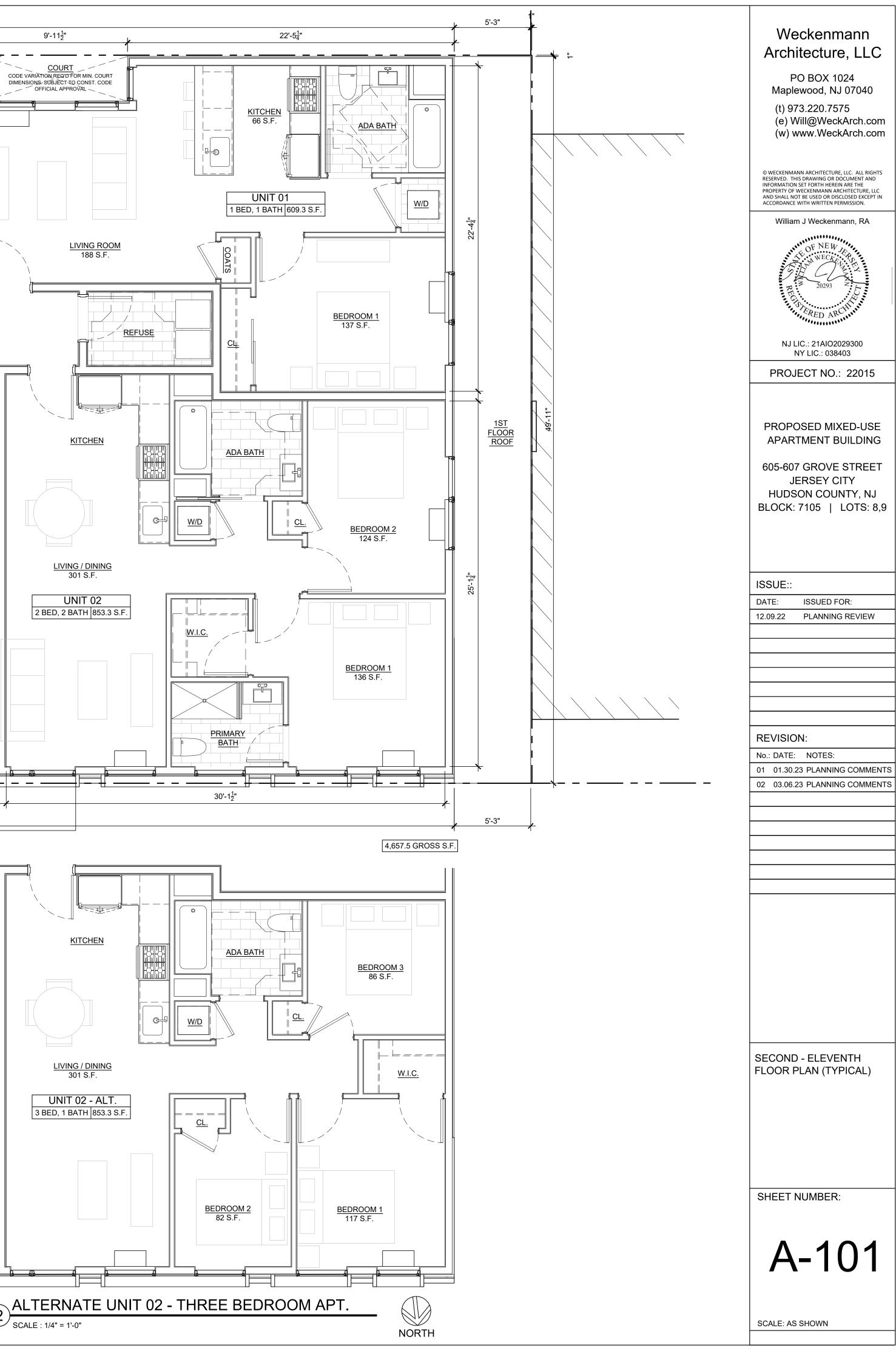


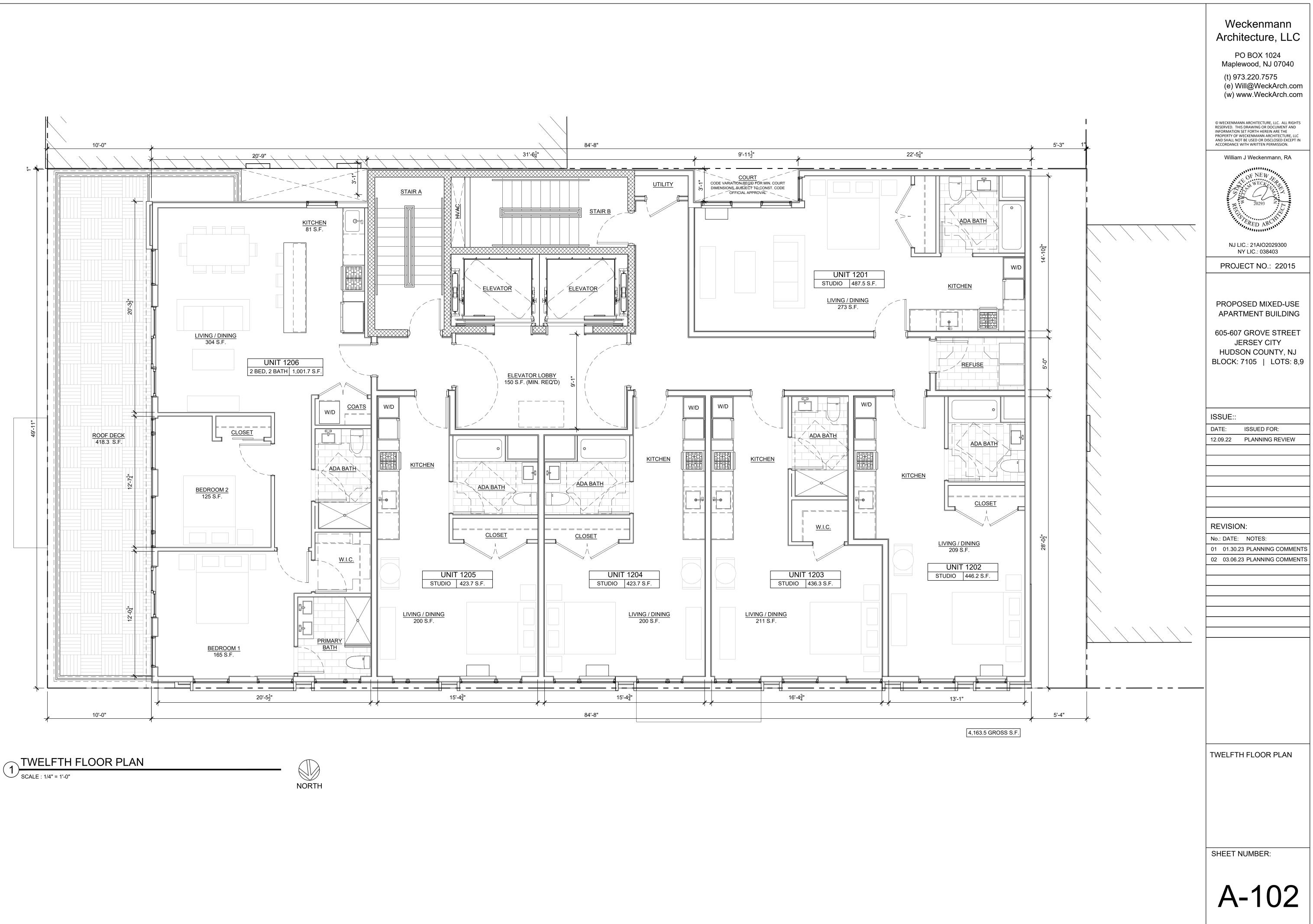
GROVE STREET











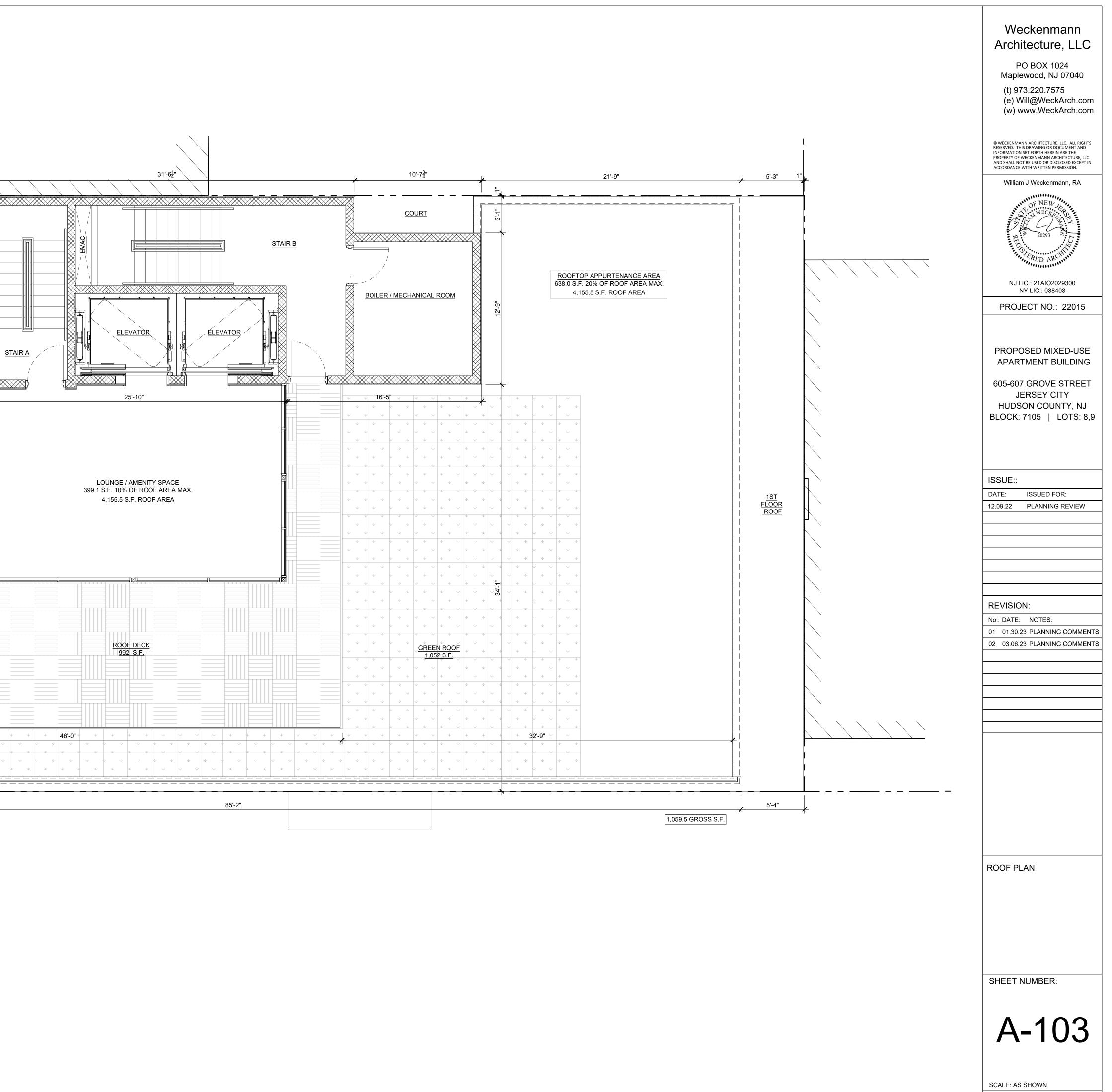




9'-6" TO FASCIA	21'-3"	≁
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11TH FLOOR ROOF DECK 104- 94		
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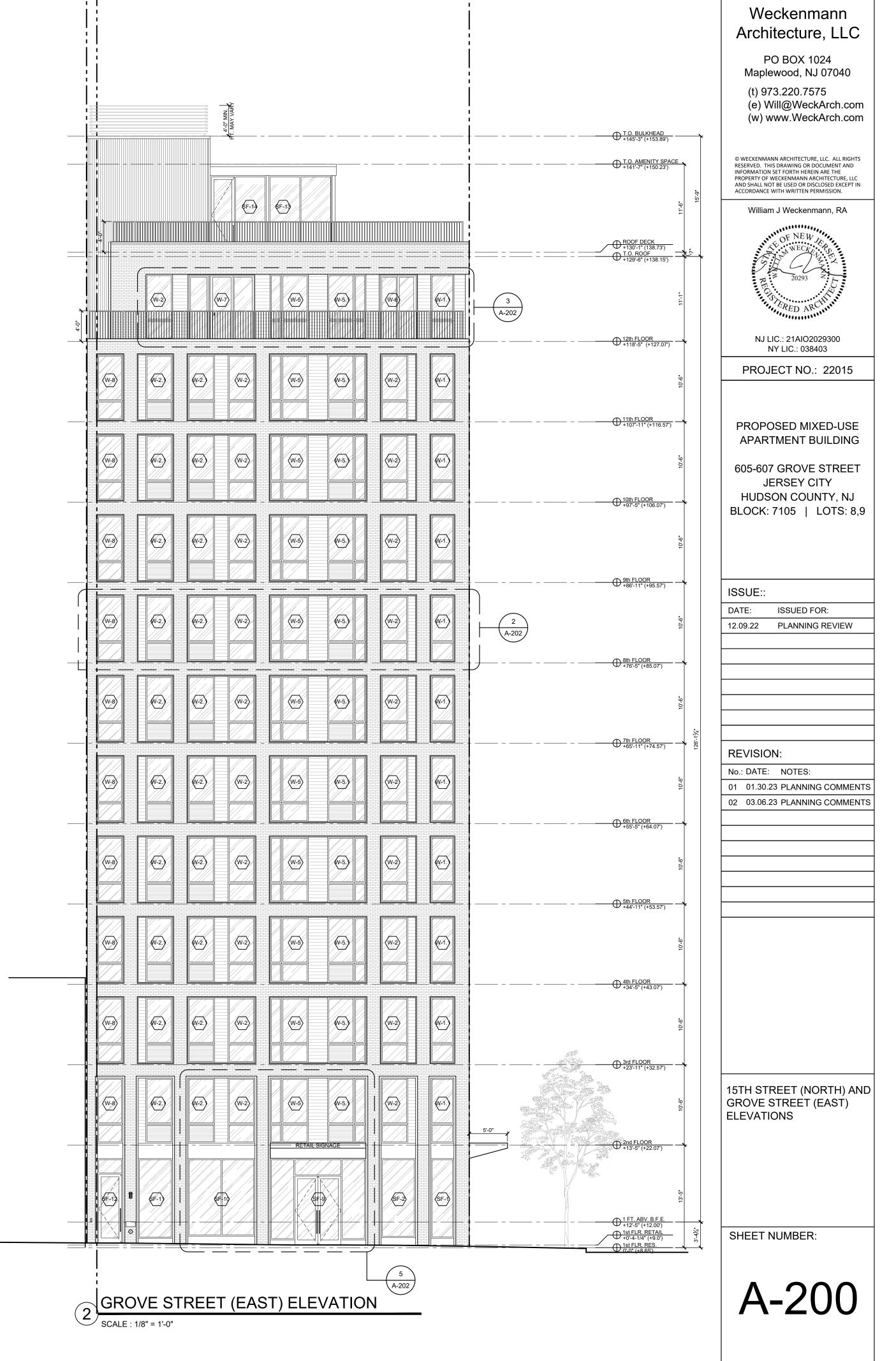






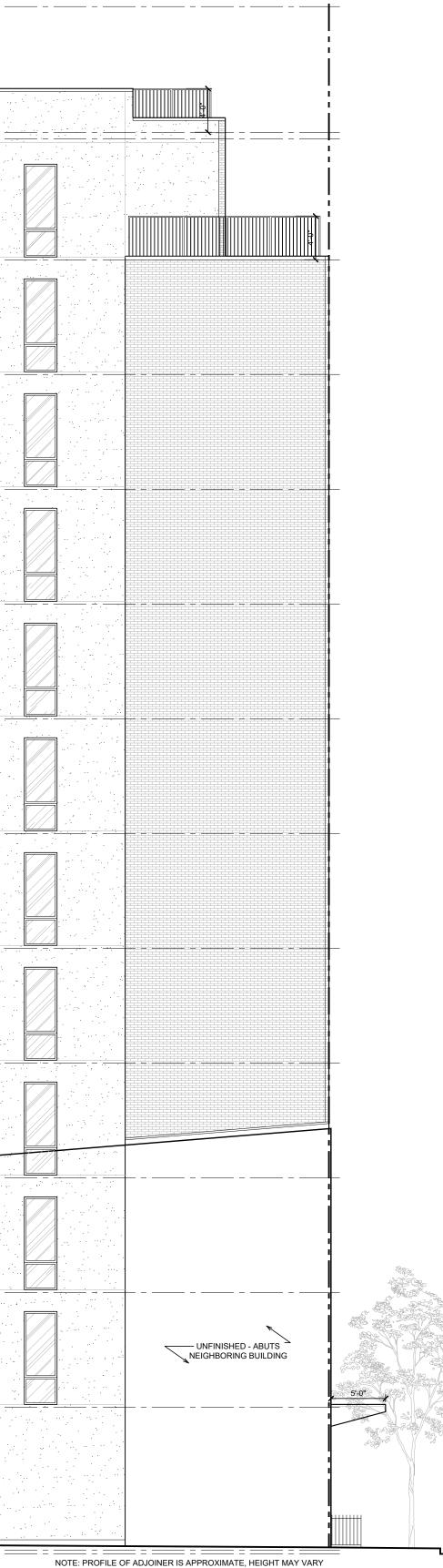
1 15TH STREET (NORTH) ELEVATION SCALE : 1/8" = 1'-0"

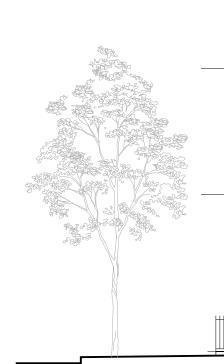
	- - 			H1. MAY VARY	
=					
<u>- 10th FLOOR</u> +97'-5" (+106.07)					
- <u></u>					
- <u>- 8th FLOOR</u> +76'-5" (+85.07')					
- <u>- 7th FLOOR</u> +65'-11" (+74.57)					
- <u>6th FLOOR</u>					
- <u>5th FLOOR</u>					
- <u>4th FLOOR</u>					
2nd FLOOR					
1 FT. ABV. B.F.E. 0	SF-3	5F-3 5F-3 5F-3			
- 1 FT. ABV. B.F.E. +12'-5" (+12.00') 1 st FLR. RETAIL +0'-4-1/4" (+9.0') 1 st FLR. RES.	(SF-3) (SF-3)	\$F-3 \$F-3 \$F-3 \$F-3 \$F-3 \$F-3 \$F-3 \$F-3	SF-6		



4 A-202

T. <u>O. AMENITY SPACE</u> +141'-7" (+150.23')				
ROOF DECK +130'-1" (138.73') T.O. ROOF +129'-6" (+138.15')				
+118'-5" (+127.07')				
÷ +107'-11" (+116.57') ⊕				
⁵ 0 10th FLOOR +97'-5" (+106.07') ⁵ 0 ⁵ 0				
9 9th FLOOR +86'-11" (+95.57')				
8th FLOOR +76'-5" (+85.07')				
- <u>5th FLOOR</u> +44'-11" (+53.57')				
4th FLOOR +34'-5" (+43.07')				
50 0		UNFINISHE	ED - ABUTS IG BUILDING	
2nd FLOOR +13'-5" (+22.07')				
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Maplewood, NJ 07040 (t) 973.220.7575 (e) Will@WeckArch.com (w) www.WeckArch.com <u>T.O. BULKHEAD</u> +145'-3" (+153.89') _____ _ _ _ _ _ _ _ _ _ _ _ _ _ _ © WECKENMANN ARCHITECTURE, LLC. ALL RIGHTS RESERVED. THIS DRAWING OR DOCUMENT AND INFORMATION SET FORTH HEREIN ARE THE PROPERTY OF WECKENMANN ARCHITECTURE, LLC AND SHALL NOT BE USED OR DISCLOSED EXCEPT IN ACCORDANCE WITH WRITTEN PERMISSION. <u>T.O. AMENITY SPACE</u> +141'-7" (+150.23') €F-13 6F-10 William J Weckenmann, RA FNEW
 ■
 ROOF DECK +130'-1" (138.73')

 ■
 T.O. ROOF +129'-6" (+138.15')
 <u>12th FLOOR</u> +118'-5" (+127.07') NJ LIC.: 21AIO2029300 NY LIC.: 038403 PROJECT NO.: 22015 6 (W-8) (W-8) A-202 <u>11th FLOOR</u> +107'-11" (+116.57') PROPOSED MIXED-USE APARTMENT BUILDING (W-8) ζw-ε 605-607 GROVE STREET JERSEY CITY HUDSON COUNTY, NJ <u>10th FLOOR</u> +97'-5" (+106.07') BLOCK: 7105 | LOTS: 8,9 └── <u>─</u> ── |── _____ (W-8) (W-8) 9th FLOOR +86'-11" (+95.57') ------ISSUE:: DATE: ISSUED FOR: (W-8) (W-8) 12.09.22 PLANNING REVIEW (W-8) (W-8) <u>7th FLOOR</u> +65'-11" (+74.57') **REVISION**: No.: DATE: NOTES: (W-8) (W-8) 01 01.30.23 PLANNING COMMENTS 02 03.06.23 PLANNING COMMENTS <u>6th FLOOR</u> +55'-5" (+64.07') (W-8) (W-8) <u>5th FLOOR</u> +44'-11" (+53.57') (W-8) ζw-ε <u>4th FLOOR</u> +34'-5" (+43.07') (W-8) (W-8) <u>3rd FLOOR</u> +23'-11" (+32.57') SIDE (SOUTH) AND REAR (W-8) (WEST) ELEVATIONS (W-8) <u>2nd FLOOR</u> +13'-5" (+22.07') UNFINISHED - ABUTS

 I FT. ABV. B.F.E.

 +12'-5" (+12.00')

 1st FLR. RETAIL

 +0'-4=1/4" (+9.0')

 T

 1st FLR. RES.

 0'-0" (+8.65')

 SHEET NUMBER:

2 REAR (WEST) ELEVATION SCALE : 1/8" = 1'-0"

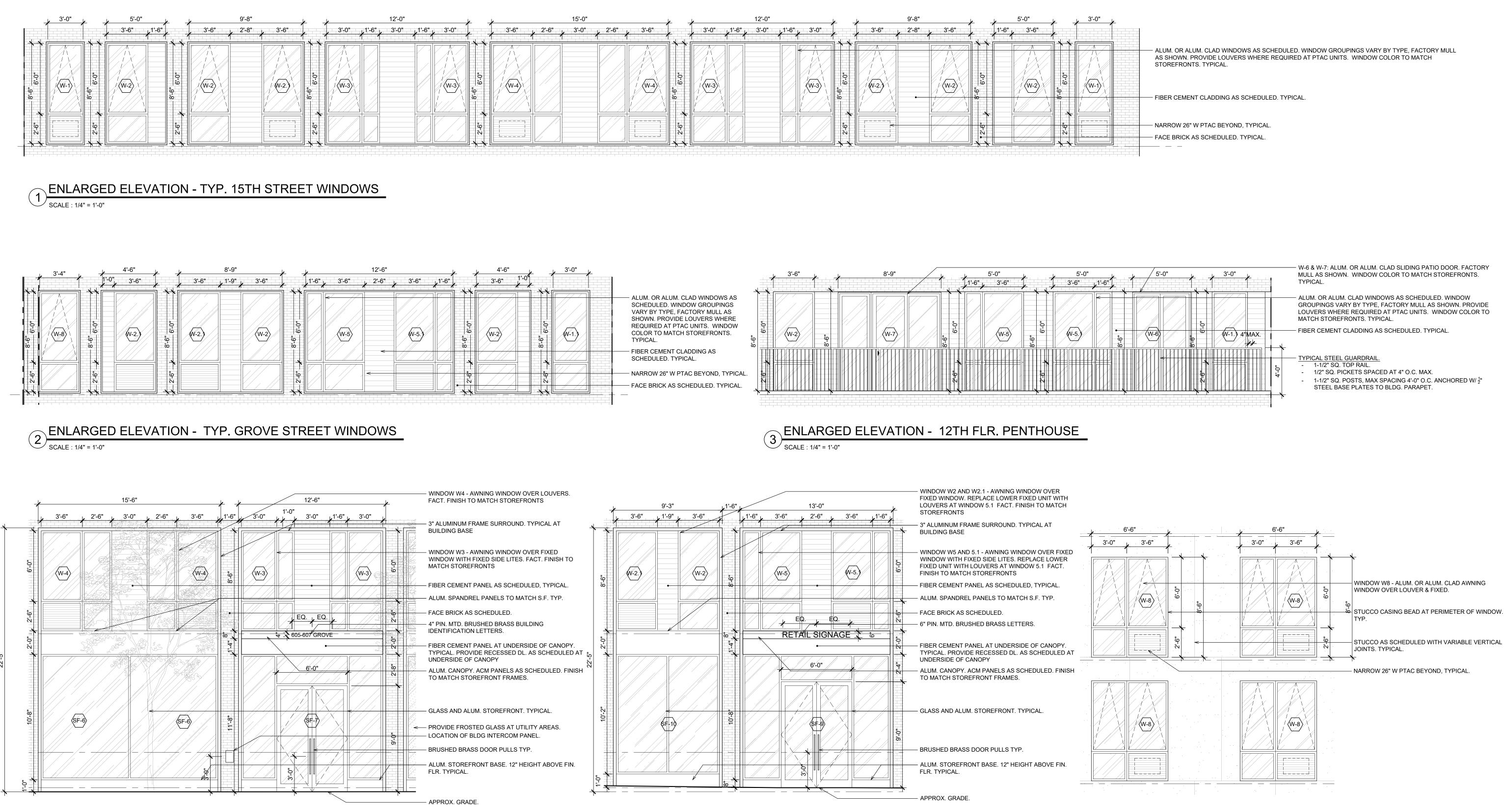
SCALE: AS SHOWN

A-200

Weckenmann

Architecture, LLC

PO BOX 1024



ENLARGED ELEVATION - 15TH STREET STOREFRONT 4

SCALE : 1/4" = 1'-0"

ENLARGED ELEVATION - GROVE ST. STOREFRONT

SCALE : 1/4" = 1'-0"

ENLARGED ELEVATION - REAR WINDOWS.

SCALE : 1/4" = 1'-0"

Weckenmann Architecture, LLC

PO BOX 1024 Maplewood, NJ 07040 (t) 973.220.7575 (e) Will@WeckArch.com (w) www.WeckArch.com

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William J Weckenmann, RA



NJ LIC.: 21AIO2029300 NY LIC.: 038403

PROJECT NO.: 22015

PROPOSED MIXED-USE APARTMENT BUILDING

605-607 GROVE STREET JERSEY CITY HUDSON COUNTY, NJ BLOCK: 7105 | LOTS: 8,9

ISSUE::

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REVISION:

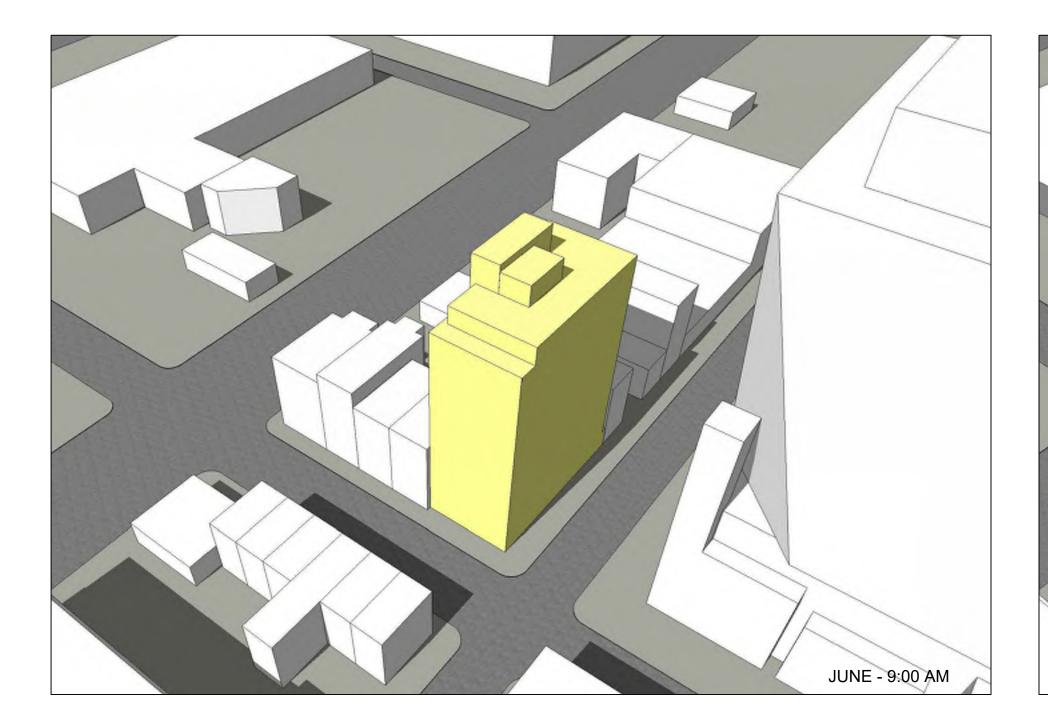
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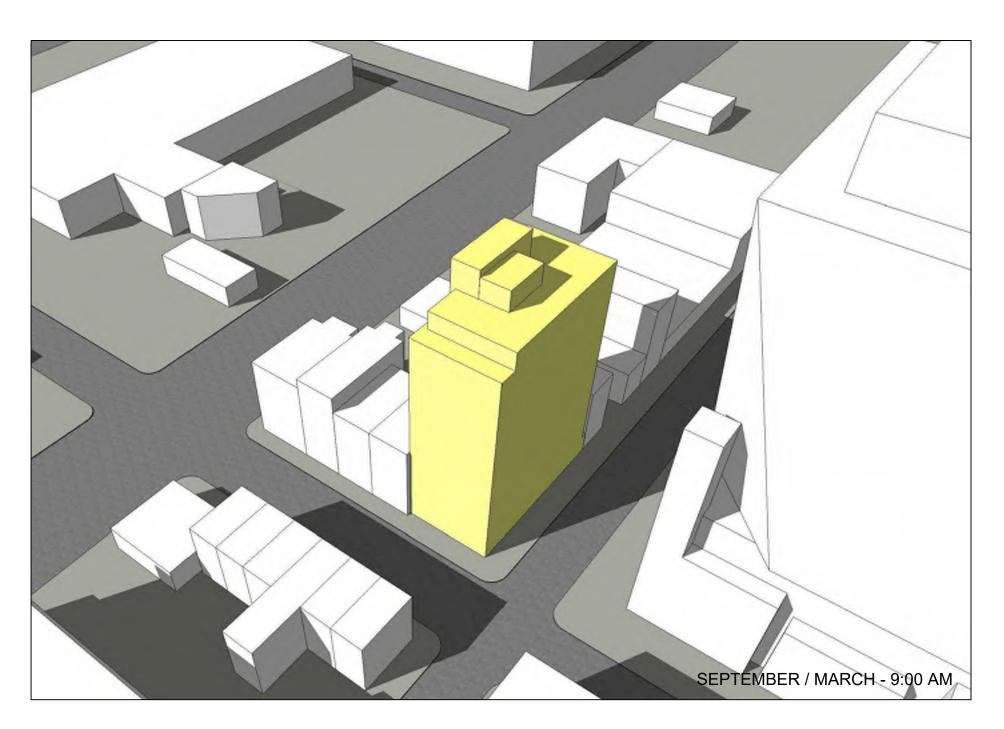
ENLARGED ELEVATIONS

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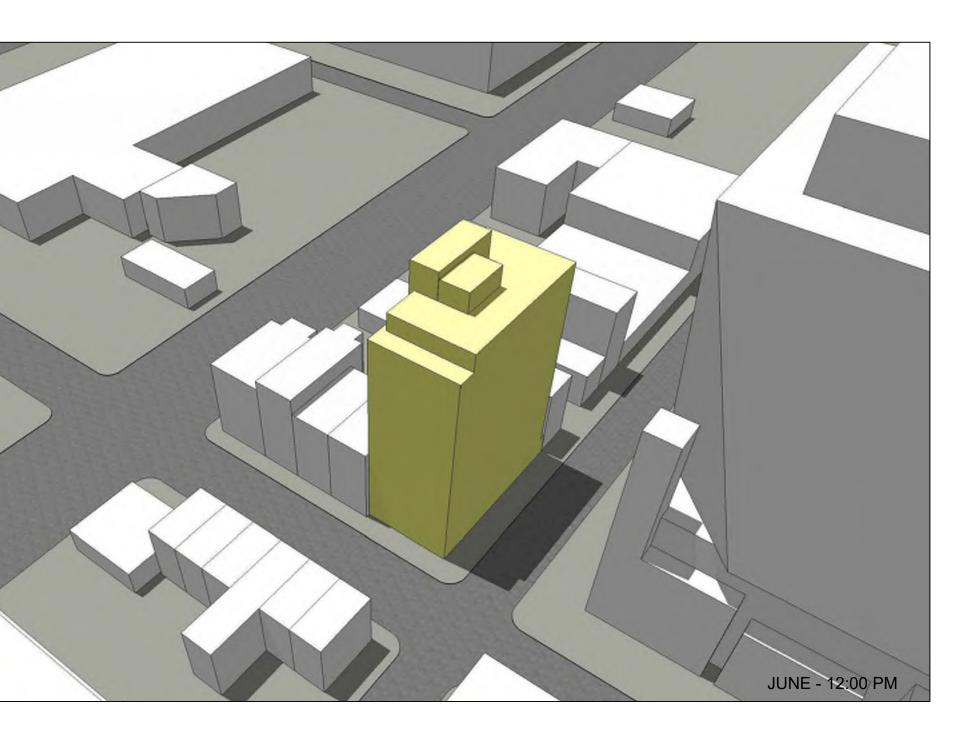
A-202

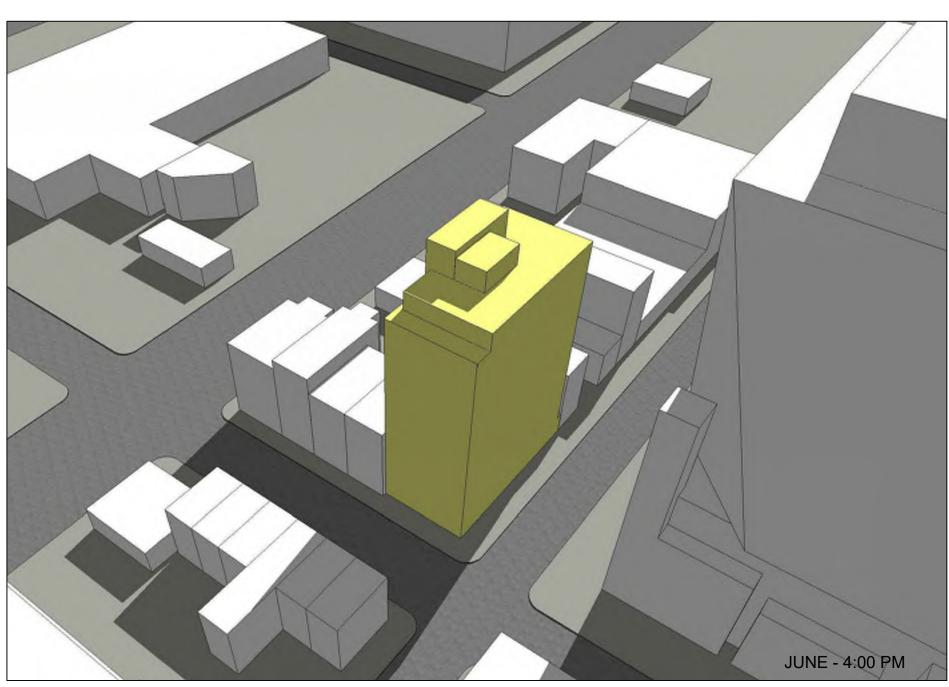
NOTE: MINOR VARIATIONS IN WINDOW PROFILES PROFILES, MULLING DETAILS, OPERABLE UNITS ETC. MAY VARY FROM THIS SET BASED UPON FINAL OWNER SELECTED WINDOW MANUFACTURER.

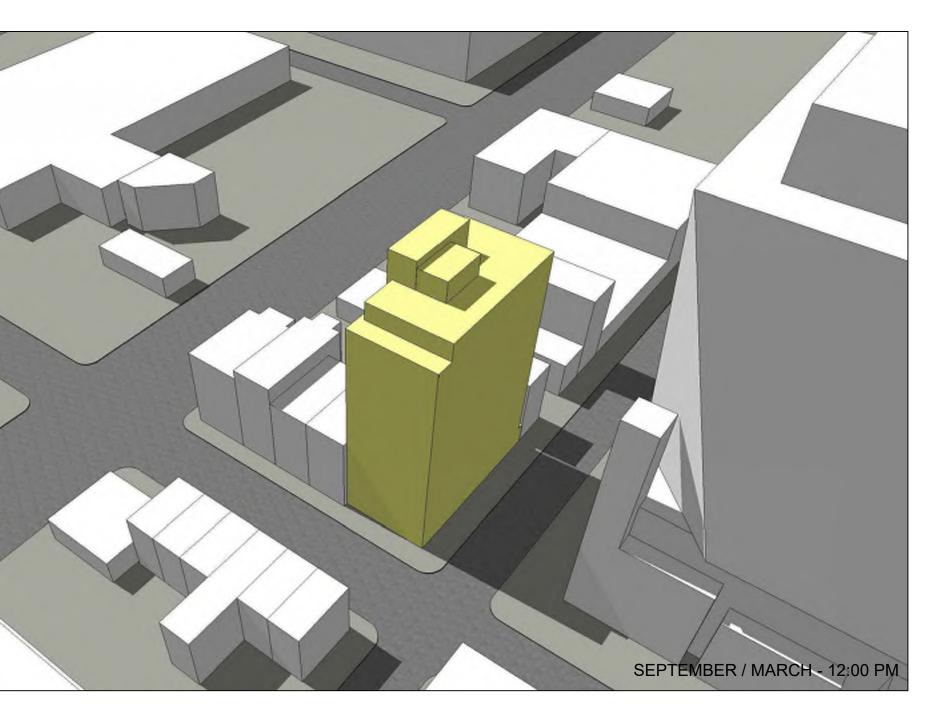






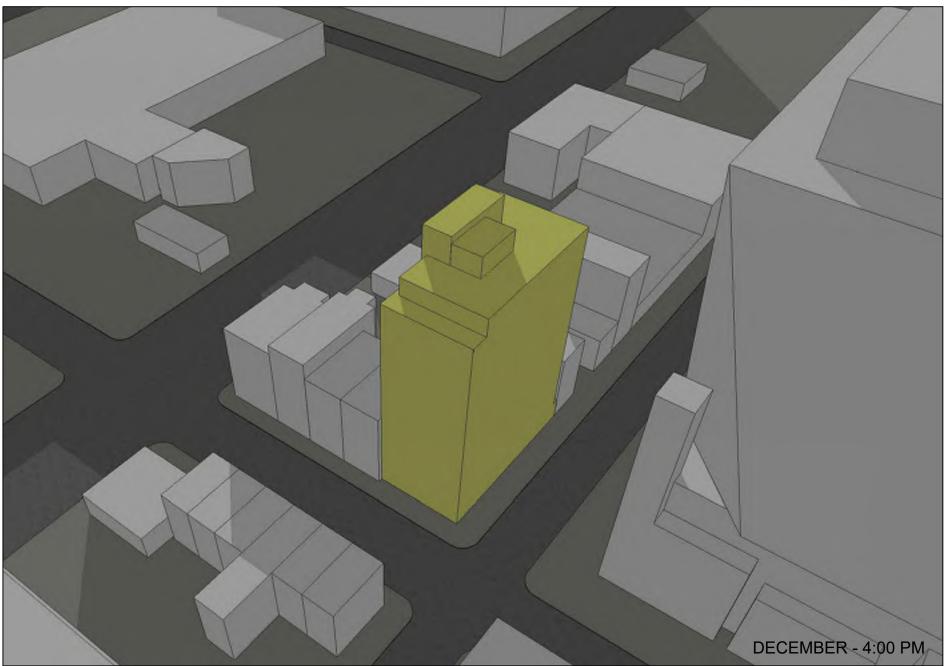


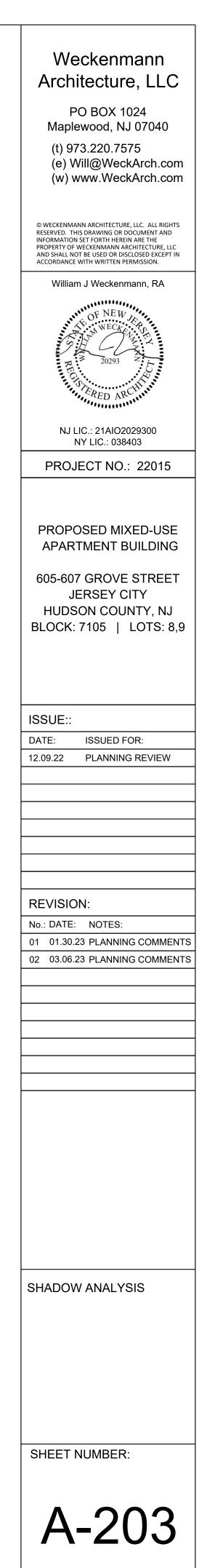








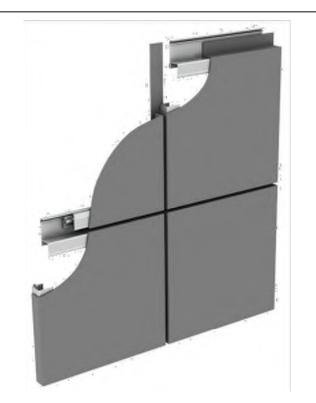


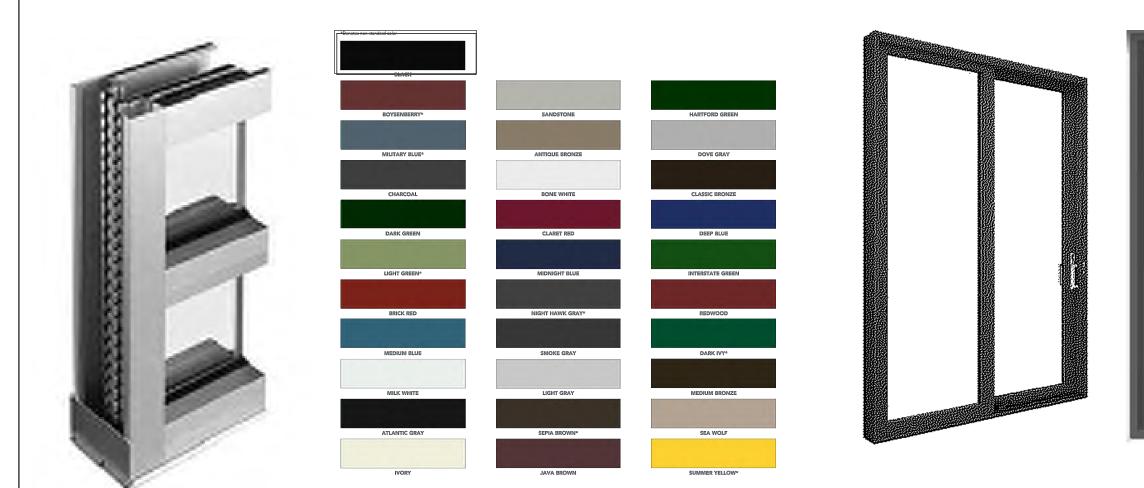


EXTERIOR MATERIAL SELECTIONS

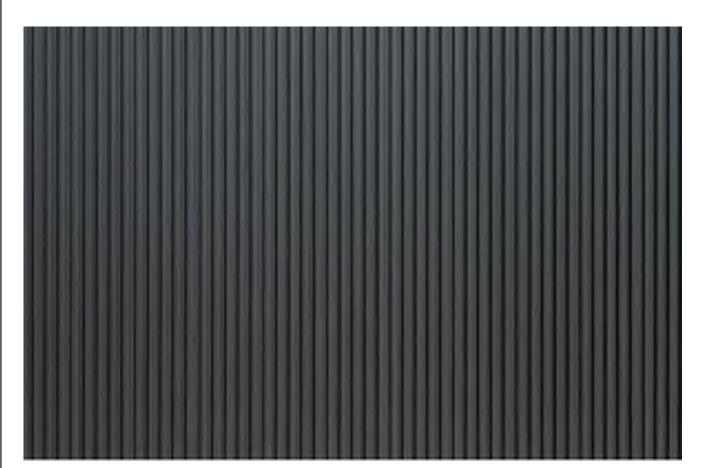


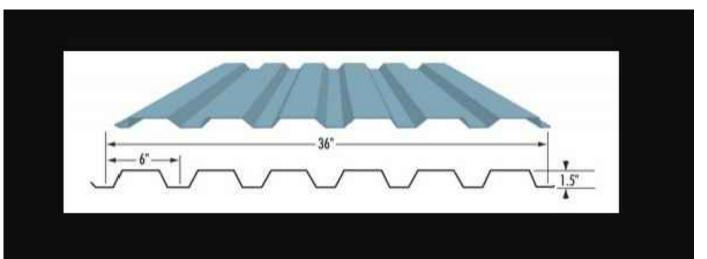
FACE BRICK: SIOUX CITY BRICK. CASTILE GRAY VELOUR. STANDARD MODULAR - 3-5/8" x 2-1/4" X 7-5/8"





STOREFRONTS: KAWNEER TRIFAB VERSAGLAZE 451T. COLOR: BLACK. ALL S.F. ENTRY DOORS, APARTMENT WINDOWS, PATIO DOORS, BALCONY RAILINGS TO MATCH STOREFRONT ALUMINUM COLOR. SEE ELEVATIONS



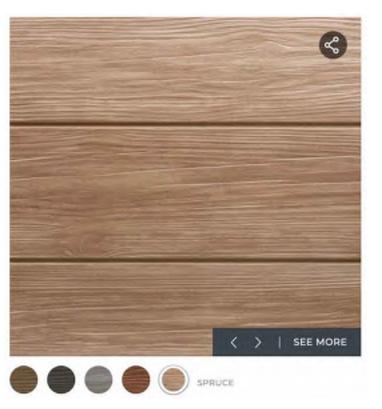


CORRUGATED METAL BULKHEAD CLADDING: 1-1/2" 29 GA CORRUGATED METAL PANELS. FINISH - FACTORY FINISHED BLACK TO MATCH ROOFTOP STOREFRONTS AND BRAKE METAL. ALL FASTENERS AND TRIM PER MANUF. SPECS.

CORRUGATED METAL BULKHEAD CLADDING:



ALUMINUM ACM PANELS: CENTRIA, REYNOBOND OR ALUCOBOND COMPOSITE PANEL. MANUF. TO BE SELECTED PRIOR TO CONSTRUCTION. SEE ELEVATIONS FOR PANEL SIZING AND JOINT LOCATIONS (MAY VARY PER MANUFACTURER'S REQUIREMENTS). COORDINATE WITH WINDOW / STOREFRONT COLORS.



FIBER CEMENT ACCENT PANELS - NICHIHA VINTAGEWOOD FIBER CEMENT SIDING, CEDAR FINISH. AWP3030



<u>STUCCO</u> - STO DESIGNER COLLECTION - FINE FINISH. COLOR: 37103-13. JOINT PATTERN / SPACING PER ELEVATIONS

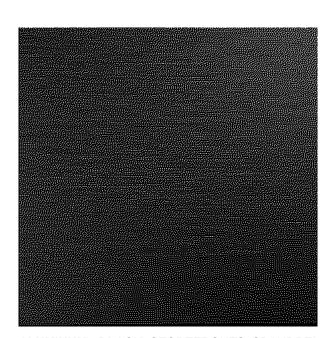




WINDOWS. PELLA ARCHITECTS SERIES OR ARCHITECT APPROVED EQUIVALENT. SEE ELEVATION FOR SPACING / DESIGN & UNIT / FACTORY MULL CONFIGURATION. EXTERIOR FINISH: BLACK TO MATCH STOREFRONTS. DOUBLE-PANED LOW-E GLAZING.



BRUSHED ALUMINUM : ACCENT - DOOR PULLS AND HARDWARE.



ALUMINUM - BLACK: STOREFRONTS, SPANDREL PANELS, BUILDING CANOPIES, MISC. BRAKE METAL, PARAPET COPING, WINDOWS AND DOORS,

13	37201 🔳 18	37105 🛄 23	11403 🔳 32 Burnt Ash	37203 🔳 33	11503 🍱 35 Twilight
50 Gray Flannel	11404 🔳 47 Brushed Pewter	37107 🔳 33	01012 🔳 48 Nambe	37305 🔳 47	37304 🔳 35
56 Diamond Dust	37205 🔲 55	37109 🛄 56	21612 🍱 58 Oyster	11505 🛄 65 London Fog	11406 🎞 71 🛛 Pearl Gray
68	20054 🔳 55	93240 🎟 60 Smoked Putty	20053 🔲 61	10606 🔳 71 Plateau	1685 🍱 68 Tijeras
71	37111 🔳 73	20051 🛄 64	10308 🔳 86 Pearl	32216 32216	20506 🛄 70 Desert Sun
79 Silver Lining	20056 🔳 78	20055 🔳 75	31416 🔳 84	20052 🔳 78	93330 🔳 69 Champagne
73 Winter White	01008 🔳 80 Marble White	36217 🛄 81 Marble Dust	20001 🔳 82 ITS White	6050 🔳 73 White Linen	9433 80 Sto White Building with conscience.
103-13 1	OINT DATTER	I / SPACING PR	ER EL EVATION	S 210	Building with conscience.

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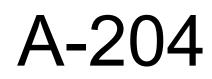
DATE: ISSUED FOR: 12.09.22 PLANNING REVIEW

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EXTERIOR MATERIAL SPECIFICATIONS

SHEET NUMBER:





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