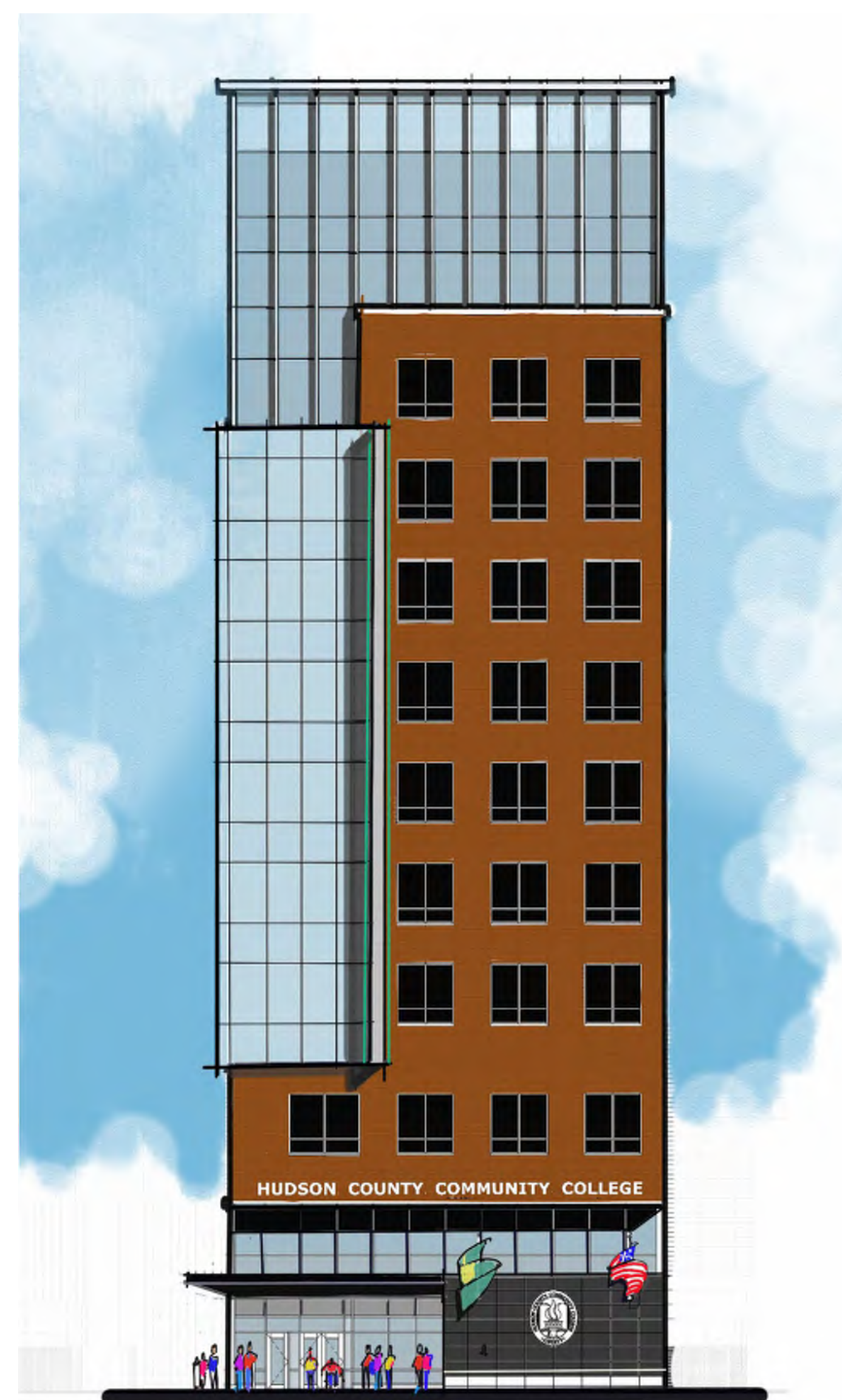




VIEW FROM ENOS PLACE



ELEVATIONS FOR REFERENCE



# HUDSON COUNTY COMMUNITY COLLEGE

## PROPOSE NEW MIXED-USE ACADEMIC BUILDING Jersey City, NJ

**NKA**  
 NK ARCHITECTS  
 95 WASHINGTON STREET, MORRISTOWN, NJ 07960  
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 233 BROADWAY SUITE 2150, NEW YORK, NY 10279  
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 DANIEL J. TOPPING, AIA AI 16283

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HUDSON COUNTY COMMUNITY COLLEGE  
 HUDSON COUNTY COMMUNITY COLLEGE  
 MIXED-USE ACADEMIC BUILDING  
 Jersey City, NJ

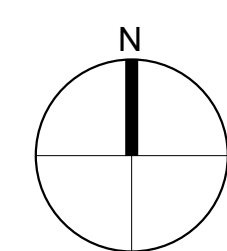
**MAST**  
 CONSTRUCTION SERVICES, INC.

### PROJECT DIRECTORY

<p><b>OWNER</b>          HUDSON COUNTY COLLEGE          70 SIP AVENUE          JERSEY CITY, NEW JERSEY 07306          (201) 360-4052</p> <p><b>OWNER REPRESENTATIVE</b>          MAST CONSTRUCTION SERVICE, INC.          96 EAST MAIN STREET, SUITE 2          LITTLE FALLS, NJ 07424          (973) 837-1515          CONTACT: TROY MARZZIOTTI, VICE-PRESIDENT</p> <p><b>CIVIL ENGINEER</b>          NEGLIA ENGINEERING ASSOCIATES          34 PARK AVENUE, PO BOX 246          LYNDBURST, NJ 07071          (201) 939-8805          CONTACT: ANTHONY KURUS, P.E.</p>	<p><b>ARCHITECTS/INTERIOR DESIGNERS</b>          NK ARCHITECTS          95 WASHINGTON STREET          MORRISTOWN, NJ 07960          (973) 539-5353          CONTACT: STEPHEN P. ALUOTTO</p> <p><b>STRUCTURAL ENGINEER</b>          STRUCTURE STUDIO          93 WASHINGTON STREET          MORRISTOWN, NJ 07960          (973) 656-0500          CONTACT: MARK VON BRADSKY, PE</p> <p><b>MEP ENGINEER</b>          LUONGO ASSOCIATES, P.A.          501 AMERICAN LEGION WAY          POINT PLEASANT BEACH, NEW JERSEY, 08742          (732) 295-8500          CONTACT: GERARD C. LUONGO, P.E., P.P.</p>	<p><b>TECHNOLOGY CONSULTANT</b>          THE CLARIENT GROUP          486C ROUTE 1 SOUTH, SUITE 200          ISELIN, NJ 08830          (212) 586-5840          CONTACT: CHARLES J. BUSCARINO</p>
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KEY PLAN

### KEY PLAN

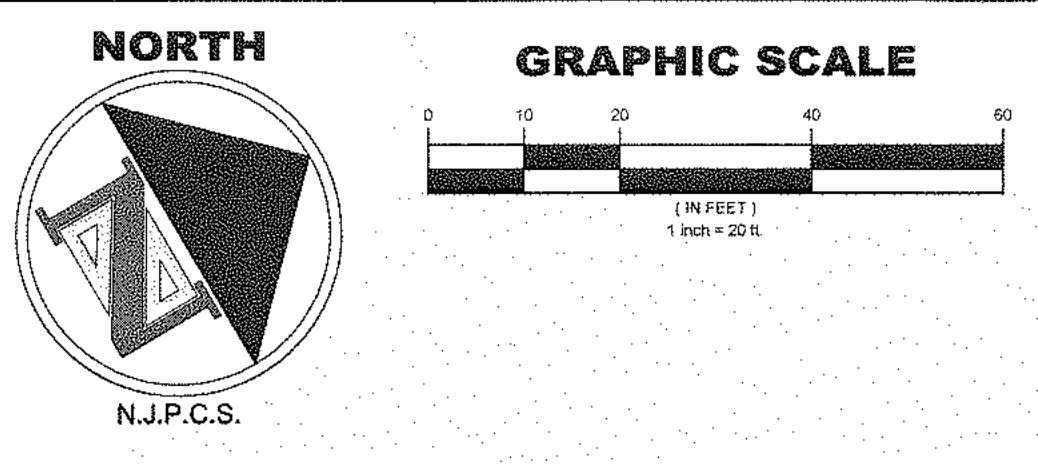


NO.	ISSUE FOR BID	09/15/22
NO.	DESCRIPTION	DATE
DRAWING TITLE		
<b>GENERAL INFORMATION</b>		

DATE  
 09/15/2022  
 SCALE  
 DRAWN  
 CHECKED  
 DRAWING NUMBER

**G0.01**

NK PROJECT NUMBER: 1916.702



**PLAN LEGEND:**

	SURVEY CALL		DEED CALL
	INLETS		UTILITY POLE
	TREES		LIGHT POLE
	SHRUB		WATER VALVE
	ROOF DRAIN		GAS VALVE
	DEPRESSED CURB		CLEAN-OUT
	EDGE OF PAVEMENT		UNKNOWN VALVE
	MANHOLE		LANDSCAPED AREA
	FIRE HYDRANT		CHAIN LINK FENCE
	HANDICAPPED SPACE		FINISHED FLOOR(SILL)
	ELECTRIC MARKOUT		SANITARY SEWER LINE
	FIBER OPTIC MARKOUT		STORM SEWER LINE
	GAS MARKOUT		TELEPHONE MARKOUT
	OVERHEAD WIRES		WATER MARKOUT
	OIL FILL		ELECTRIC METER

**NEW JERSEY CERTIFICATION:**  
 TO: HUDSON COUNTY COMMUNITY COLLEGE, I CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, LICENSED TO PRACTICE IN THE STATE OF NEW JERSEY, AND THAT THIS MAP OR PLAN IS A RESULT OF A FIELD SURVEY MADE ON APRIL 27, 2018 UNDER MY DIRECT SUPERVISION IN ACCORDANCE WITH THE RULES AND REGULATIONS PROMULGATED BY THE STATE BOARD OF ENGINEERS AND LAND SURVEYORS. I DECLARE THAT TO THE BEST OF MY KNOWLEDGE AND BELIEF, THE INFORMATION SHOWN HEREON CORRECTLY REPRESENTS THE CONDITIONS FOUND AT, AND AS OF THE DATE OF THE FIELD SURVEY, EXCEPT SUCH IMPROVEMENTS OR EASEMENTS, IF ANY, BELOW THE SURFACE AND NOT VISIBLE. ALSO, THAT THIS PLAN WAS PREPARED IN ACCORDANCE WITH A CONTRACTUAL AGREEMENT. THE PROPERTY LINES SHOWN HEREON REPRESENT, UNLESS OTHERWISE NOTED, THE LINES DESCRIBED IN THE RECORD DOCUMENTS REFERENCED HEREON.

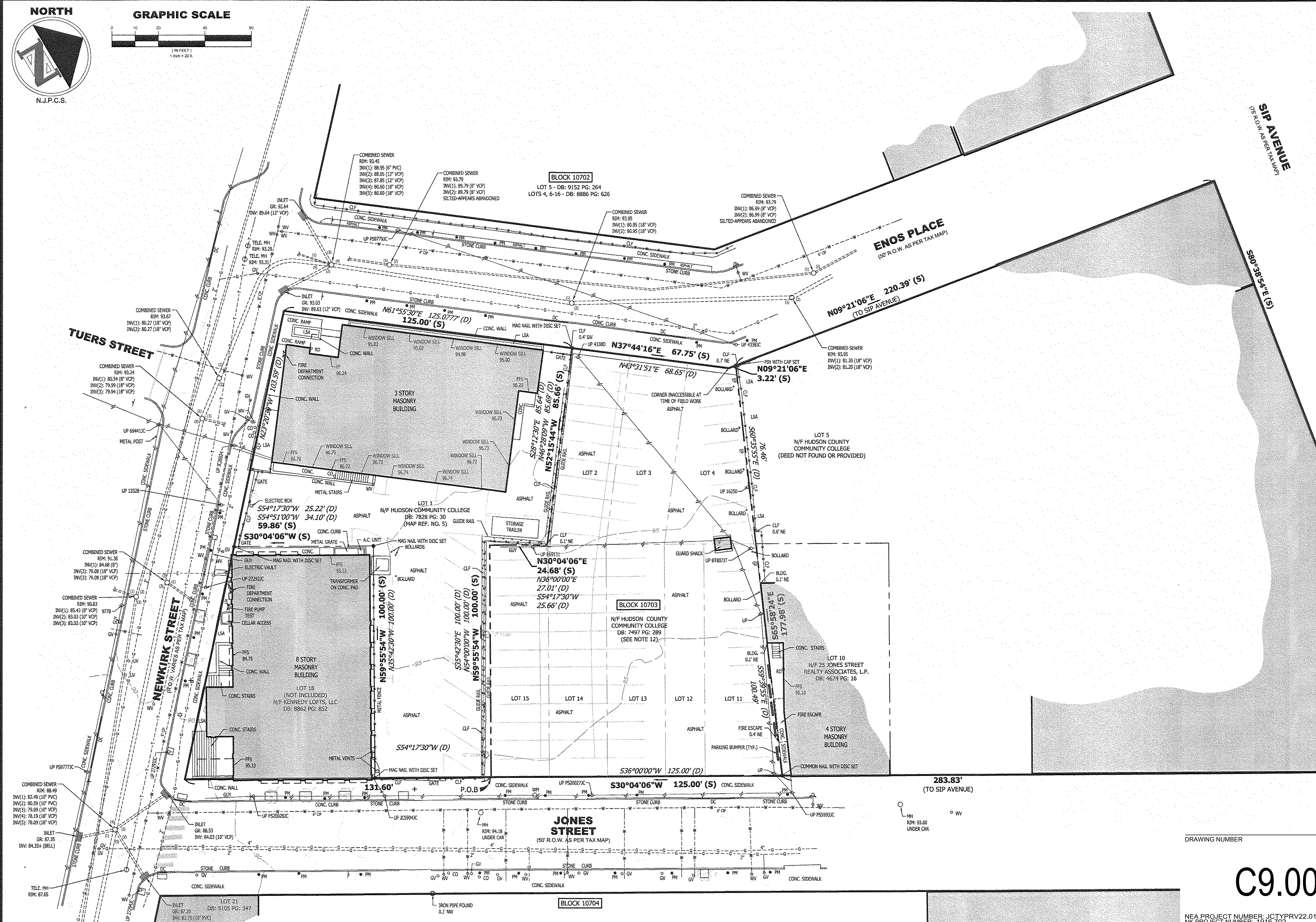
**SURVEY NOTES:**

- THIS SURVEY IS PREPARED SPECIFICALLY FOR THE INDIVIDUAL(S) IN THE TITLE AND/OR THE CERTIFICATION. THE UNDERSIGNED WILL NOT BE RESPONSIBLE OR ASSUME ANY LIABILITY FOR THE USE OF THIS SURVEY FOR ANY OTHER PURPOSE INCLUDING, BUT NOT LIMITED TO, SURVEY AFFIDAVIT, RESALE OF THE PROPERTY OR ASSIGNMENT OF THE SURVEY TO ANY PERSON NOT SO NAMED.
- SUBJECT TO EASEMENTS AND/OR RESTRICTIONS OF RECORD AND RIGHTS OR CLAIMS OF PARTIES IN POSSESSION OF THE SUBJECT LAND OR ADJOINING LANDS AND/OR EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORD.
- UNDERGROUND UTILITIES IF DEPICTED ARE BASED ON VISIBLE EVIDENCE. THE LACK OF UTILITY INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. PRIOR TO ANY DESIGN OR CONSTRUCTION THE PROPER UTILITY AGENCIES MUST BE CONTACTED TO VERIFY THE PRESENCE OR ABSENCE OF UTILITIES.
- WETLANDS ARE NOT DEPICTED. THE LACK OF WETLANDS INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. SITE REVIEW AND DELINEATION BY A QUALIFIED PROFESSIONAL IS REQUIRED TO VERIFY THE PRESENCE OR ABSENCE OF WETLANDS.
- TOXIC WASTES ARE NOT DEPICTED. THE LACK OF TOXIC WASTE INFORMATION DOES NOT DENY THE EXISTENCE OF SAME. SITE REVIEW FOR THE SAME SHOULD BE PURSUED AND APART FROM THIS SURVEY.
- THIS SURVEY HAS BEEN PREPARED BASED ON A TITLE COMMITMENT FILE NO. 5312-1441337 PREPARED BY ATTORNEYS LAND TITLE FOR FIDELITY NATIONAL TITLE INSURANCE COMPANY OF NEW YORK WITH AN EFFECTIVE DATE OF 3/16/05.
- THE SUBJECT PARCEL CONTAINS 18,396 SQ. FT. OR 0.422 ACRES OF LAND MORE OR LESS.
- A WRITTEN WAIVER AND DIRECTION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C.14 (N.J.S.A. 45:8-36.3) AND N.J.A.C. 13:40-5.1(D).
- FENCES & WALLS HAVE BEEN LOCATED AT THE BOTTOM OF THE STRUCTURE, AT THE TIME OF FIELD SURVEY.
- THE MEDIUM OF THIS SURVEY IS BASED ON THE NEW JERSEY PLANE COORDINATE SYSTEM NAD83(2011) AS ESTABLISHED USING GPS METHODS AND THE SMARTNET NETWORK.
- ELEVATIONS SHOWN ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88) AS ESTABLISHED USING GPS METHODS AND THE SMARTNET NETWORK.
- THE SUBJECT PROPERTY IS SUBJECT TO THE FOLLOWING RESTRICTIONS BASED ON DEED BOOK 5476, PAGE 69: "THE PROPERTY SHALL BE USED EXCLUSIVELY FOR THE PURPOSE OF PUBLIC PARKING FOR MOTOR VEHICLES. THE RESTRICTION SHALL RUN WITH THE LAND. THIS RESTRICTION SHALL CONTINUE UNLESS AND UNTIL REMOVED BY RESOLUTION OF THE COMMISSIONERS OF THE PARKING AUTHORITY OF THE CITY OF JERSEY CITY BY WRITTEN INSTRUMENT."
- CLIENT HAS REQUESTED THE BEARING AND DISTANCE INFORMATION FOR ADJOINING LOT 1, BLOCK 0703. DEED DATA HAS BEEN ADDED BASED ON DEED BOOK 7838, PAGE 30. SURVEYED DATA HAS BEEN ADDED BASED ON BOUNDARY ANALYSIS PERFORMED FOR SUBJECT PROPERTY. THIS DATA IS SHOWN WITHOUT THE BENEFIT OF A TITLE REPORT AND IS BASED ON DOCUMENTS REFERENCED HEREON.
- IN ACCORDANCE WITH A CERTAIN MAP ENTITLED "NATIONAL FLOOD INSURANCE PROGRAM, FIRM, HUDSON COUNTY, NEW JERSEY (ALL JURISDICTIONS), PANEL 102 OF 138, MAP NUMBER 34017001020, WITH AN EFFECTIVE DATE OF 08/16/2006, THE SUBJECT PARCEL LIES WITHIN ZONE X, AN AREA DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN.

**SCHEDULE B - SECTION II EXCEPTIONS:**  
 BASED ON TITLE COMMITMENT REFERENCED IN NOTE 6  
 ITEM #5: TERMS AND CONDITIONS OF ENCROACHMENT EASEMENT RECORDED IN DEED BOOK 1439 PAGE 363. NOT SHOWN - BUILDINGS REMOVED, HERCER OF TITLE.  
 ITEM #6: RESTRICTIVE COVENANT FOR PUBLIC PARKING IN DEED BOOK 5470 PAGE 69. SEE NOTE 12.

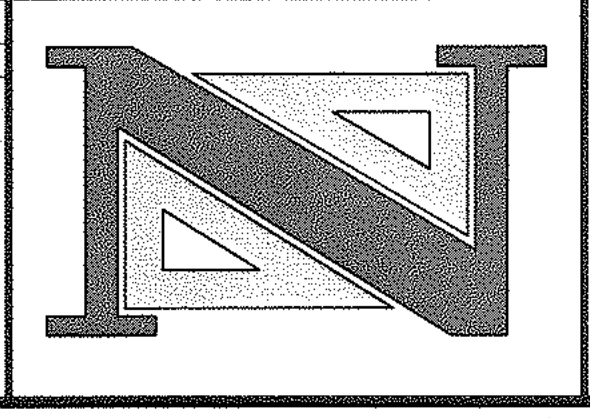
**MAP REFERENCES:**

- LOT AND BLOCK NUMBERS SHOWN HEREON REFER TO THE CITY OF JERSEY CITY TAX MAP SHEET NO. 107 DATED AUGUST 2006.
- MAP ENTITLED "MAP OF PROPERTY OF JOHN JONES, JERSEY CITY, N.J." DATED APRIL 1878 AND FILED IN HUDSON COUNTY CLERK'S OFFICE AS FILED MAP 66 ON DECEMBER 29, 1883.
- JCMUA WATER UTILITY MAP BOOK F15.
- SHEET 5 - SEWER MAPPING PROVIDED BY JERSEY CITY.
- MAP ENTITLED "MAP OF PROPERTY, HUDSON COUNTY COMMUNITY COLLEGE, CITY OF JERSEY CITY, HUDSON COUNTY, NJ" LAST REVISED 5/28/09 AND PREPARED BY DMC ASSOCIATES, INC DMC#0601105
- MAP ENTITLED "MAP OF PROPERTY 65-79 SIP AVENUE, JERSEY CITY, HUDSON CO., N.J." DATED 1/19/05 AND PREPARED BY CAULFIELD ASSOCIATES, LLP.
- MAP ENTITLED "TITLE AND TOPOGRAPHIC SURVEY, HUDSON COUNTY COMMUNITY COLLEGE" PREPARED BY DRESNER ROBIN.
- GIS MAPPING PROVIDED BY PSE&G FOR ELECTRIC AND GAS FACILITIES SURROUNDING SUBJECT PROPERTY.



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REVISIONS		DATE	DESCRIPTION	DRAWN	DESIGNED	CHECKED
1	6-12-2018	ADDED FLOOD ZONE NOTE		PJP		GAV
2	6-25-2018	ADDED CORNER MARKERS SET		PJP		GAV



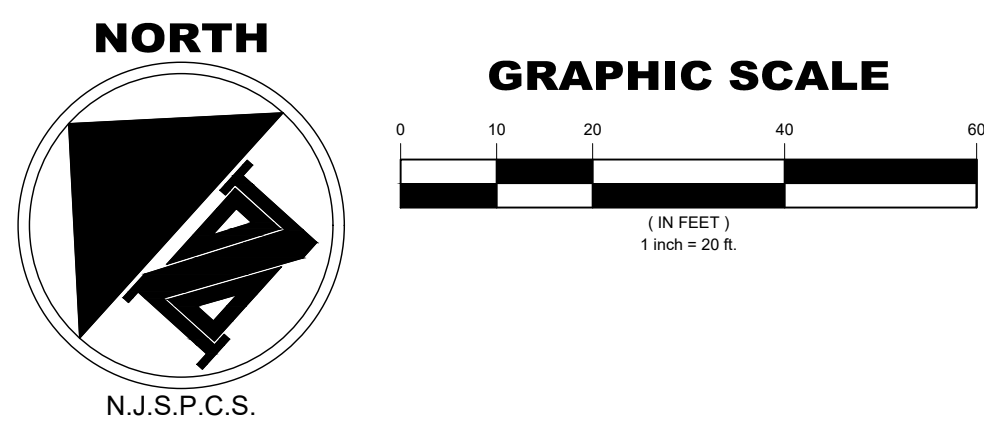
**GARY A. VEENSTRA, P.L.S.**  
 PROFESSIONAL LAND SURVEYOR  
 N.J. LICENSE NO. 24GS03721300

A PROJECT OF  
**NEGLIA ENGINEERING ASSOCIATES**  
 34 PARK AVENUE  
 LYNDHURST, NEW JERSEY  
 TEL: 201-939-8805 FAX: 201-939-0846 E-MAIL: NEA@NEGLIAENGINEERING.COM

**MICHAEL J. NEGLIA, P.E., P.L.S., P.P.**  
 PROFESSIONAL ENGINEER N.J. LICENSE NO. 38604  
 PROFESSIONAL LAND SURVEYOR N.J. LICENSE NO. 38604  
 PROFESSIONAL PLANNER N.J. LICENSE NO. 33LJ0569800

**BOUNDARY AND TOPOGRAPHIC SURVEY**  
**HUDSON COUNTY COMMUNITY COLLEGE**  
**LOTS 2, 3, 4, 11, 12, 13, 14 & 15 BLOCK 10703**  
**CITY OF JERSEY CITY**  
**HUDSON COUNTY NEW JERSEY**

DRAWN BY: PJP CHECKED BY: GAV PROJECT NO: JCTYPRV18.010 SHEET NO: 1 OF 1  
 DESIGNED BY: SCALE: 1"=20' DATE: MAY 14, 2018  
 FIELD BOOK NO: PAGE: PROJECT NUMBER: JCTYPRV22.010 NK PROJECT NUMBER: 1916.702



**SITE GRADING/BACKFILL OF DEMOLITION AREA NOTES:**

Upon the removal of any foundations, walls, below grade walls, tree stumps, concrete slabs, asphalt, utilities, pipes, etc. contractor is responsible for backfilling open excavations to grades matching existing adjacent street level grades and existing site level grades.

Borrow material required for site grading and backfill of demolition areas shall conform to section 201 of the NJDOT Standard Specifications. Borrow material required shall be composed of clean, well drained granular soils and shall be Certified Clean Fill. The Contractor shall provide the Engineer with certification attesting that the said material is free of contaminants and suitable for use as backfill. Borrow material shall be smooth, soft and free of depressions, clods, mounds, stones, or other debris and shall be approved by the Engineer.

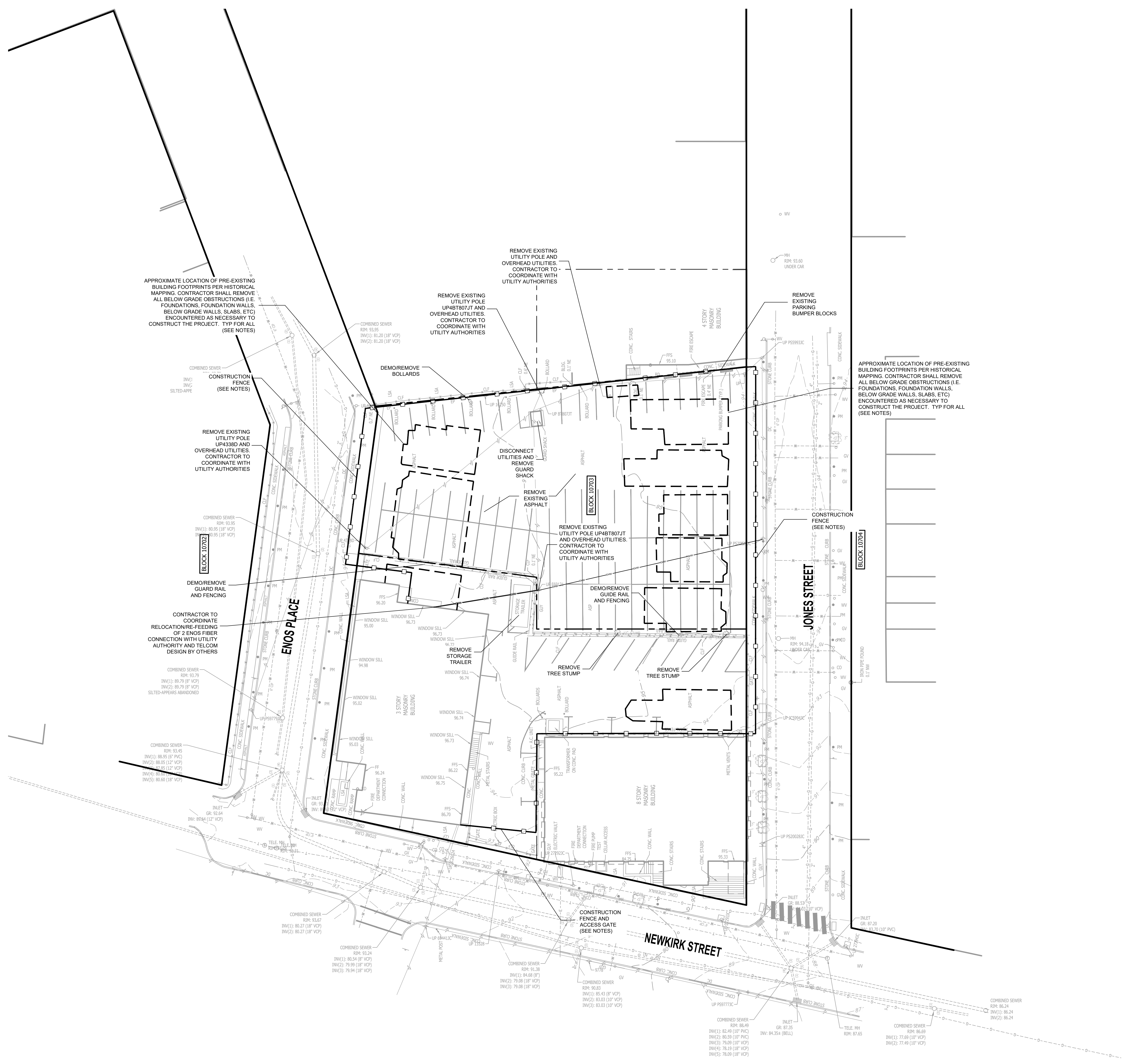
Backfill shall be placed uniformly in layers not to exceed twelve (12) inches loose thickness. Each layer shall be compacted to 95% density. Backfill shall be constructed in accordance with methods specified within the NJDOT standard specification section 203. All depressions, holes, openings, low spots created by site demolition shall be refilled with approved borrow material and solidly compacted in lifts in accordance with NJDOT standard specifications as noted above so as to make the finished ground surface at these locations match/conform with the adjoining grades.

**Demolition Plan Notes**

- Before the demolition work is started, contractor shall obtain all permits required by Federal, State, and local jurisdictions for all phases and operations of the Work.
- Burning debris is prohibited.
- The use of explosives is prohibited.
- Protect utilities during the Work of this Section.
- Contractor shall verify the location and status of all utilities within and surrounding the demolition limits.
- Disconnection of all utility services, including sewer, water, gas, and electric lines, and plugging and capping of services shall be in accordance with the requirements of all Municipal and Public Services Corporations.
- Remove and dispose of concrete and bituminous pavement and sidewalk, trees, shrubs, hedges, brush, stumps, roots, dirt, stone, debris, surplus materials and rubbish, as shown or otherwise directed.
- Remove curbs, slabs on grade, and fences as shown or directed otherwise.
- Repair any and all damages or injury to the adjoining properties caused by the work and leave the properties in as good condition as before work was started. The Contractor shall release the Owner of all responsibility for any claims due to such injury and shall defend any action brought by reason thereof.
- If so directed, the Contractor shall thoroughly wet the work to prevent dust.
- Protect trees not designated for removal as shown on the Plans.
- Remove demolition debris and excess fill from the project site as soon as practicable.
- Transport demolition debris and excess fill to designated disposal area as soon as practicable. Grade disposal areas to adjacent contours and slope to drain.
- Do not store, sell, or burn materials on Borough property.
- The removal and disposal of materials and debris accumulated by clearing site is regulated under the Solid Waste Management Act (NJSA 13:1 E-1) and is governed by N.J.A.C. 7:26-1. The Contractor shall dispose of the material and debris according to the solid waste management plan developed by the solid waste management district of origin. Proper documentation from the disposal facility shall be submitted to the Engineer.
- All demolition work shall be in accordance with local, county, state and federal regulations.
- The contractor is specifically cautioned that the location and or records of the various utilities shown on these plans is based on records of the various utility companies and where possible field measurements. The information is not to be relied on as being complete or exact. A ground penetrating radar survey has not been conducted for the project. The contractor must contact all the appropriate utility companies at least 48 hours before any work or excavation to request a field mark out of existing utilities. The contractor must call 1-800-242-1000 before commencement of work. It shall be the contractor's responsibility to locate all on site utilities prior to start of demolition work.
- Contractor shall prepare and submit for approval by the owners engineer a plan detailing the locations of the temporary fencing, gates, barricades and other items required to secure the demolition work area and to protect the public. Location of temporary construction fencing and gates shown on plan is approximate and is subject to approval of owner prior to construction. Contractor shall include in his price bid all costs to secure project site with fencing, barricades, and gates.

**GENERAL NOTES:**

- EXISTING TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION WAS OBTAINED FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, HUDSON COUNTY COMMUNITY COLLEGE, LOTS 2, 3, 4, 11, 12, 13, 14 & 15, BLOCK 10703, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" PREPARED BY NEGLIA ENGINEERING AND ASSOCIATES, DATED MAY 14, 2018.
- DEMOLITION WORK SHALL INCLUDE ITEMS DENOTED ON THIS PLAN AND ANY ADDITIONAL DEMOLITION WORK NECESSARY FOR PROPOSED SITE WORK AS DEPICTED ON THE SITE PLAN DRAWINGS.
- CONTRACTOR SHALL BE ADVISED THAT THERE MAY BE BURIED/BELOW GRADE BUILDING FOUNDATIONS, BURIED/BELOW GRADE CONCRETE WALLS, BURIED/BELOW GRADE CONCRETE SLABS ASSOCIATED WITH STRUCTURES THAT PREVIOUSLY EXISTING ON THE PROPERTY. THE LOCATION OF THE PRE-EXISTING BUILDING FOUNDATIONS SHOWN ON THIS PLAN ARE APPROXIMATED AS PER HISTORICAL SANBORN MAPPING. CONTRACTOR SHALL REMOVE ALL BELOW GRADE OBSTRUCTIONS AS NECESSARY TO CONSTRUCT THE PROJECT AS PER PLANS AND SPECIFICATIONS.
- ANY UTILITIES ENCOUNTERED ON SITE THAT ARE TO BE DISCONTINUED SHALL BE CUT/CAPPED AT THE PROPERTY LINE IN ACCORDANCE WITH ALL UTILITY AUTHORITY REQUIREMENTS.



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**HUDSON COUNTY COMMUNITY COLLEGE MIXED-USE ACADEMIC BUILDING**

Jersey City, New Jersey



**NEGLIA ENGINEERING ASSOCIATES**  
 MICHAEL J. NEGLIA  
 PROFESSIONAL ENGINEER  
 PROFESSIONAL PLANNER

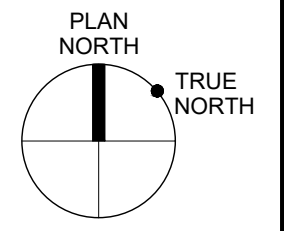
GREGORY J. POLYNYAK, P.E., P.P.  
 PROFESSIONAL ENGINEER  
 PROFESSIONAL PLANNER  
 ANTHONY KURUS, P.E., P.P.  
 PROFESSIONAL ENGINEER  
 PROFESSIONAL PLANNER

KEY PLAN

NO.	ISSUED FOR BID	DATE
1	09/15/22	09/15/22

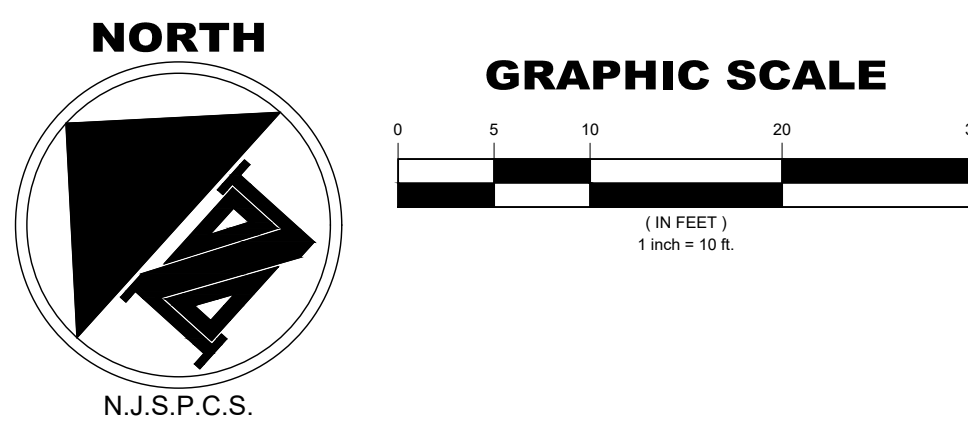
**SITE DEMOLITION PLAN**

DATE: 09/15/2022  
 SCALE: 1" = 20'  
 DRAWN: ak  
 CHECKED: ak  
 DRAWING NUMBER: C2.00



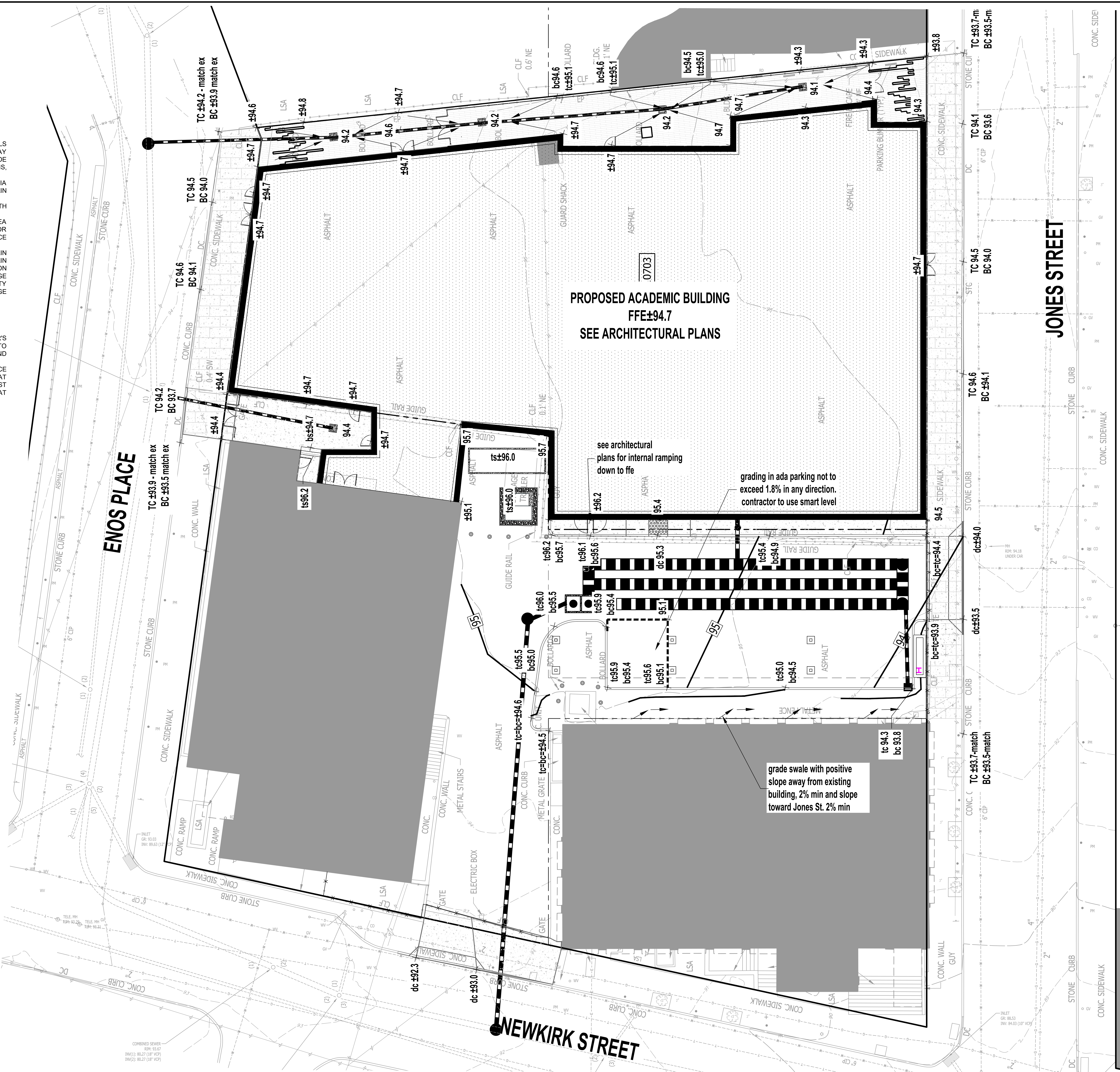
**C2.00**

NEA PROJECT NUMBER: JCTYPRV22.010  
 NK PROJECT NUMBER: 1915.702



- GRADING AND DRAINAGE NOTES:**
1. GRADING ALONG BUILDINGS, FOUNDATIONS, AND STRUCTURE WALLS SHALL BE CONSTRUCTED TO PROVIDE 2% MINIMUM SLOPING AWAY FROM BUILDING, FOUNDATION, AND STRUCTURE WALLS TO PROVIDE POSITIVE DRAINAGE TO PROPOSED SIDEWALK DRAINS, AREA DRAINS, AND STORM DRAIN INLETS.
  2. ALL ROOF DRAIN DOWNSPOUTS SHALL BE CONNECTED VIA UNDERGROUND PIPING TO THE PROPOSED STORM DRAIN CONVEYANCE SYSTEM.
  3. ALL ROOF DRAIN DOWNSPOUTS SHALL BE EQUIPPED WITH DOWNSPOUT OVERFLOW CONNECTIONS.
  4. GRADING WITHIN THE ADA PARKING SPACE AND STRIPED AREA SHALL NOT EXCEED 2% MAXIMUM IN ANY DIRECTION. CONTRACTOR SHALL USE SMART LEVEL TO VERIFY SUBGRADE SLOPE COMPLIANCE PRIOR TO CONCRETE CONSTRUCTION.
  5. PRIOR TO CONSTRUCTION OF ANY PORTION OF STORM DRAIN CONVEYANCE SYSTEM OR PRIOR TO ORDERING ANY STORM DRAIN MATERIALS, THE CONTRACTOR SHALL FIELD VERIFY THE LOCATION AND ELEVATION OF THE DOWNSTREAM STORM DRAINAGE CONNECTION POINT VIA TEST PITS ALONG WITH ALL UTILITY CROSSING AND SHALL CONFIRM THE PROPOSED STORM DRAINAGE CONNECTION WITH THE CITY OF JERSEY CITY.
  6. STORMWATER DETENTION FACILITIES WILL BE MAINTAINED REGULARLY BY THE OWNER TO ENSURE CONTINUAL FUNCTIONING OF THE SYSTEM AT DESIGN CAPACITY AND TO PREVENT DEBRIS BUILD-UP AND STAGNANT WATER.
  7. IF STORMWATER DRAINAGE PROBLEMS OCCUR ON THE OWNER'S PROPERTY AND/OR NEIGHBORING PROPERTIES DUE TO IMPROVEMENTS ON THE OWNER'S PROPERTY, THE OWNER AND APPLICANT WILL REMEDY THE ISSUE.
  8. THE MINIMUM REQUIRED HORIZONTAL AND VERTICAL CLEARANCE DISTANCES FOR WATER AND SEWER PIPES FOR THE CROSSING AT BROADWAY WILL BE PROVIDED DURING CONSTRUCTION VIA TEST PITS TO CONFIRM EXACT DEPTHS OF EXISTING UTILITIES AT PROPOSED CROSSING LOCATIONS.

- GENERAL NOTES:**
1. EXISTING TOPOGRAPHIC AND BOUNDARY SURVEY INFORMATION WAS OBTAINED FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY, HUDSON COUNTY COMMUNITY COLLEGE, LOTS 2, 3, 4, 11, 12, 13, 14 & 15, BLOCK 10703, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY" PREPARED BY NEGLIA ENGINEERING AND ASSOCIATES, DATED MAY 14, 2018.
  2. DEMOLITION WORK SHALL INCLUDE ITEMS DENOTED ON THIS PLAN AND ANY ADDITIONAL DEMOLITION WORK NECESSARY FOR PROPOSED SITE WORK AS DEPICTED ON THE SITE PLAN DRAWINGS.
  3. BUILDING AS PER ARCHITECTURAL PLANS PREPARED BY NK ARCHITECTS.
  4. SEE MEP PLANS AND SPECIFICATIONS BY OTHERS FOR PROPOSED GENERATOR AND PROPOSED TRANSFORMER. DIMENSIONS OF GENERATOR/TRANSFORMER SHALL BE AS PER MEP DESIGN AND SPECIFICATIONS BY OTHERS, TO MEET ALL CLEARANCE REQUIREMENTS. CONTRACTOR SHALL CONFIRM ALL DIMENSIONS WITH MEP DESIGN PRIOR TO CONSTRUCTION.



**PROPOSED ACADEMIC BUILDING**  
FFE±94.7  
SEE ARCHITECTURAL PLANS

see architectural plans for internal ramping down to ffe

grading in ada parking not to exceed 1.8% in any direction. contractor to use smart level

grade swale with positive slope away from existing building, 2% min and slope toward Jones St. 2% min

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**HUDSON COUNTY COMMUNITY COLLEGE MIXED-USE ACADEMIC BUILDING**

Jersey City, New Jersey



GREGORY J. POLYNIAK, P.E., P.P.  
PROFESSIONAL ENGINEER PROFESSIONAL PLANNER

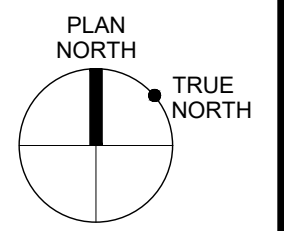
ANTHONY KURUS, P.E., P.P.  
PROFESSIONAL ENGINEER PROFESSIONAL PLANNER

KEY PLAN

NO.	ISSUED FOR BID	09/15/22
1	DESCRIPTION	DATE

**GRADING ELEVATIONS PLAN**

DATE  
09/15/2022  
SCALE  
1" = 10'  
DRAWN  
ak  
CHECKED  
ak  
DRAWING NUMBER



**C4.01**



**LEGEND**

- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
- NEW STUD CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- NEW MASONRY CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- EXISTING WALL TO REMAIN
- RECESSED FIRE EXTINGUISHER CABINET
- CONTROL JOINT

**NOTES**

1. SCOPE OF CONSTRUCTION WORK IS NOT LIMITED TO WORK SHOWN ON CONSTRUCTION DRAWINGS.
2. REFER TO DRAWING A0.20 FOR BARRIER FREE DETAILS.
3. ALL PARTITIONS TO BE TYPE 'A05' UNLESS OTHERWISE NOTED ON PLAN.
4. REFER TO DRAWING SERIES A0.30 FOR PARTITION TYPES.
5. REFER TO DRAWING SERIES A1.10 FOR TOILET ACCESSORY LEGEND.
6. REFER TO DRAWING SERIES A7.00 FOR DOOR TYPES, DETAILS & SCHEDULE.
7. REFER TO DRAWING SERIES A7.10 FOR WINDOW TYPES AND DETAILS.
8. REFER TO DRAWING SERIES A10.00 AND/OR SPECIFICATIONS FOR FINISH SCHEDULE.
9. REFER TO DRAWING SERIES A11.00 FOR EQUIPMENT LEGEND.
10. BOX OUT ALL EXPOSED PIPING, VALVES, AND FITTINGS FROM FLOOR LINE TO A MINIMUM OF 4" ABOVE CEILING LINE WITH 5/8" GYPSUM BOARD ON 1/2" METAL STUDS. PROVIDE METAL ACCESS DOOR FOR ALL VALVES, CLEANOUTS, ETC.
11. PROVIDE MASONRY CONTROL JOINTS AT 30'-0" O.C. MAXIMUM AT ALL MASONRY WALLS. REFER TO PLANS AND ELEVATIONS FOR JOINT LOCATIONS. IF MASONRY WALL IS PART OF THE STRUCTURAL SHEAR DESIGN, THEN REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS & ADDITIONAL DETAILING INFORMATION.
12. PROVIDE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM FOR ALL GYPSUM BOARD PARTITIONS. REFER TO PLANS AND ELEVATIONS FOR JOINT LOCATIONS IF GYPSUM BOARD WALL IS PART OF THE STRUCTURAL SHEAR DESIGN. THEN REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS & ADDITIONAL DETAILING INFORMATION.
13. MAINTAIN INTEGRITY OF ALL EXISTING FIREPROOFING ON ALL STRUCTURAL BEAMS, COLUMNS AND PENETRATIONS. REPAIR AS REQUIRED ON ALL STRUCTURAL STEEL, INCLUDING BUT NOT LIMITED TO BEAMS, COLUMNS AND METAL DECKING. MAINTAIN ALL EXISTING FIRESTOPPING. REPAIR WHEN DAMAGED IN COURSE OF WORK.

**KEYNOTES - 1**

#	DESCRIPTION
1	ADA OPERATOR IN PEDAAL
2	(2) FACE LAYERS AT THE OUTER SIDE OF THE ELEVATOR SHAFT AND STAIRCASE TO BE IMPACT-RESISTANT GYPSUM WALL BOARD W/ MIN. HARD BODY CLASSIFICATION LEVEL 2
3	FACE LAYER AT THE INTERIOR SIDE OF THE ROOM TO BE IMPACT-RESISTANT GYPSUM WALL BOARD W/ MIN. HARD BODY CLASSIFICATION LEVEL 2
4	MOTORIZED TELESCOPING SEATING PLATFORM SYSTEM AS SPECIFIED
5	PARTITIONS UP TO STRUCTURE OF CATWALK/FLOOR ABOVE
6	SUSPENDED 1-1/2" SCHED. 40 STL. PIPE GRID (TYP.) REFER TO ENLARGED THEATER SECTION AND DETAILS
7	WALK ALONG DRAPERY TRACK AND CURTAINS. REFER TO ENLARGED THEATER SECTION AND DETAILS
8	GRILLED SECURITY SHUTTER DOOR CEILING MOUNTED AS SPECIFIED
9	3RD LEVEL MEZZANINE MECHANICAL FLOOR AT 44'-7" AFF. REFER TO ENLARGED FLOOR PLANS
10	MOTORIZED TELESCOPIC SEATING RISER SYSTEM AS SPECIFIED
11	INDOOR LED SCOREBOARD AS SPECIFIED
12	SCORES TABLE
13	RECESSED VOLLEYBALL COURT SLEEVES
14	MOTORIZED SIDE-FOLD BASKETBALL BACKSTOP
15	PROTECTIVE WALL PADS AS SPECIFIED
16	3 1/2" MINERAL WOOL INSULATION LAYER PINKED BEHIND SHADOW BOX METAL BACK PAN FROM FLOOR TO UNDERSIDE OF DECK.
17	INTERIOR PARTITION TO BE CENTERED IN COL. GRID AS NOTED.
18	FILL IN FLOOR AROUND DUCT & PIPE PENETRATIONS W/ RATED HORIZ. ASSEMBLY (SEE DETAIL 940.31)
19	INSTALL DUCT LINER ALL AROUND RETURN AIR PLENUM. REFER TO MEP DWGS FOR ADDITIONAL INFORMATION
20	APPROX. CENTER OF MULTIPLE SPORT COURT LAYOUTS.
21	ACCESS LADDER AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS.
22	ACCESS LADDER WITH LOCKABLE DOOR AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS.

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KEY PLAN

NO.	ISSUE FOR BID DESCRIPTION	DATE
1	ISSUE FOR BID	09/15/22

**1ST LEVEL FLOOR PLAN**

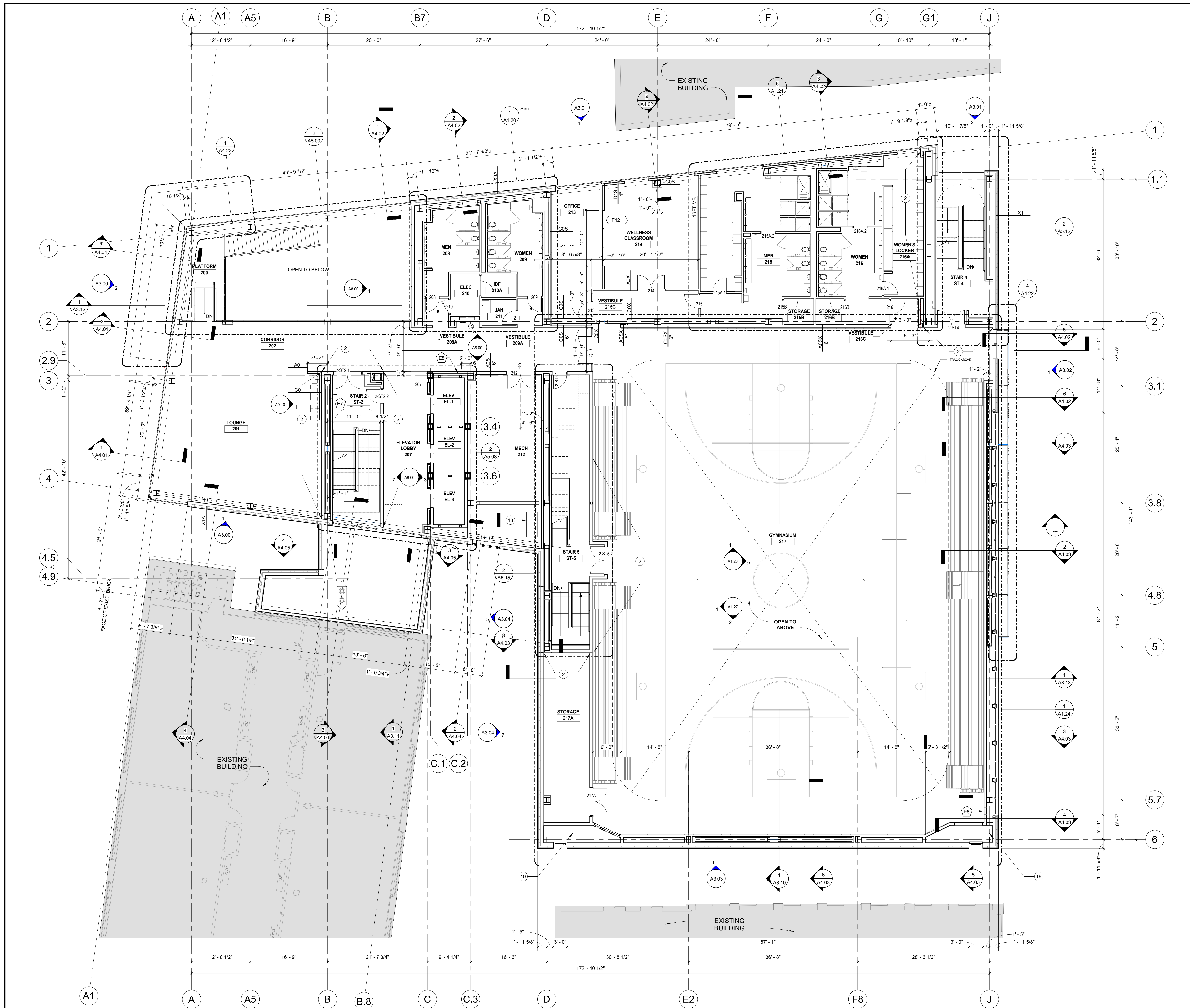
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DRAWING NUMBER

**A1.01**

NK PROJECT NUMBER: 1916.702

**1 FIRST LEVEL FLOOR PLAN**  
 1/8" = 1'-0"



**LEGEND**

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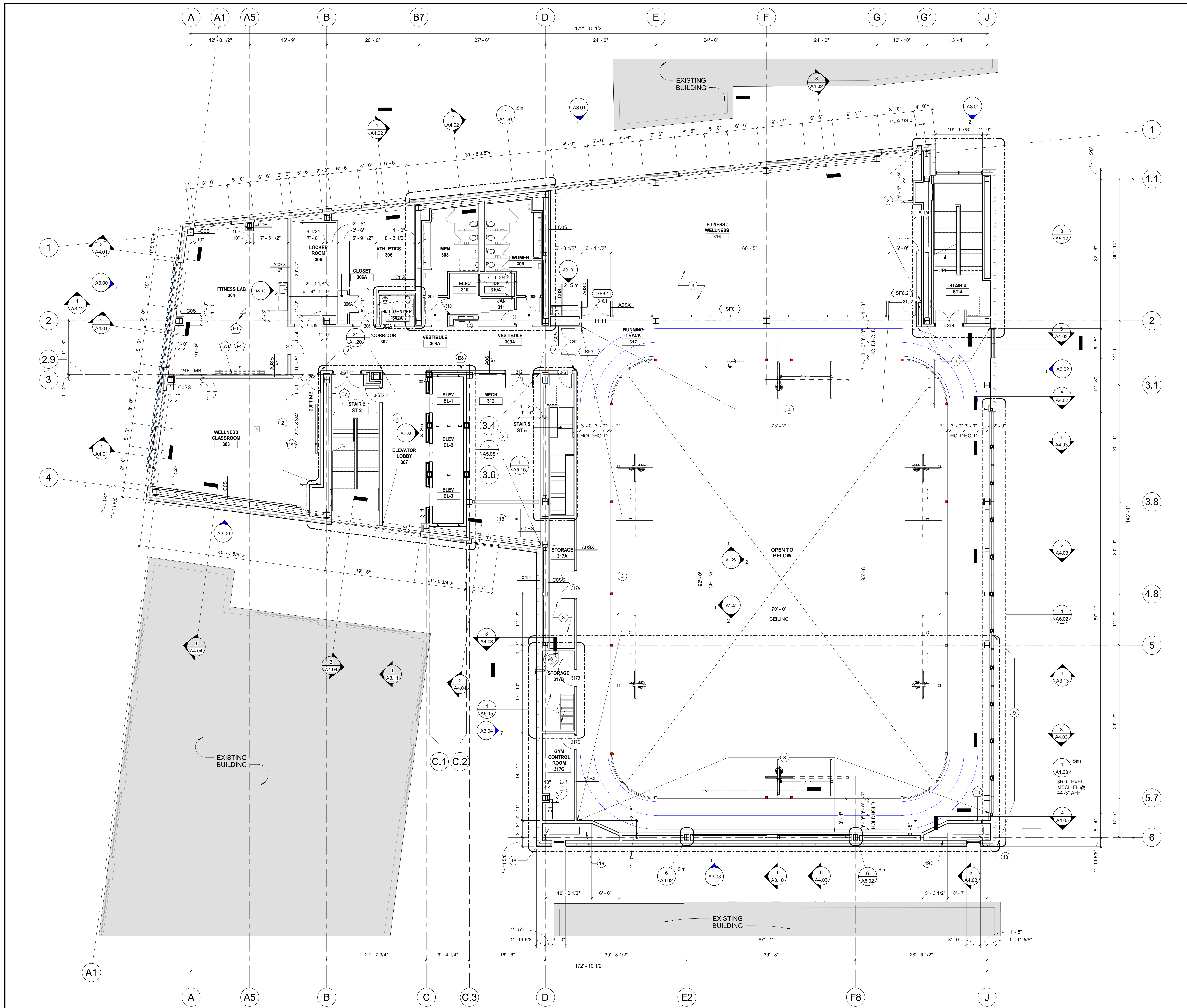
KEY PLAN

NO.	ISSUE FOR BID DESCRIPTION	DATE
1	ISSUE FOR BID DESCRIPTION	09/15/22

**2ND LEVEL FLOOR PLAN**

DATE: 09/15/2022  
 SCALE: 1/8" = 1'-0"  
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 Author: [Signature]  
 Checked: [Signature]  
 Drawing Number:

**1 SECOND LEVEL FLOOR PLAN**  
 1/8" = 1'-0"



1 THIRD LEVEL FLOOR PLAN  
1/8" = 1'-0"

**LEGEND**

WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)

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NEW MASONRY CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.

EXISTING WALL TO REMAIN

FEC RECESSED FIRE EXTINGUISHER CABINET

CJ CONTROL JOINT

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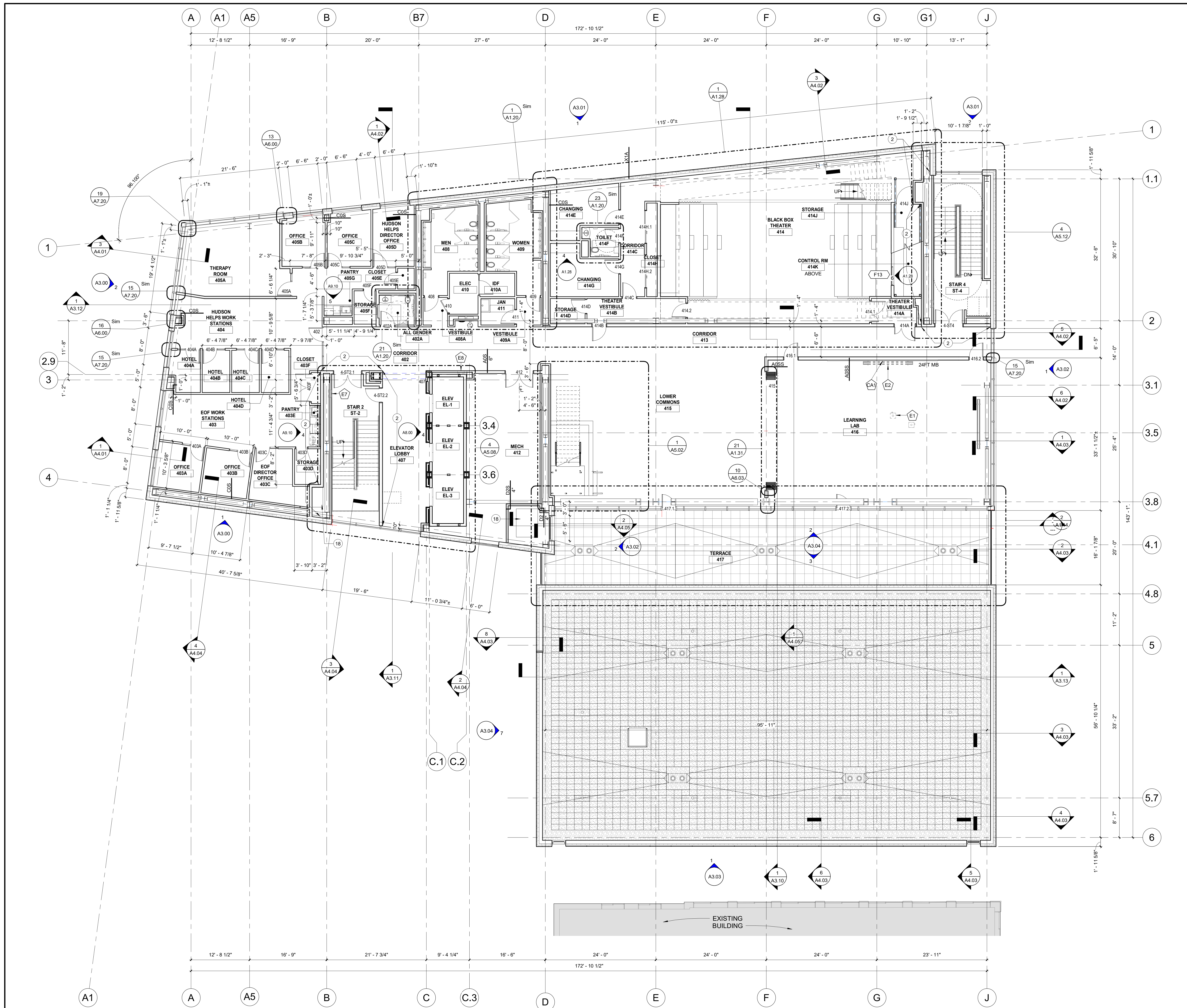
KEY PLAN

NO.	ISSUE FOR BID DESCRIPTION	DATE
1		09/15/22

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Author: [Signature]  
Checked: [Signature]  
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**A1.03**

NK PROJECT NUMBER: 1916.702



**LEGEND**

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KEY PLAN

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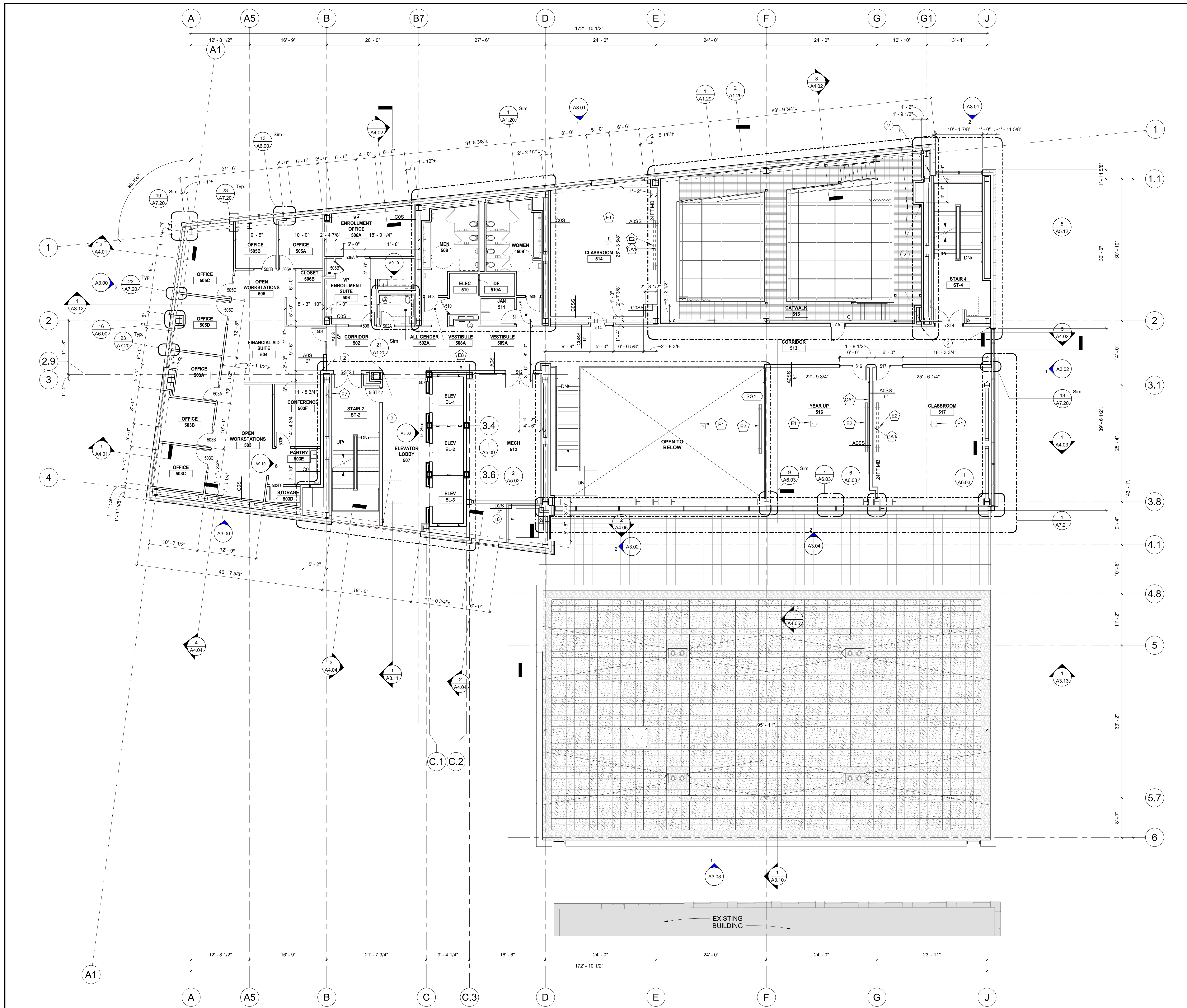
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 Author: [Signature]  
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 Drawing Number: A1.04

**A1.04**

NK PROJECT NUMBER: 1916.702

**1 FOURTH LEVEL FLOOR PLAN**  
 1/8" = 1'-0"





**LEGEND**

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11. PROVIDE MASONRY CONTROL JOINTS AT 30'-0" O.C. MAXIMUM AT ALL MASONRY WALLS. REFER TO PLANS AND ELEVATIONS FOR JOINT LOCATIONS. IF MASONRY WALL IS PART OF THE STRUCTURAL SHEAR DESIGN, THEN REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS & ADDITIONAL DETAILING INFORMATION.
12. PROVIDE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM FOR ALL GYPSUM BOARD PARTITIONS. REFER TO PLANS AND ELEVATIONS FOR JOINT LOCATIONS IF GYPSUM BOARD WALL IS PART OF THE STRUCTURAL SHEAR DESIGN. THEN REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS & ADDITIONAL DETAILING INFORMATION.
13. MAINTAIN INTEGRITY OF ALL EXISTING FIREPROOFING ON ALL STRUCTURAL BEAMS, COLUMNS AND PENETRATIONS. REPAIR AS REQUIRED ON ALL STRUCTURAL STEEL, INCLUDING BUT NOT LIMITED TO BEAMS, COLUMNS AND METAL DECKING. MAINTAIN ALL EXISTING FIRESTOPPING. REPAIR WHEN DAMAGED IN COURSE OF WORK.

**KEYNOTES - 1**

#	DESCRIPTION
1	ADA OPERATOR IN PEDESTAL
2	(2) FACE LAYERS AT THE OUTER SIDE OF THE ELEVATOR SHAFT AND STAIRCASE TO BE IMPACT-RESISTANT GYPSUM WALL BOARD W/ MIN. HARD BODY CLASSIFICATION LEVEL 2
3	FACE LAYER AT THE INTERIOR SIDE OF THE ROOM TO BE IMPACT-RESISTANT GYPSUM WALL BOARD W/ MIN. HARD BODY CLASSIFICATION LEVEL 2
4	MOTORIZED TELESCOPING SEATING PLATFORM SYSTEM AS SPECIFIED
5	PARTITIONS UP TO STRUCTURE OF CATWALK/ FLOOR ABOVE
6	SUSPENDED 1-1/2" SCHED. 40 STL. PIPE GRID (TYP.) REFER TO ENLARGED THEATER SECTION AND DETAILS
7	WALK ALONG DRAPERY TRACK AND CURTAINS REFER TO ENLARGED THEATER SECTION AND DETAILS
8	GRILLED SECURITY SHUTTER DOOR CEILING MOUNTED AS SPECIFIED
9	3RD LEVEL MEZZANINE MECHANICAL FLOOR AT 44'-7" AFF. REFER TO ENLARGED FLOOR PLANS
10	MOTORIZED TELESCOPIC SEATING RISER SYSTEM AS SPECIFIED
11	INDOOR LED SCOREBOARD AS SPECIFIED
12	SCORES TABLE
13	RECESSED VOLLEYBALL COURT SLEEVES
14	MOTORIZED SIDE-FOLD BASKETBALL BACKSTOP
15	PROTECTIVE WALL PADS AS SPECIFIED
16	3 1/2" MINERAL WOOL INSULATION LAYER PINNED BEHIND SHADOW BOX METAL BACK PAN FROM FLOOR TO UNDERSIDE OF DECK.
17	INTERIOR PARTITION TO BE CENTERED IN COL. GRID AS NOTED.
18	FILL IN FLOOR AROUND DUCT & PIPE PENETRATIONS W/ RATED HORIZ. ASSEMBLY (SEE DETAIL 940.31)
19	INSTALL DUCT LINER ALL AROUND RETURN AIR PLENUM. REFER TO MEP DWGS FOR ADDITIONAL INFORMATION
20	APPROX CENTER OF MULTIPLE SPORT COURT LAYOUTS.
21	ACCESS LADDER AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS.
22	ACCESS LADDER WITH LOCKABLE DOOR AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS.

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**MIXED-USE ACADEMIC BUILDING**  
 Jersey City, NJ

**MAST**  
 CONSTRUCTION SERVICES, INC.

KEY PLAN

NO.	ISSUE FOR BID DESCRIPTION	DATE
1		09/15/22

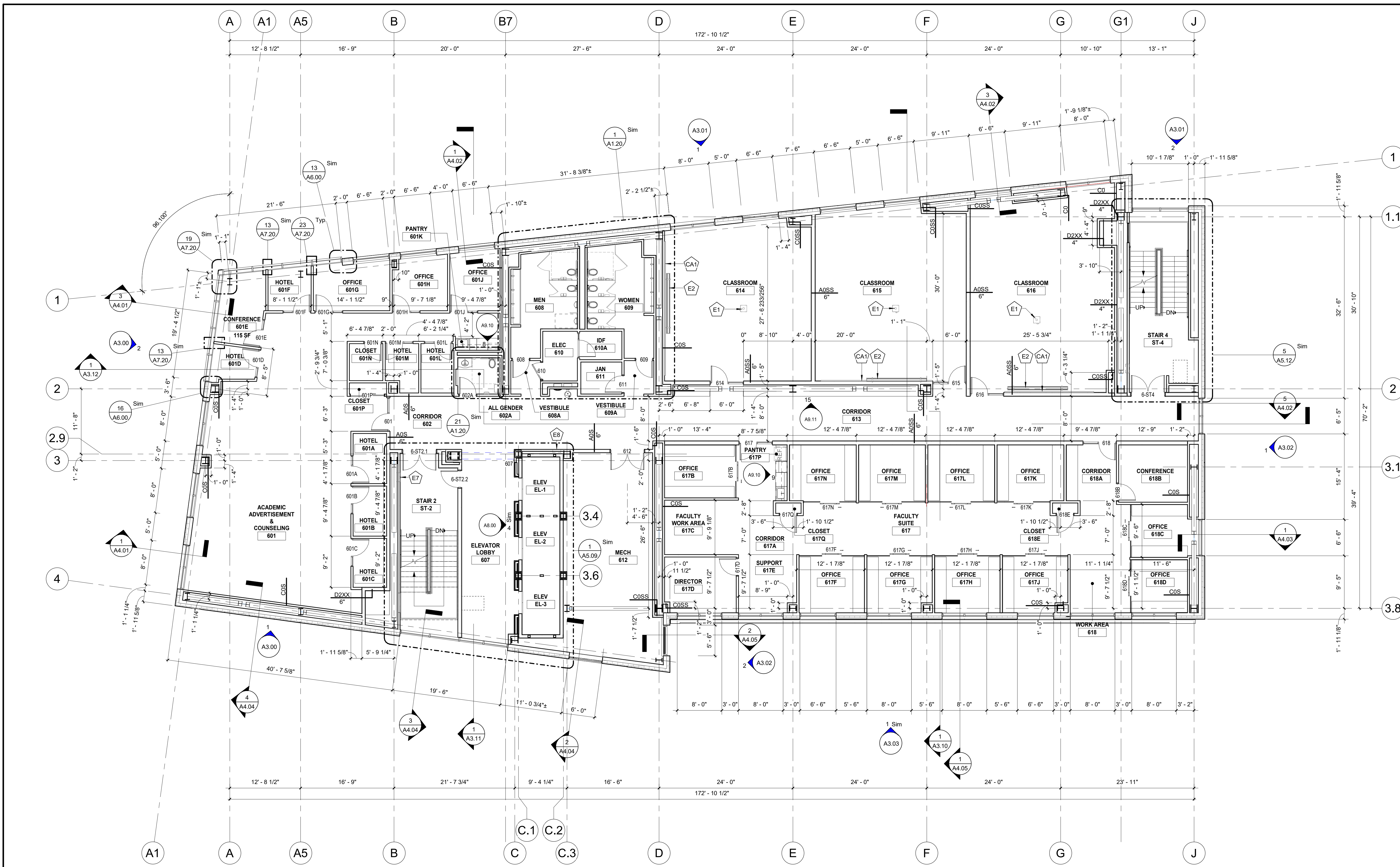
**5TH LEVEL FLOOR PLAN**

DATE: 09/15/2022  
 SCALE: 1/8" = 1'-0"  
 DRAWN: [Signature]  
 Author: [Signature]  
 Checked: [Signature]  
 Drawing Number:

**A1.05**

NK PROJECT NUMBER: 1916.702

**1 FIFTH LEVEL FLOOR PLAN**  
 1/8" = 1'-0"



1 6TH LEVEL FLOOR PLAN  
1/8" = 1'-0"

LEGEND

- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
- NEW STUD CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- NEW MASONRY CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- EXISTING WALL TO REMAIN
- RECESSED FIRE EXTINGUISHER CABINET
- CONTROL JOINT

NOTES

1. SCOPE OF CONSTRUCTION WORK IS NOT LIMITED TO WORK SHOWN ON CONSTRUCTION DRAWINGS.
2. REFER TO DRAWING A0.20 FOR BARRIER FREE DETAILS.
3. ALL PARTITIONS TO BE TYPE 'A05' UNLESS OTHERWISE NOTED ON PLAN.
4. REFER TO DRAWING SERIES A0.30 FOR PARTITION TYPES.
5. REFER TO DRAWING SERIES A1.00 FOR TOILET ACCESSORY LEGEND.
6. REFER TO DRAWING SERIES A7.00 FOR DOOR TYPES, DETAILS & SCHEDULE.
7. REFER TO DRAWING SERIES A7.10 FOR WINDOW TYPES AND DETAILS.
8. REFER TO DRAWING SERIES A10.00 AND/OR SPECIFICATIONS FOR FINISH SCHEDULE.
9. REFER TO DRAWING SERIES A11.00 FOR EQUIPMENT LEGEND.
10. BOX OUT ALL EXPOSED PIPING, VALVES, AND FITTINGS FROM FLOOR LINE TO A MINIMUM OF 4" ABOVE CEILING LINE WITH 5/8" GYPSUM BOARD ON 1/2" METAL STUDS. PROVIDE METAL ACCESS DOOR FOR ALL VALVES, CLEANOUTS, ETC.
11. PROVIDE MASONRY CONTROL JOINTS AT 30'-0" O.C. MAXIMUM, AT ALL MASONRY WALLS. REFER TO PLANS AND ELEVATIONS FOR JOINT LOCATIONS. IF MASONRY WALL IS PART OF THE STRUCTURAL SHEAR DESIGN, THEN REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS & ADDITIONAL DETAILING INFORMATION.
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KEY NOTES - 1

#	DESCRIPTION
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5	PARTITIONS UP TO STRUCTURE OF CATWALK/ FLOOR ABOVE
6	SUSPENDED 1'-12" SCHED. 40 STL. PIPE GRID (TYP.) REFER TO ENLARGED THEATER SECTION AND DETAILS
7	WALK ALONG DRAPERY TRACK AND CURTAINS. REFER TO ENLARGED THEATER SECTION AND DETAILS
8	GRILLED SECURITY SHUTTER DOOR CEILING MOUNTED AS SPECIFIED
9	3RD LEVEL MEZZANINE MECHANICAL FLOOR AT 44'-3" AFF. REFER TO ENLARGED FLOOR PLANS
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12	SCORES TABLE
13	RECESSED VOLLEYBALL COURT SLEEVES
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KEY PLAN

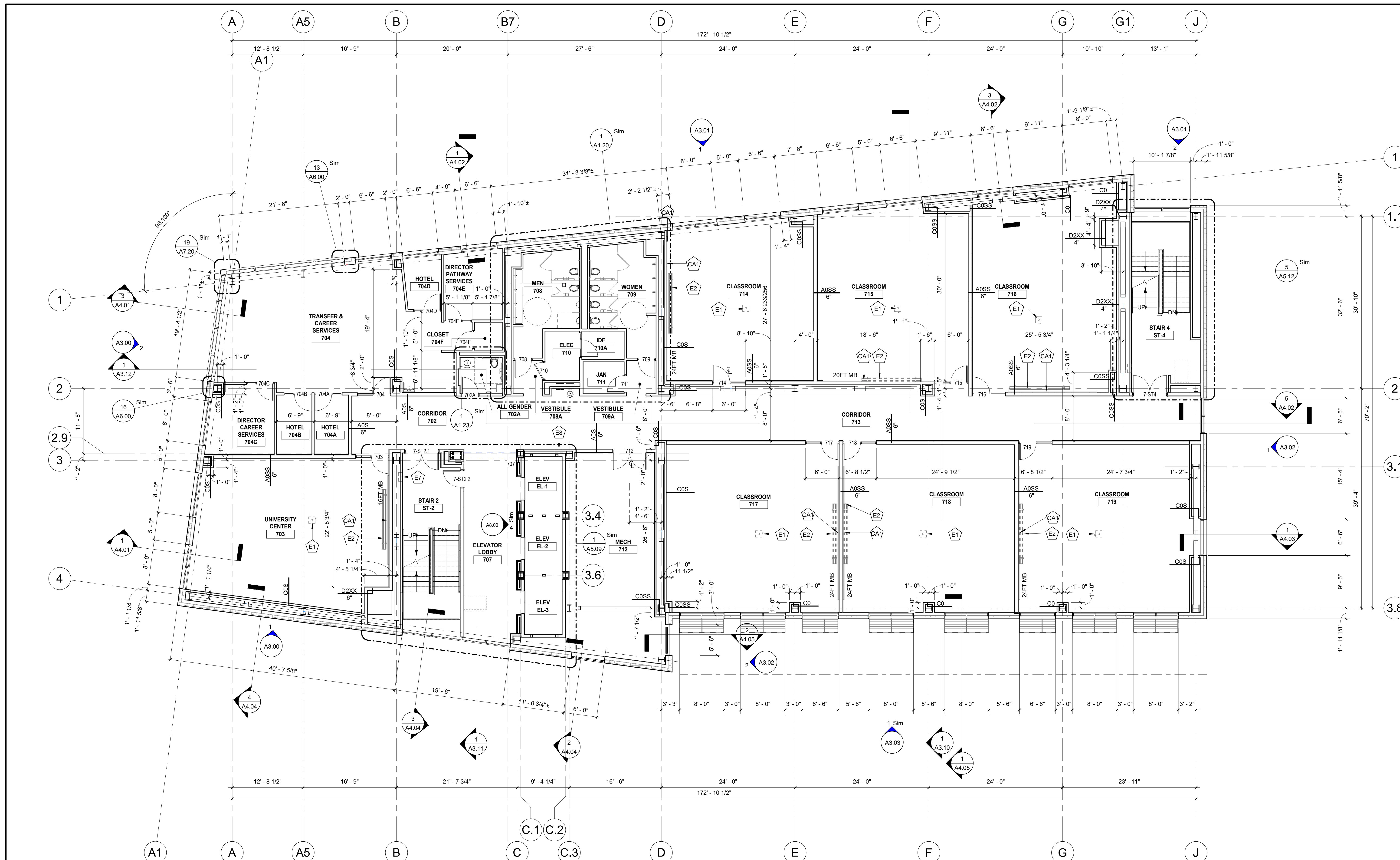
1 ISSUE FOR BID 09/15/22  
NO. DESCRIPTION DATE

6TH LEVEL FLOOR PLAN

DATE 09/15/2022  
SCALE 1/8" = 1'-0"  
DRAWN  
Author  
Checked  
Checker  
DRAWING NUMBER

A1.06

NK PROJECT NUMBER: 1916.102



**1 7TH LEVEL FLOOR PLAN**  
1/8" = 1'-0"

**LEGEND**

- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
- NEW STUD CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- NEW MASONRY CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- EXISTING WALL TO REMAIN
- RECESSED FIRE EXTINGUISHER CABINET
- CONTROL JOINT

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Jersey City, NJ

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KEY PLAN

ISSUE FOR BID 09/15/22  
NO. DESCRIPTION DATE  
**7TH LEVEL FLOOR PLAN**

DATE 09/15/2022  
SCALE 1/8" = 1'-0"  
DRAWN  
Author  
Checked  
Drawing Number

**A1.07**

NK PROJECT NUMBER: 1916.702



**1 8TH LEVEL FLOOR PLAN**  
1/8" = 1'-0"

**LEGEND**

- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
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- NEW MASONRY CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- EXISTING WALL TO REMAIN
- RECESSED FIRE EXTINGUISHER CABINET
- CONTROL JOINT

**NOTES**

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5. REFER TO DRAWING SERIES A11.00 FOR TILE ACCESSORY LEGEND.
6. REFER TO DRAWING SERIES A7.10 FOR DOOR TYPES, DETAILS & SCHEDULE.
7. REFER TO DRAWING SERIES A7.10 FOR WINDOW TYPES AND DETAILS.
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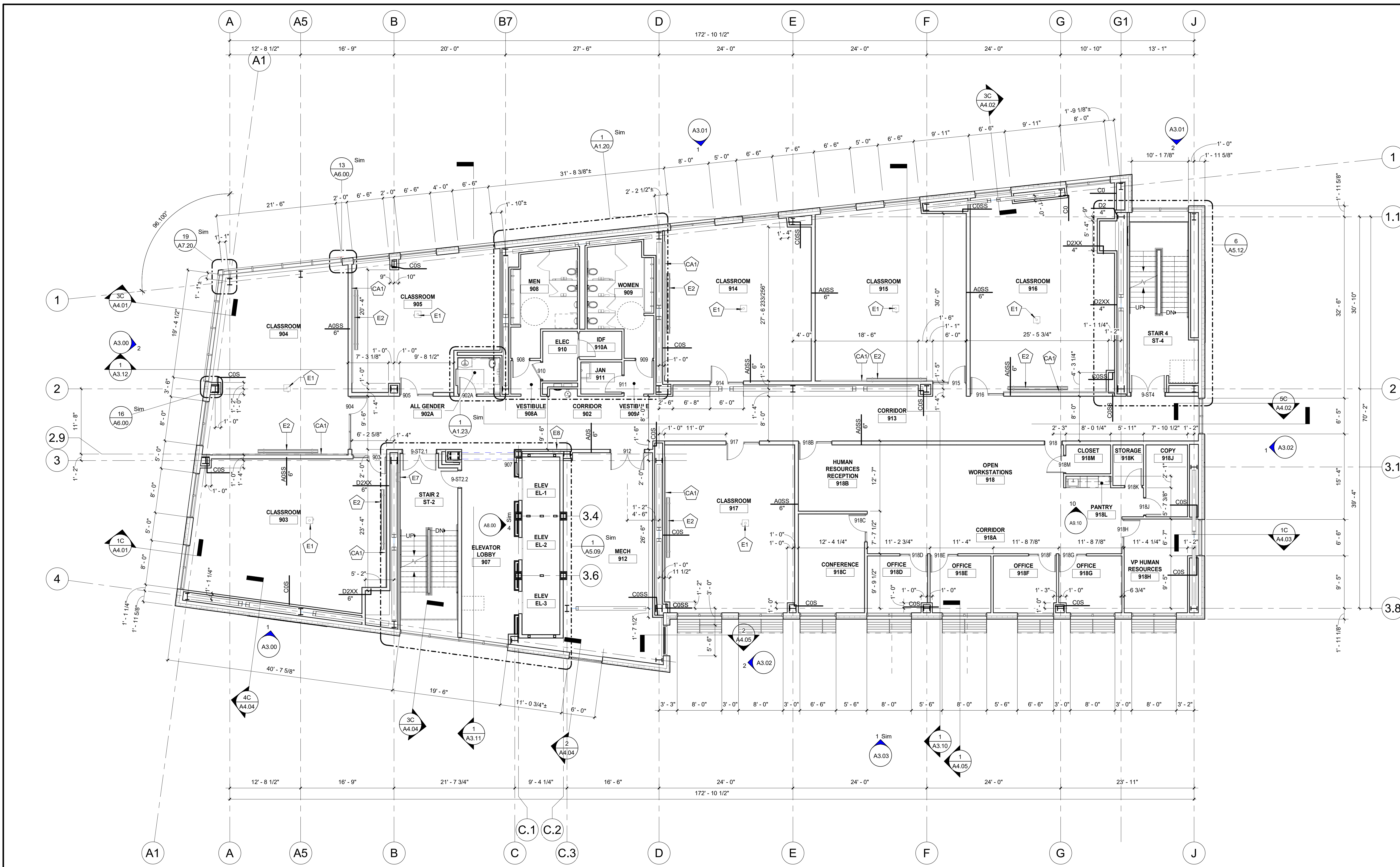
**MAST**  
CONSTRUCTION SERVICES, INC.

KEY PLAN

ISSUE FOR BID 09/15/22  
NO. DESCRIPTION DATE  
**8TH LEVEL FLOOR PLAN**

DATE 09/15/2022  
SCALE 1/8" = 1'-0"  
DRAWN  
Author  
Checked  
DRAWING NUMBER

**A1.08**  
NK PROJECT NUMBER: 1916.702



1 9TH LEVEL FLOOR PLAN  
1/8" = 1'-0"

- ### LEGEND
- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
  - NEW STUD CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
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  - EXISTING WALL TO REMAIN
  - RECESSED FIRE EXTINGUISHER CABINET
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- ### NOTES
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  12. PROVIDE CONTROL JOINTS AT 30'-0" O.C. MAXIMUM FOR ALL GYPSUM BOARD PARTITIONS. REFER TO PLANS AND ELEVATIONS FOR JOINT LOCATIONS. IF GYPSUM BOARD WALL IS PART OF THE STRUCTURAL SHEAR DESIGN, THEN REFER TO STRUCTURAL DRAWINGS FOR LOCATIONS & ADDITIONAL DETAILING INFORMATION.
  13. MAINTAIN INTEGRITY OF ALL EXISTING FIREPROOFING ON ALL STRUCTURAL BEAMS, COLUMNS AND PENETRATIONS. REPAIR AS REQUIRED ON ALL STRUCTURAL STEEL INCLUDING BUT NOT LIMITED TO BEAMS, COLUMNS AND METAL DECKING. MAINTAIN ALL EXISTING FIRESTOPPING. REPAIR WHEN DAMAGED IN COURSE OF WORK.

### KEY NOTES - 1

#	DESCRIPTION
1	ADA OPERATOR IN PEDESTAL
2	(2) FACE LAYERS AT THE OUTER SIDE OF THE ELEVATOR SHAFT AND STAIRCASE TO BE IMPACT-RESISTANT GYPSUM WALL BOARD W/ MIN. HARD BODY CLASSIFICATION LEVEL 2
3	FACE LAYER AT THE INTERIOR SIDE OF THE ROOM TO BE IMPACT-RESISTANT GYPSUM WALL BOARD W/ MIN. HARD BODY CLASSIFICATION LEVEL 2
4	MOTORIZED TELESCOPING SEATING PLATFORM SYSTEM AS SPECIFIED
5	PARTITIONS UP TO STRUCTURE OF CATWALK/ FLOOR ABOVE
6	SUSPENDED 1-1/2" SCHED. 40 STL. PIPE GRID (TYP.) REFER TO ENLARGED THEATER SECTION AND DETAILS
7	WALK ALONG DRAPERY TRACK AND CURTAINS. REFER TO ENLARGED THEATER SECTION AND DETAILS
8	GRILLED SECURITY SHUTTER DOOR CEILING MOUNTED AS SPECIFIED
9	3RD LEVEL MEZZANINE MECHANICAL FLOOR AT 44'-2" AFF. REFER TO ENLARGED FLOOR PLANS
10	MOTORIZED TELESCOPIC SEATING RISER SYSTEM AS SPECIFIED
11	INDOOR LED SCOREBOARD AS SPECIFIED
12	SCORES TABLE
13	RECESSED VOLLEYBALL COURT SLEEVES
14	MOTORIZED SIDE-FOLD BASKETBALL BACKSTOP
15	PROTECTIVE WALL PADS AS SPECIFIED
16	3 1/2" MINERAL WOOL INSULATION LAYER PINNED BEHIND SHADOW BOX METAL BACK PAN FROM FLOOR TO UNDERSIDE OF DECK.
17	INTERIOR PARTITION TO BE CENTERED IN COL. GRID AS NOTED.
18	FILL IN FLOOR AROUND DUCT & PIPE PENETRATIONS W/ RATED HORIZ. ASSEMBLY (SEE DETAIL 910.31)
19	INSTALL DUCT LINER ALL AROUND RETURN AIR PLENUM. REFER TO MEP DWGS FOR ADDITIONAL INFORMATION
20	APPROX CENTER OF MULTIPLE SPORT COURT LAYOUTS.
21	ACCESS LADDER AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS
22	ACCESS LADDER WITH LOCKABLE DOOR AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS

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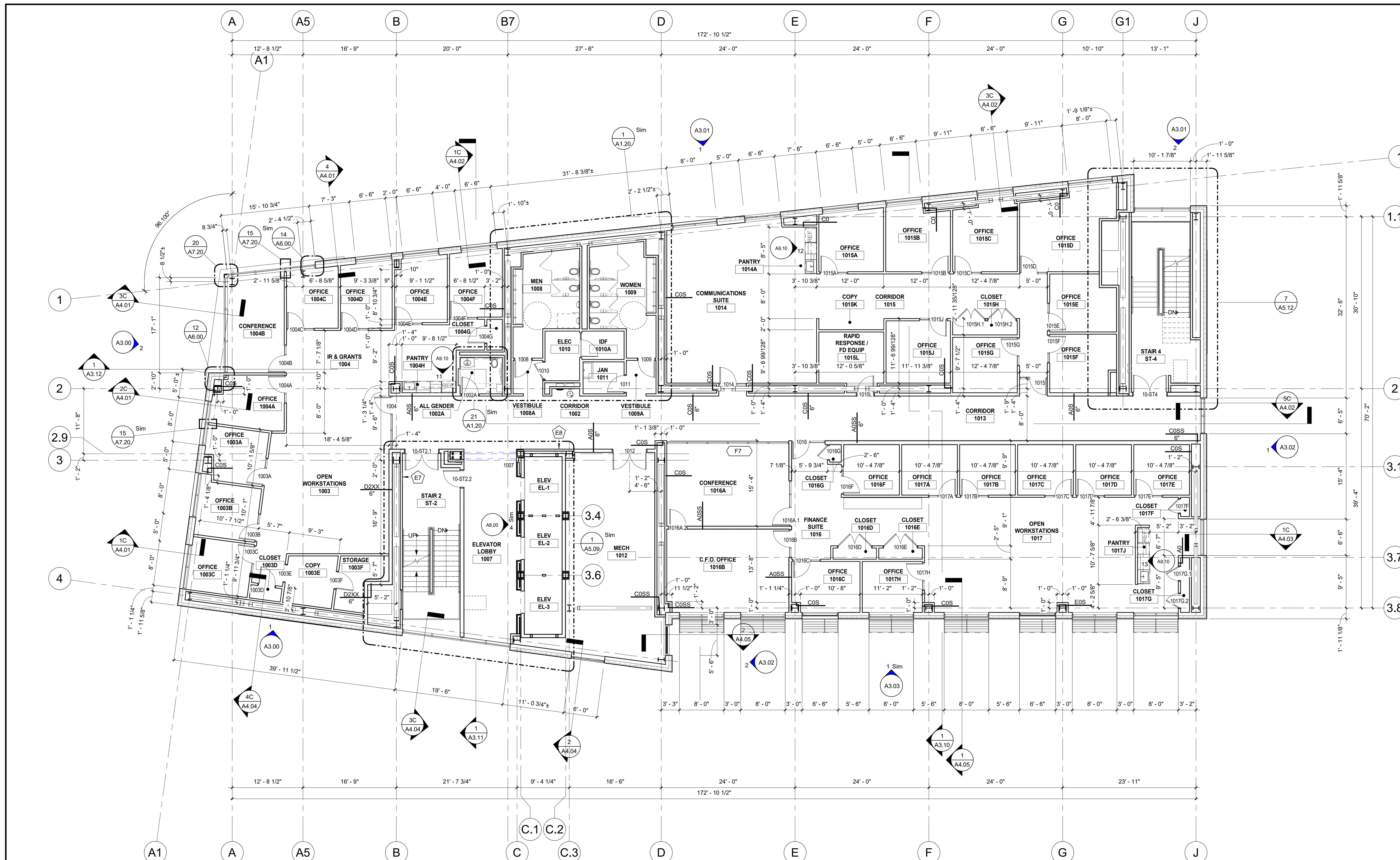
### KEY PLAN

NO.	DESCRIPTION	DATE
1	ISSUE FOR BID	09/15/22
NO.	DESCRIPTION	DATE

## 9TH LEVEL FLOOR PLAN

DATE: 09/15/2022  
SCALE: 1/8" = 1'-0"  
DRAWN: [Signature]  
Author: [Signature]  
Checked: [Signature]  
Checker: [Signature]  
DRAWING NUMBER:

# A1.09



**1 10TH LEVEL FLOOR PLAN**  
1/8" = 1'-0"

**LEGEND**

- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
- NEW STUD CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- NEW MASONRY CONSTRUCTION. REFER TO DRAWING A0.30 FOR PARTITION TYPE.
- EXISTING WALL TO REMAIN
- RECESSED FIRE EXTINGUISHER CABINET
- CONTROL JOINT

**NOTES**

1. SCOPE OF CONSTRUCTION WORK IS NOT LIMITED TO WORK SHOWN ON CONSTRUCTION DRAWINGS.
2. REFER TO DRAWING A0.20 FOR BARRIER FREE DETAILS.
3. ALL PARTITIONS TO BE TYPE A05 UNLESS OTHERWISE NOTED ON PLAN.
4. REFER TO DRAWING SERIES A0.30 FOR PARTITION TYPES.
5. REFER TO DRAWING SERIES A11.00 FOR FLOOR ACCESSORY LEGEND.
6. REFER TO DRAWING SERIES A7.10 FOR WINDOW TYPES AND DETAILS.
7. REFER TO DRAWING SERIES A7.10 FOR WINDOW TYPES AND DETAILS.
8. REFER TO DRAWING SERIES A10.00 AND/OR SPECIFICATIONS FOR FINISH SCHEDULE.
9. REFER TO DRAWING SERIES A11.00 FOR EQUIPMENT LEGEND.
10. BOX OUT ALL EXPOSED PIPING, VALVES, AND FITTINGS FROM FLOOR LINE TO A MINIMUM OF 4" ABOVE CEILING LINE WITH 5/8" GYPSUM BOARD ON 1 5/8" METAL STUDS. PROVIDE METAL ACCESS DOOR FOR ALL VALVES, CLEANOUTS, ETC.
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**KEYNOTES - 1**

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15	PROTECTIVE WALL PADS AS SPECIFIED
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18	FILL IN FLOOR AROUND DUCT & PIPE PENETRATIONS W/ RATED HORIZ. ASSEMBLY (SEE DETAIL 8/40.31)
19	INSTALL DUCT LINER ALL AROUND RETURN AIR PLENUM. REFER TO MEP DWGS FOR ADDITIONAL INFORMATION
20	APPROX. CENTER OF MULTIPLE SPORT COURT LAYOUTS.
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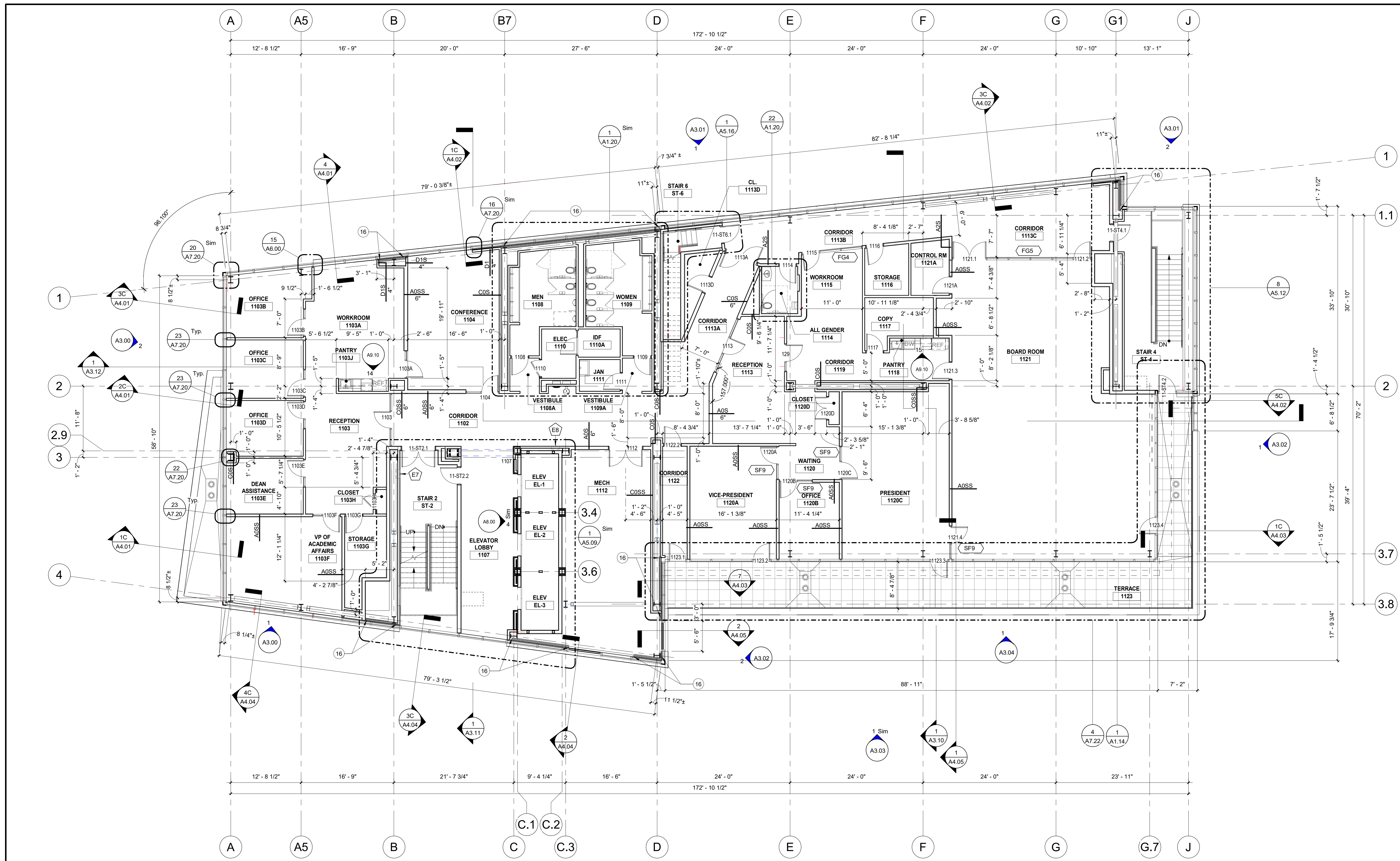
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KEY PLAN

ISSUE FOR BID 09/15/22  
DRAWING TITLE  
**10TH LEVEL FLOOR PLAN**

DATE  
09/15/2022  
SCALE  
1/8" = 1'-0"  
DRAWN  
Author  
CHECKED  
Checker  
DRAWING NUMBER

**A1.10**  
NK PROJECT NUMBER: 1916.702



1 11TH LEVEL FLOOR PLAN  
1/8" = 1'-0"

LEGEND

- WHERE NEW DOORS & FRAMES ARE TO BE INSTALLED, PLACE DOOR AS INDICATED (U.O.N.)
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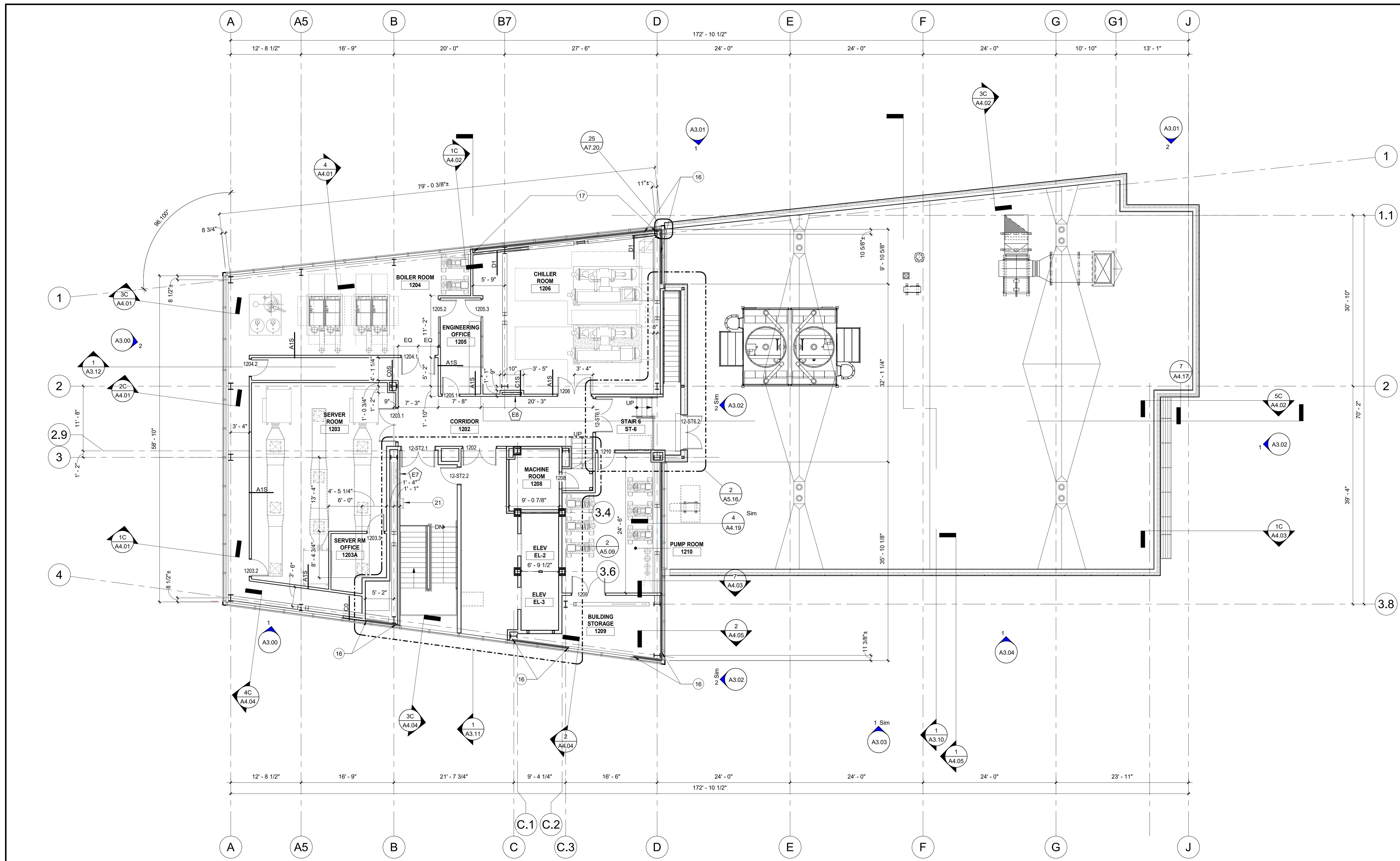
KEY PLAN

1 ISSUE FOR BID 09/15/22  
 NO. DESCRIPTION DATE  
 DRAWING TITLE  
**11TH LEVEL FLOOR PLAN**

DATE  
 09/15/2022  
 SCALE  
 1/8" = 1'-0"  
 DRAWN  
 Author  
 CHECKED  
 Drawing Number

**A1.11**

NK PROJECT NUMBER: 1916.702



**1 MECHANICAL LEVEL FLOOR PLAN**  
1/8" = 1'-0"

**LEGEND**

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KEY PLAN

NO.	ISSUE FOR BID DESCRIPTION	DATE
1		09/15/22

**MECHANICAL LEVEL FLOOR PLAN**

DATE: 09/15/2022  
SCALE: 1/8" = 1'-0"  
DRAWN: \_\_\_\_\_  
Author: \_\_\_\_\_  
Checked: \_\_\_\_\_  
Drawing Number: \_\_\_\_\_

**A1.12**





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**ELEVATIONS FOR REFERENCE**

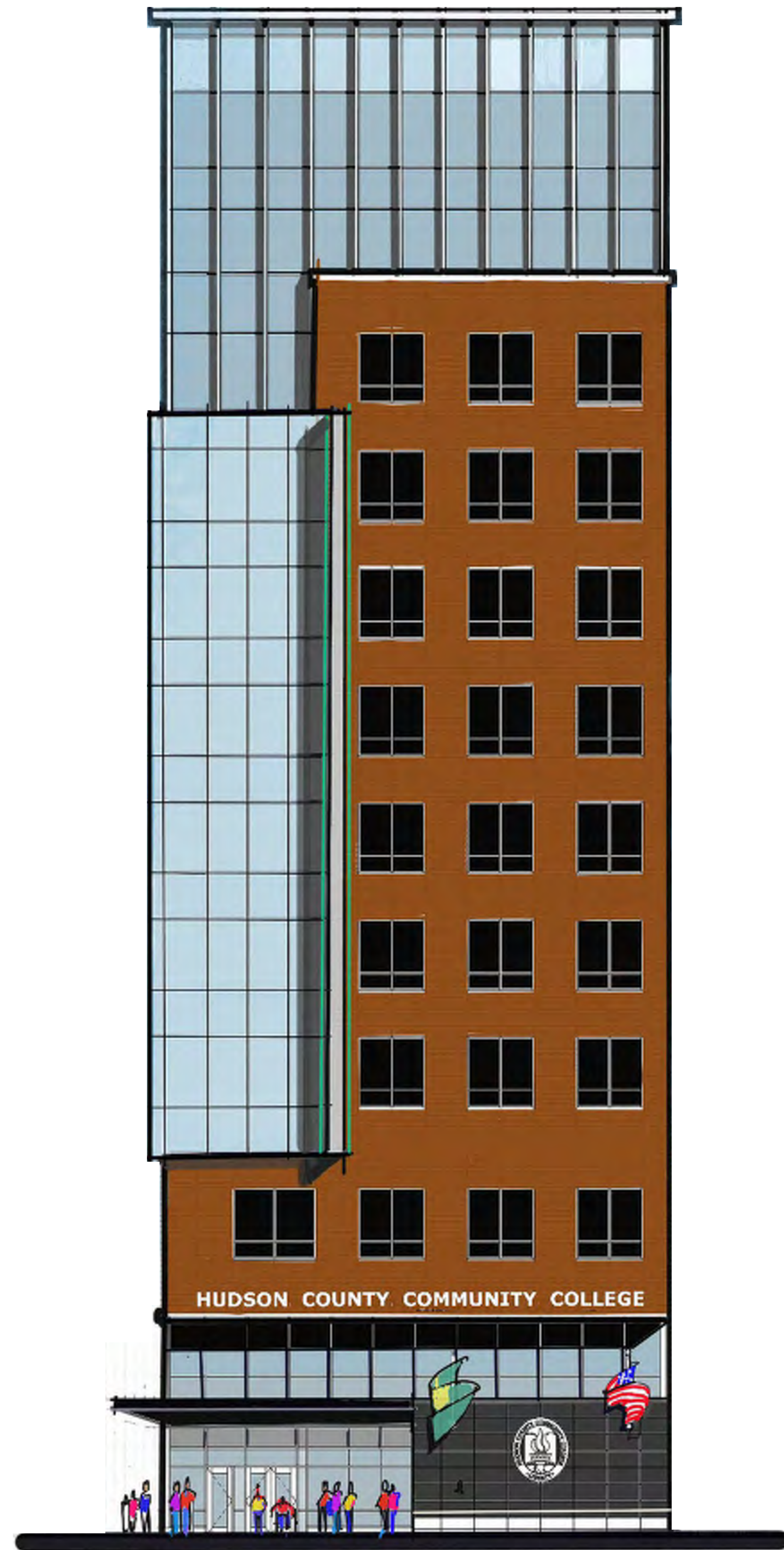
KEY PLAN

1	ISSUE FOR BID	09/15/22
NO.	DESCRIPTION	DATE
DRAWING TITLE		
<b>EXTERIOR ELEVATIONS</b>		

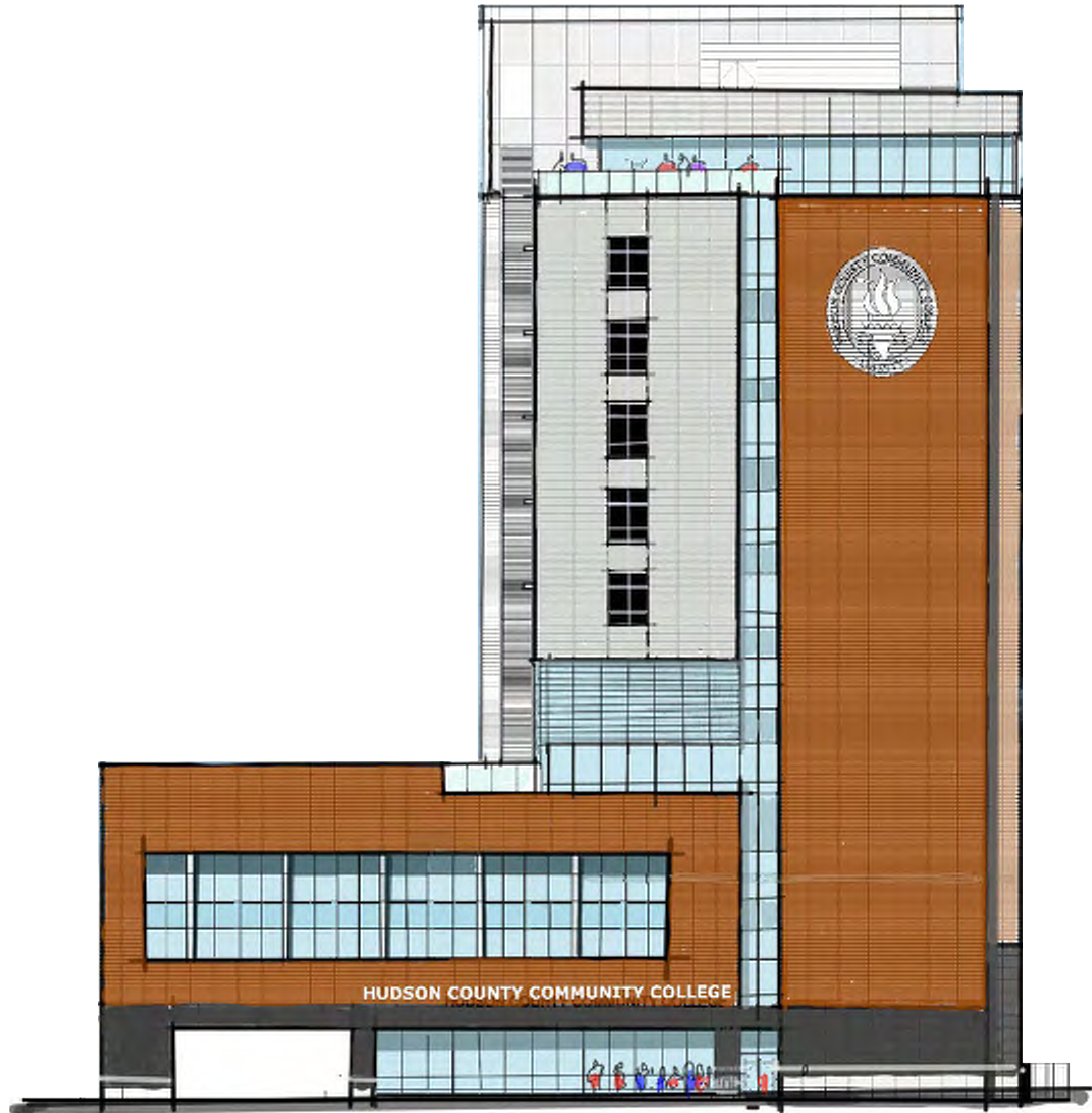
DATE  
 09/15/2022  
 SCALE  
 1/8" = 1'-0"  
 DRAWN  
 VA  
 CHECKED  
 RH  
 DRAWING NUMBER

**SK.01**

NK PROJECT NUMBER: 1916.702



2 WEST ELEVATION



1 EAST ELEVATION

**KEY NOTES - 1**

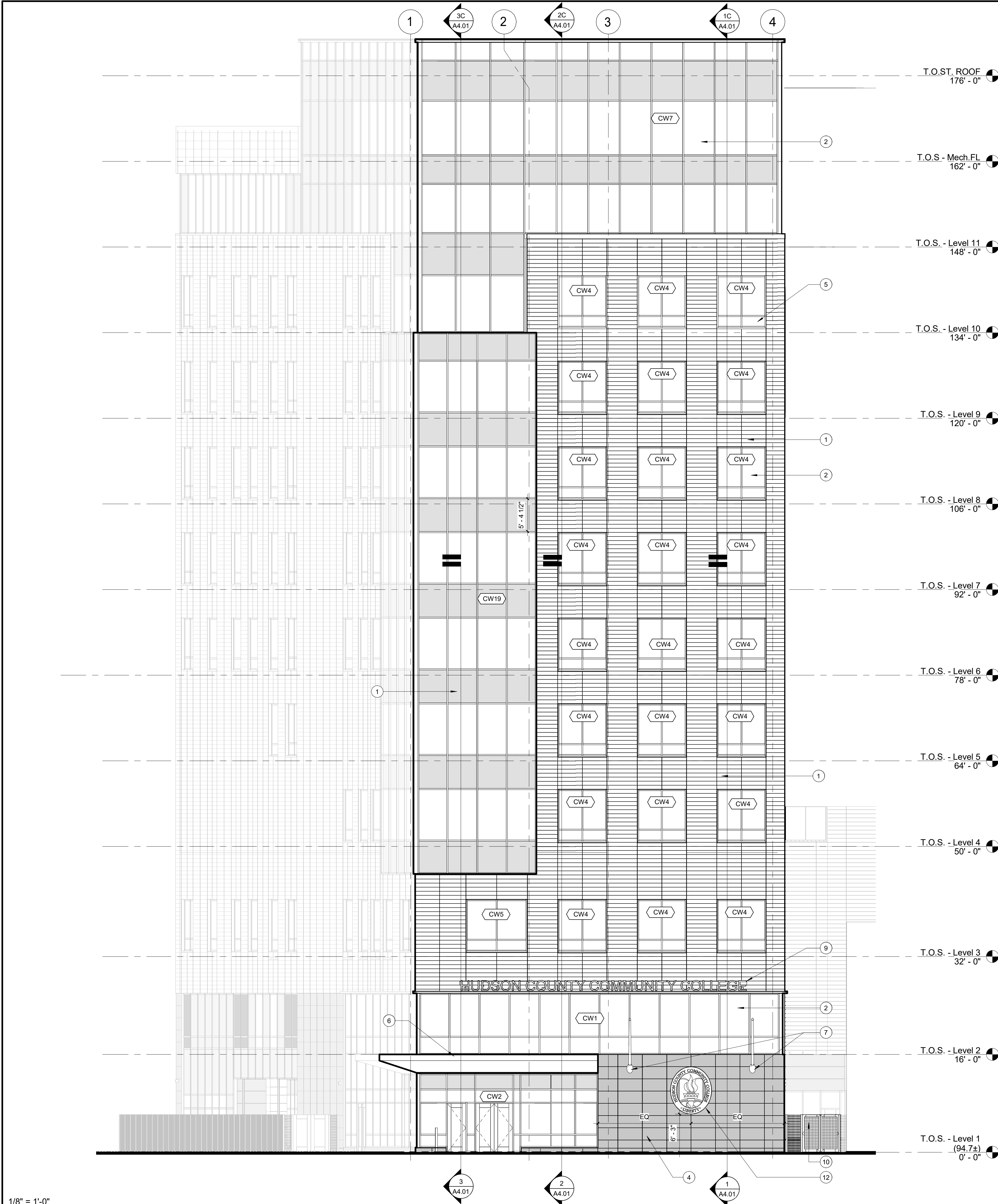
KEYNOTE #	DESCRIPTION
1	TERRACOTTA RAINSCREEN SYSTEM AS SPECIFIED
2	EXTERIOR ALUM. GLAZING SYSTEM AS SPECIFIED
3	ALUM. COMPOSITE METAL PANEL AS SPECIFIED
4	GRANITE VENEER AS SPECIFIED
5	ALUM. COPING AS SPECIFIED
6	CANOPY AS SPECIFIED. REFER TO DETAILS
7	FLAG POLE AS SPECIFIED
8	ALUM. SHADING SYSTEM AS SPECIFIED
9	LETTERING "X" AS SPECIFIED
10	PERFORATED FENCE SYSTEM SWING GATE AND PANELS AS SPECIFIED. REFER TO CIVIL DWGS FOR MORE INFORMATION

KEYNOTE #	DESCRIPTION
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13	ARCHITECTURAL LOUVERS AS SPECIFIED
14	LOGO "B" AS SPECIFIED
15	LETTERING "B" AS SPECIFIED
16	HORIZONTAL SUNSHADE SYSTEM ATTACHED TO CURTAIN WALL AS SPECIFIED
17	30" SUNSHADES OUTRIGGER SYSTEM AS SPECIFIED
18	ALTERNATE SCREEN AS SPECIFIED. REFER TO DETAILS
19	ARCHITECTURAL GRADE FINISH CONCRETE AS SPECIFIED
20	EXPANSION JOINT AS SPECIFIED
21	CONCRETE SLAB AND STEPS AS SPECIFIED

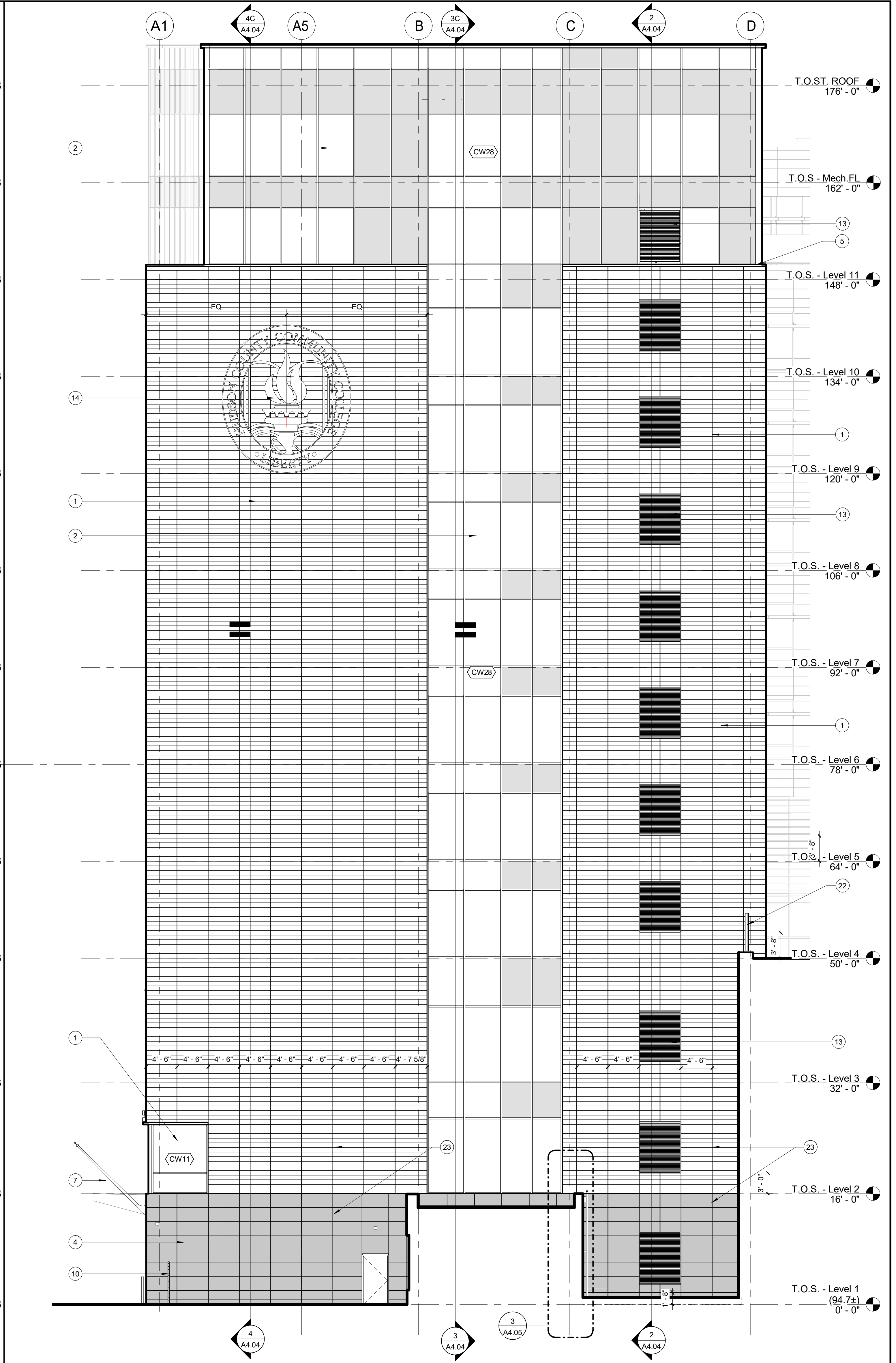
KEYNOTE #	DESCRIPTION
22	STRUCTURAL FRAMELESS GLAZING AS SPECIFIED. REFER TO FLOOR PLAN AND DETAILS
23	ALIGN VERTICAL JOINTS
24	ACCESS LADDER WITH LOCKABLE DOOR AS SPECIFIED. REFER TO ENLARGED FLOOR PLANS, SECTION AND DETAILS

**GENERAL NOTES**

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- REFER TO A400 SERIES DRAWINGS FOR TYPICAL WALL SECTIONS AND ADDITIONAL INFORMATION.
- REFER TO CIVIL DRAWINGS FOR FINISHED GRADE AND FLOOR HEIGHTS.



1/8" = 1'-0"  
**2 WEST ELEVATION**



**1 SOUTH WEST ELEVATION**

**KEY NOTES - 1**

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**MIXED-USE ACADEMIC BUILDING**  
 Jersey City, NJ

**MAST**  
 CONSTRUCTION SERVICES, INC.

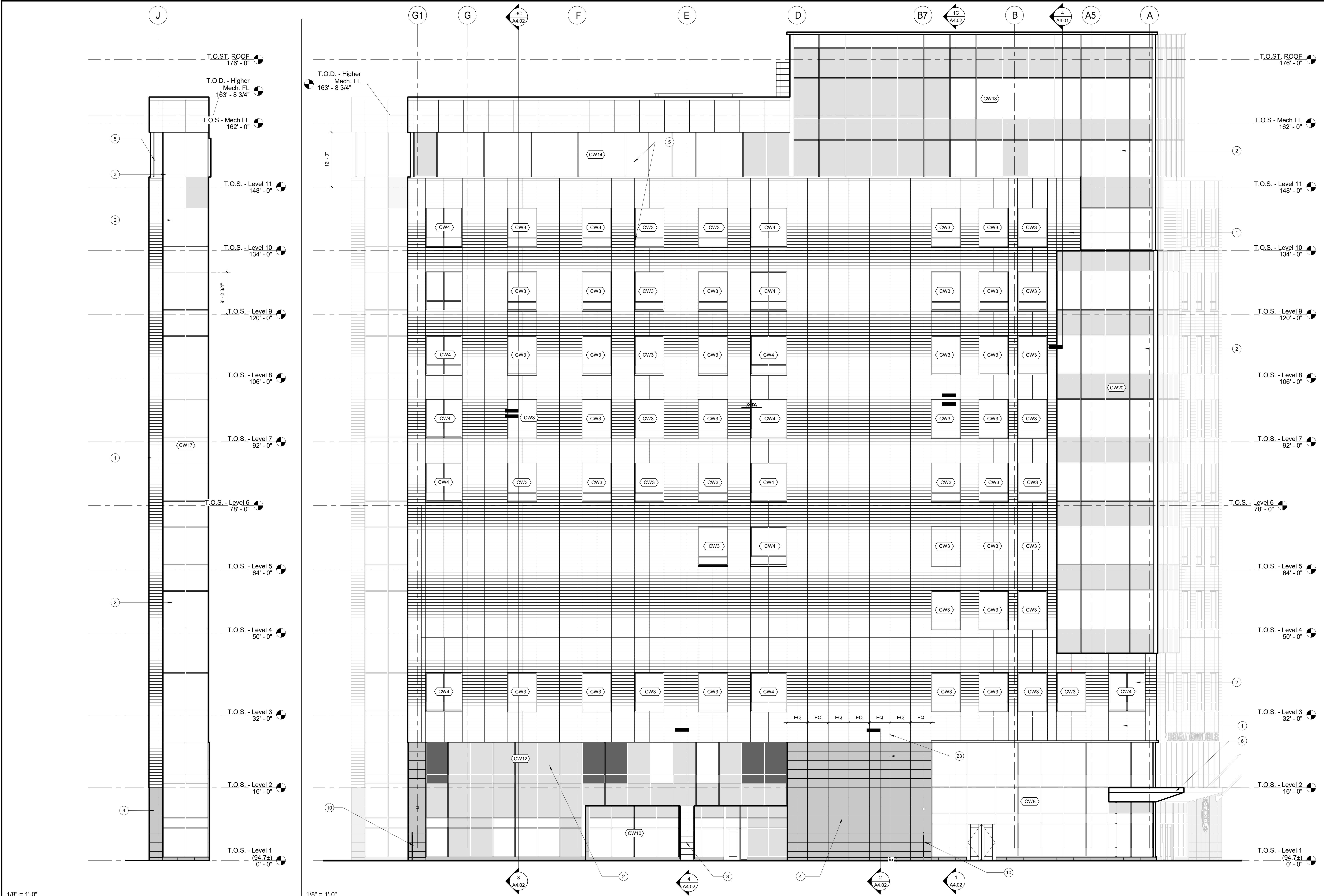
KEY PLAN

1 ISSUE FOR BID 09/15/22  
 NO DESCRIPTION DATE  
 DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DATE  
 09/15/2022  
 SCALE  
 1/8" = 1'-0"  
 DRAWN  
 VA  
 CHECKED  
 RH  
 DRAWING NUMBER

**A3.01**

NK PROJECT NUMBER: 1916.702



1/8" = 1'-0"  
**2 PARTIAL NORTH ELEV.**

1/8" = 1'-0"  
**1 NORTH ELEVATION**

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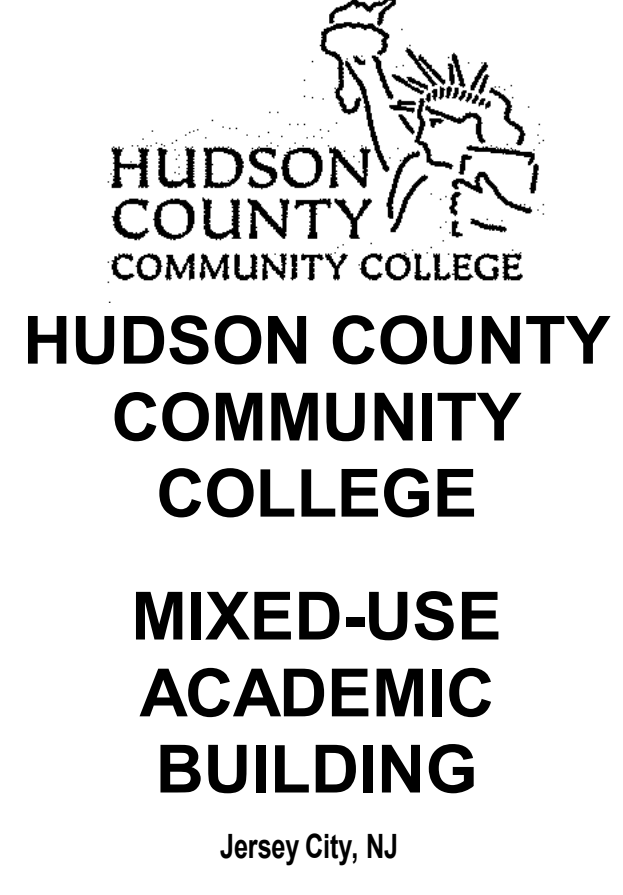


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KEY PLAN

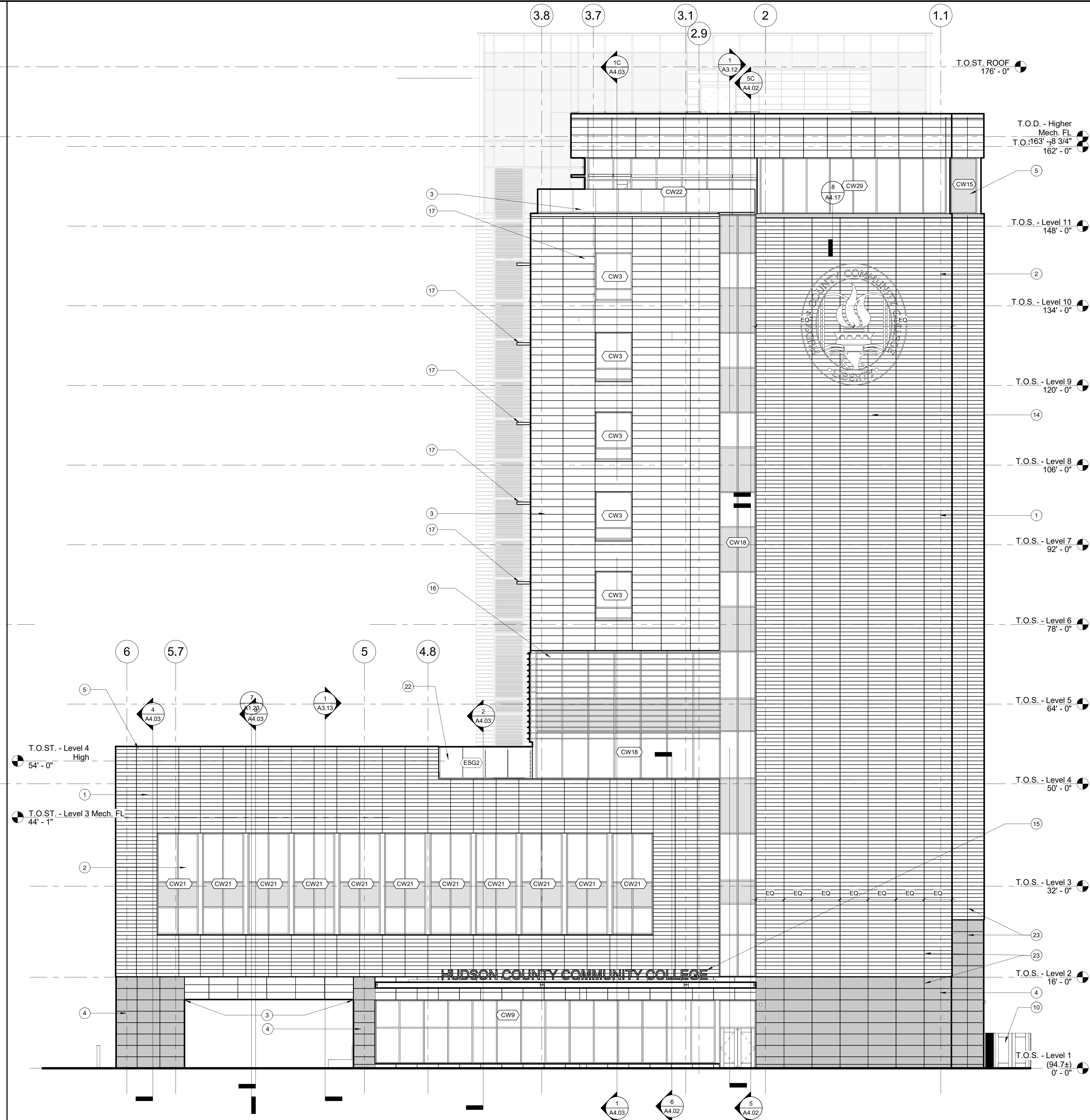
NO.	ISSUE FOR BID DESCRIPTION	DATE
1	ISSUE FOR BID	09/15/22

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

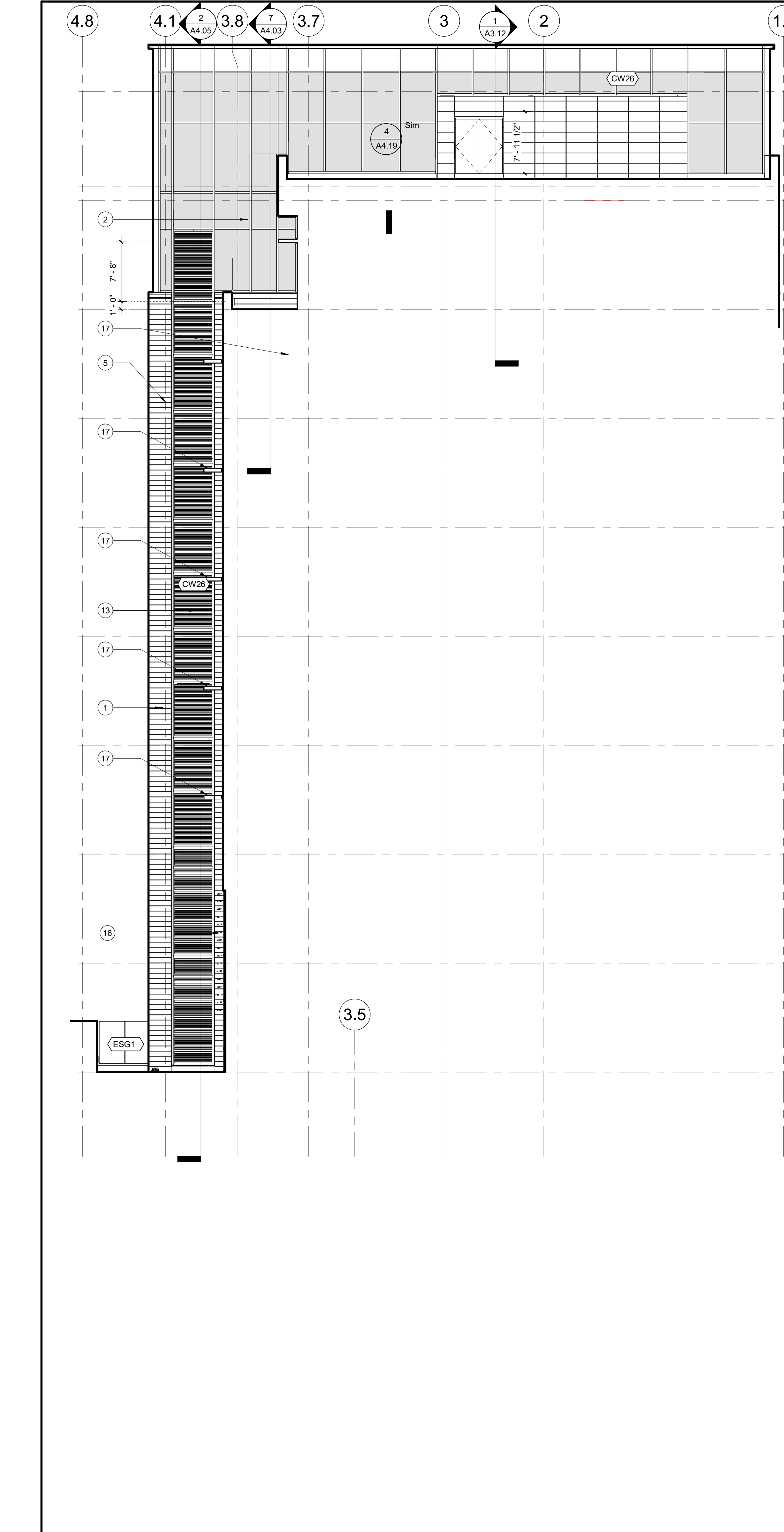
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 SCALE  
 1/8" = 1'-0"  
 DRAWN  
 VA  
 CHECKED  
 RH  
 DRAWING NUMBER

**A3.02**

NK PROJECT NUMBER: 1916.702



**1 EAST ELEVATION**



**2 EAST ELEVATION - PARTIAL**

**KEY NOTES - 1**

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**GENERAL NOTES**

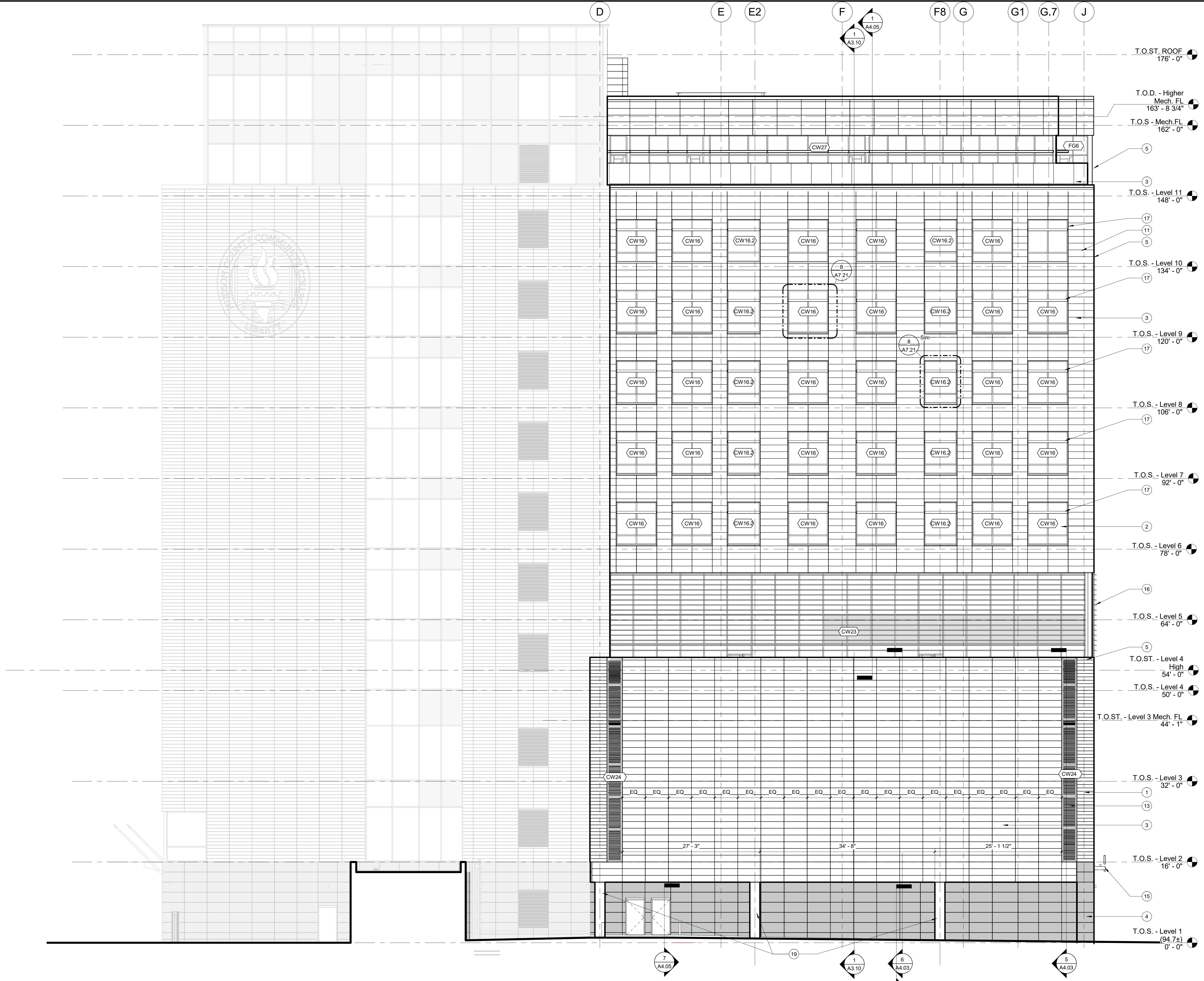
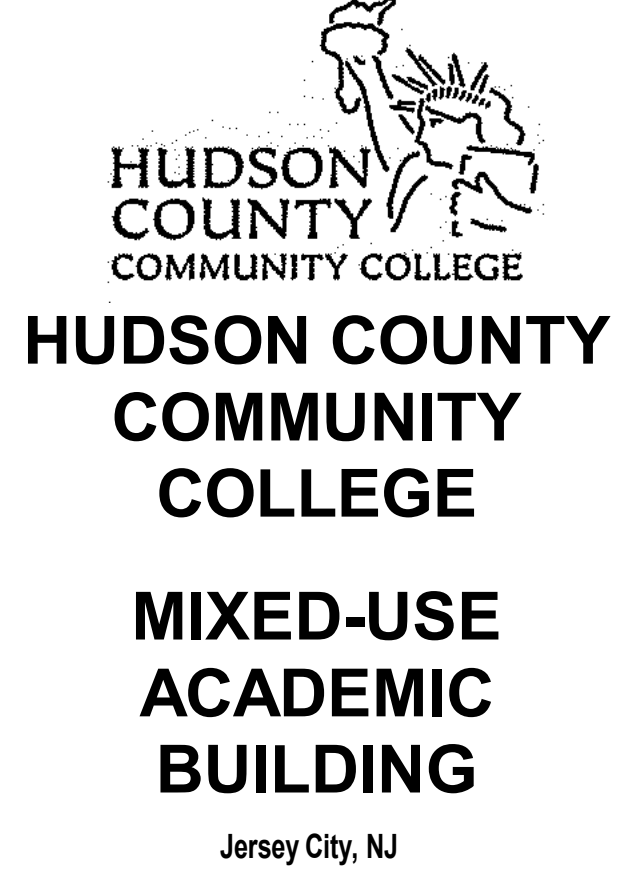
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**1 SOUTH ELEVATION**

**KEY NOTES - ①**

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KEY PLAN

NO.	ISSUE FOR BID	DATE
1	DESCRIPTION	09/15/22

DRAWING TITLE  
**EXTERIOR ELEVATIONS**

DATE  
 09/15/2022

SCALE  
 1/8" = 1'-0"

DRAWN  
 VA

CHECKED  
 RH

DRAWING NUMBER

**A3.03**

NK PROJECT NUMBER: 1916.702