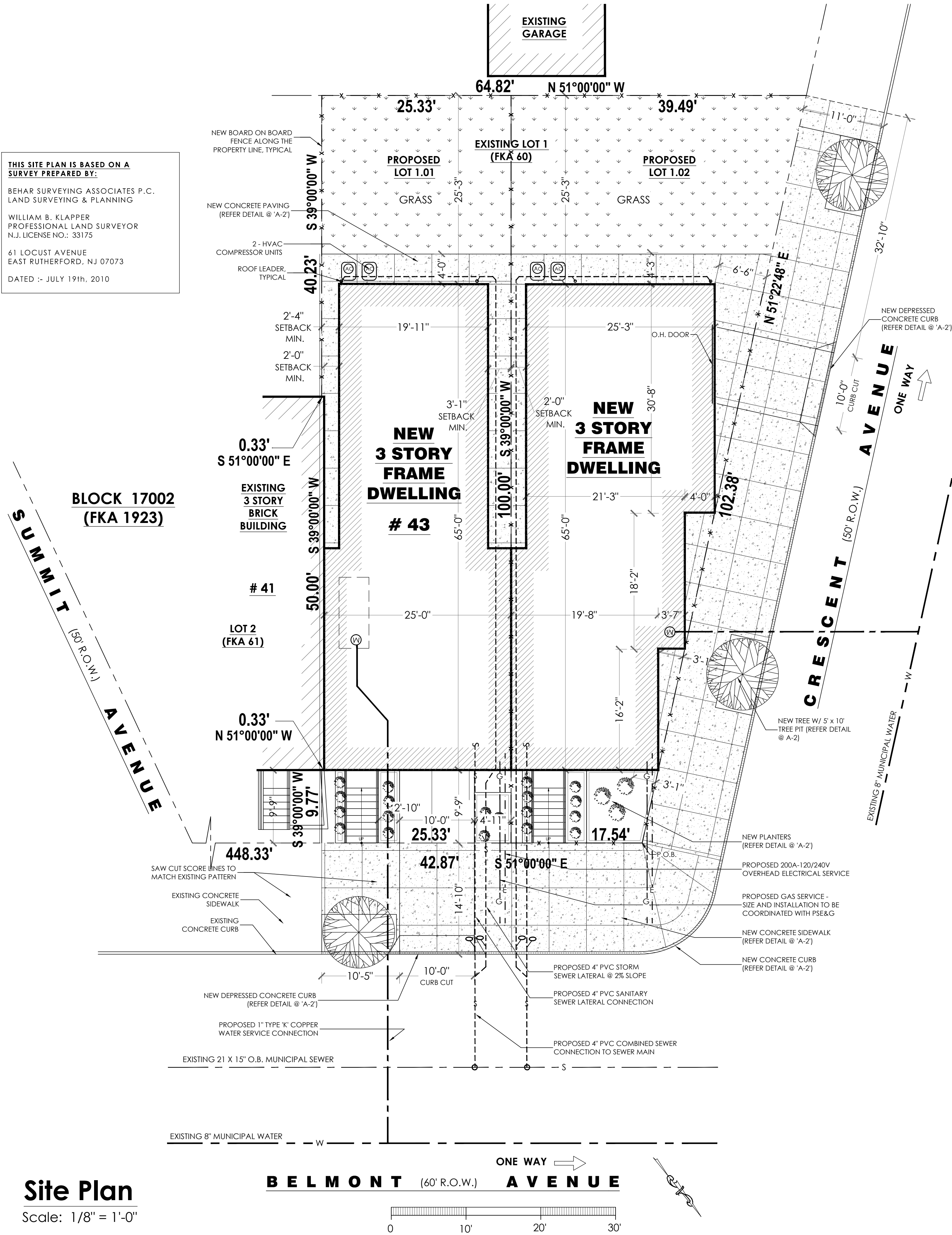


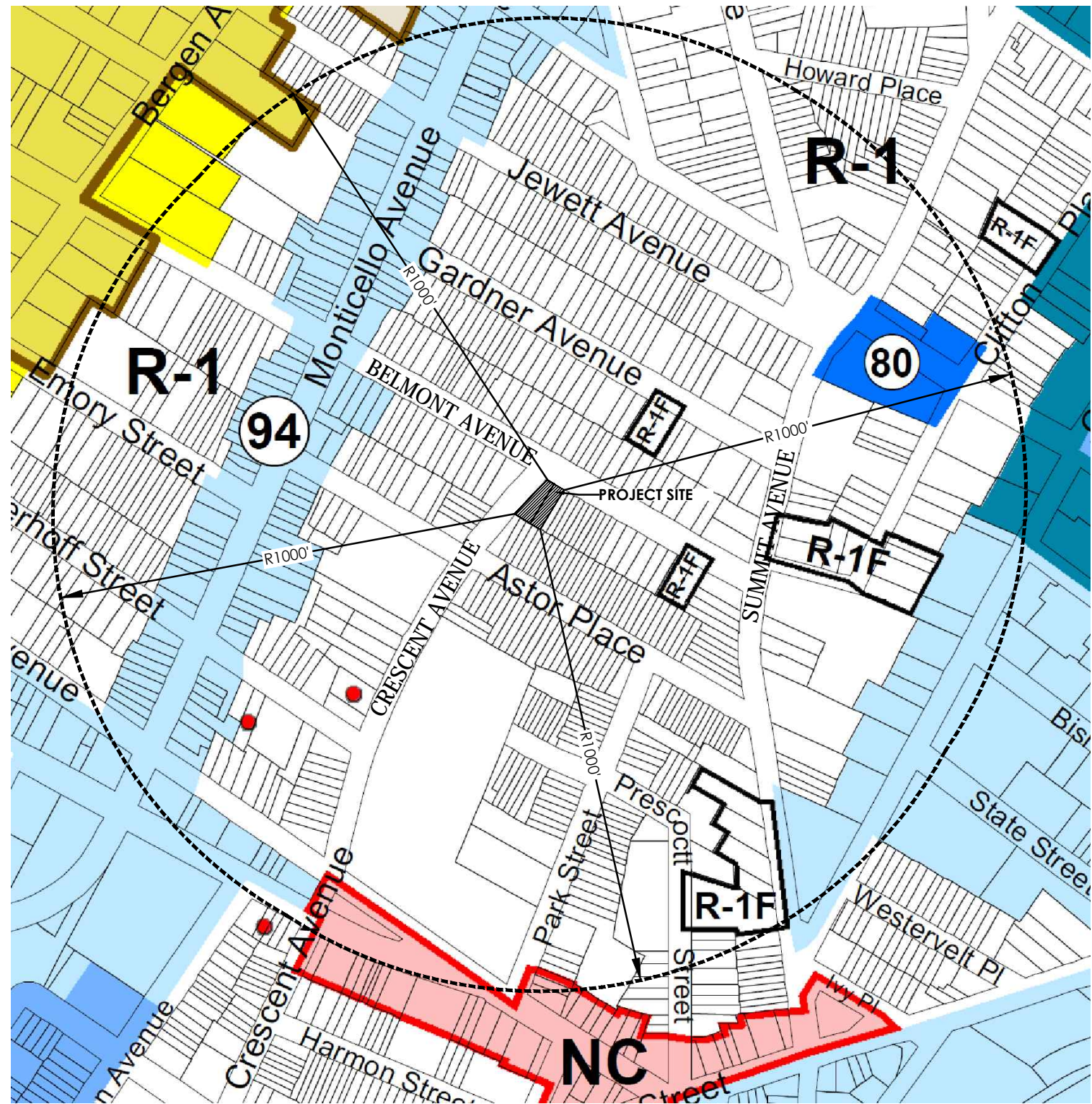
THIS SITE PLAN IS BASED ON A SURVEY PREPARED BY:
BEHAR SURVEYING ASSOCIATES P.C.
LAND SURVEYING & PLANNING
WILLIAM B. KLAPPER
PROFESSIONAL LAND SURVEYOR
N.J. LICENSE NO.: 33175
61 LOCUST AVENUE
EAST RUTHERFORD, NJ 07073
DATED :: JULY 19th, 2010



Site Plan

Scale: 1/8" = 1'-0"

| ZONING COMPARISON CHART | | | | | | |
|--|--|-------------------------|---------------------|-------------------|---------------------|-------------------|
| ITEM | REQUIREMENT | EXISTING LOT 1 (FKA 60) | PROPOSED - LOT 1.01 | VARIANCE REQUIRED | PROPOSED - LOT 1.02 | VARIANCE REQUIRED |
| USE | R-1 ONE AND TWO FAMILY HOUSING DISTRICT. | VACANT | 2 DWELLING UNITS | NO | 2 DWELLING UNITS | NO |
| LOT AREA: MIN. | 2,500 SQ. FT. | 5,420 SQ. FT. | 2,517 SQ. FT. | NO | 2,903 SQ. FT. | NO |
| LOT WIDTH: MIN. | 25 FT. | 42.87 FT. | 25.33 FT. | NO | 17.54 FT. | YES |
| LOT DEPTH: MIN. | 100 FT. | 100 FT. | 100 FT. | NO | 100 FT. | NO |
| FRONT YARD: MIN. | 9.75 FT. | ---- | 9.75 FT. | NO | 9.75 FT. | NO |
| FRONT YARD: FRONT YARD SETBACK SHALL MATCH THE SETBACK OF THE PRIMARY BUILDING FACADE OF THE CLOSEST PERMITTED USE ON EITHER SIDE OF THE SUBJECT PARCEL. PROVIDED THAT THE BUILDING SETBACK TO BE MATCHED SHALL BE CLOSEST TO THE PREDOMINANT (MOST FREQUENTLY OCCURRING) SETBACK ON THE BLOCKFRONT. | | | | | | |
| SIDE YARD: min. ONE | 2 FT. | ---- | 2 FT. | NO | 2 FT. | NO |
| BOTH | 5 FT. | ---- | 5.083 FT. | NO | 5.083 FT. | NO |
| REAR YARD: min. FRONT YARD + REAR YARD = AT LEAST 35 FT. BUT REAR NOT LESS THAN 20 FT. = 35 - 9.75 = 25.25 FT. | 25.25 FT. | ---- | 25.25 FT. | NO | 25.25 FT. | NO |
| LANDSCAPING: MIN. 30 % OF FRONT YARD = 247 X 30 % = 74.1 SQ.FT. | 74.10 SQ. FT. | ---- | 75.66 FT. | NO | 181.82 FT. | NO |
| HEIGHT: max. | 35 FT. | ---- | 33.50 FT. | NO | 33.50 FT. | NO |
| | 3 STORIES | ---- | 3 STORIES | NO | 3 STORIES | NO |
| LOT COVERAGE: max. | 85 % | ---- | 75.67% | NO | 74.12% | NO |
| BUILDING COVERAGE: max. | 60 % | ---- | 53.13% | NO | 47.36% | NO |

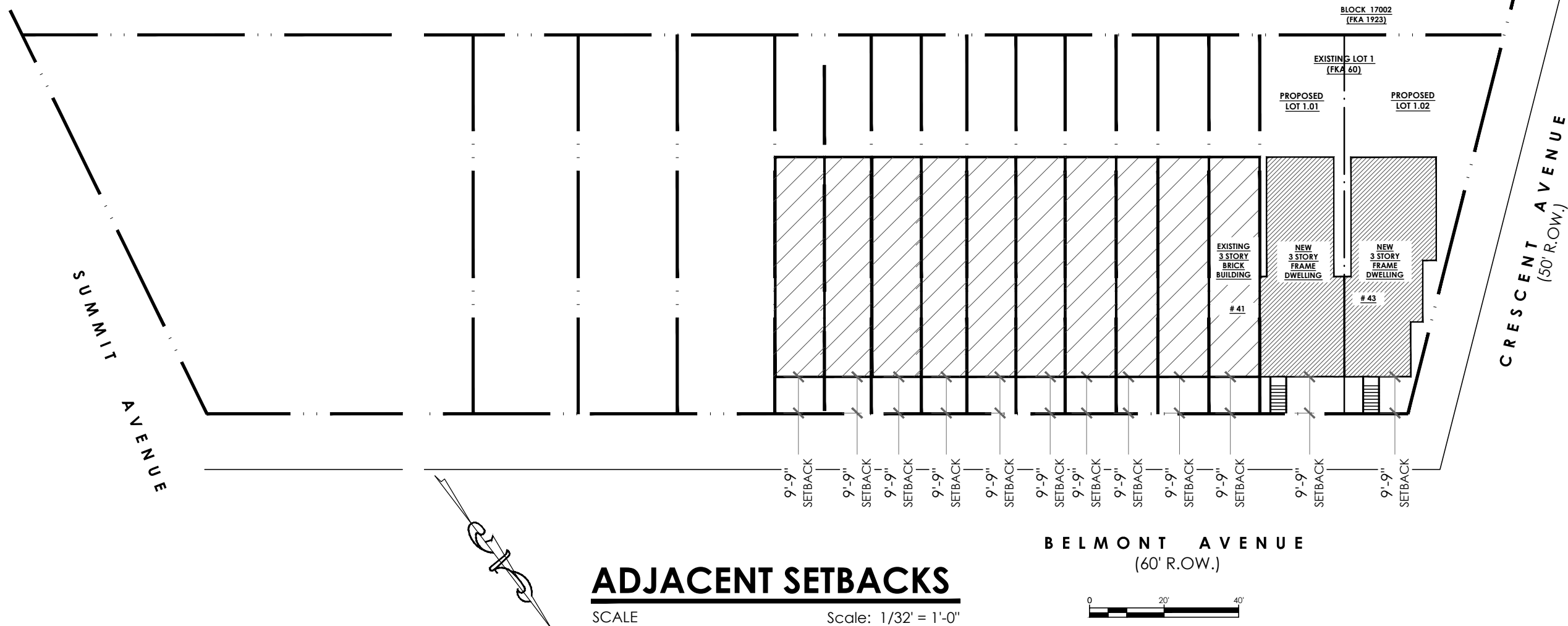


SITE DATA - LOT 1.01

| | |
|-----------------|------------------------------------|
| 1. BLOCK NO. | 17002 (FKA 1923) |
| 2. LOT NO. | 1.01 |
| 3. ZONING | R-1 ONE AND TWO FAMILY RESIDENTIAL |
| 4. SITE AREA | 2,533 SQ.FT. |
| 5. OCCUPANCY | 2 DWELLING UNITS |
| 6. USE GROUP | R-5 |
| 7. CONSTRUCTION | 5A - PROTECTED |
| 8. FLOOR AREAS: | |
| THIRD FLOOR | 1,284 SQ.FT. |
| SECOND FLOOR | 1,253 SQ.FT. |
| FIRST FLOOR | 1,284 SQ.FT. |
| TOTAL | 3,821 SQ.FT. |

SITE DATA - LOT 1.02

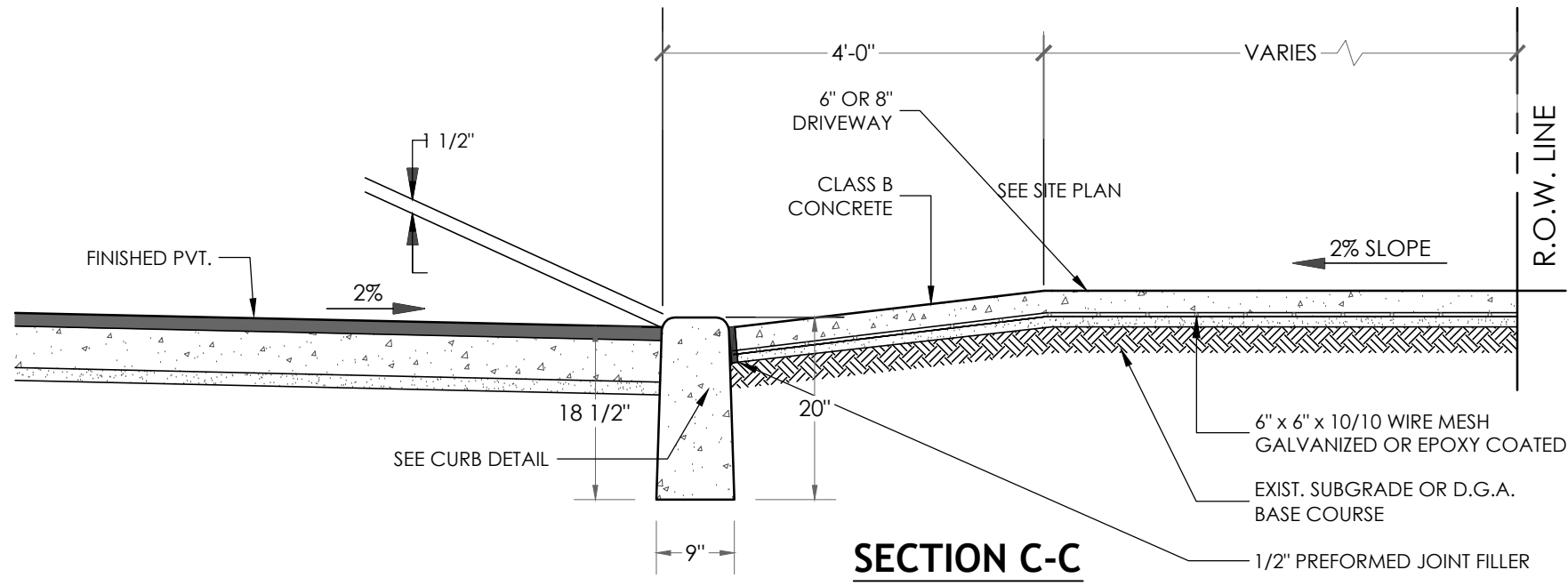
| | |
|-----------------|------------------------------------|
| 1. BLOCK NO. | 17002 (FKA 1923) |
| 2. LOT NO. | 1.02 |
| 3. ZONING | R-1 ONE AND TWO FAMILY RESIDENTIAL |
| 4. SITE AREA | 2,851 SQ.FT. |
| 5. OCCUPANCY | 2 DWELLING UNITS |
| 6. USE GROUP | R-5 |
| 7. CONSTRUCTION | 5A - PROTECTED |
| 8. FLOOR AREAS: | |
| THIRD FLOOR | 1,501 SQ.FT. |
| SECOND FLOOR | 1,501 SQ.FT. |
| FIRST FLOOR | 1,501 SQ.FT. |
| TOTAL | 4,503 SQ.FT. |



ADJACENT SETBACKS

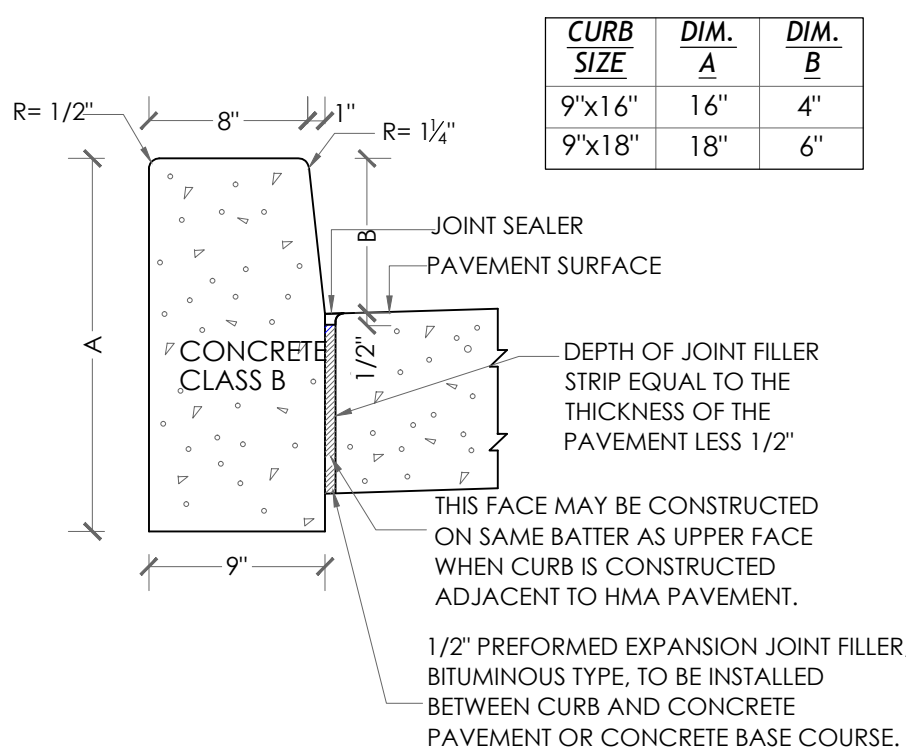
SCALE 1/32" = 1'-0"

| | | |
|--|----------|--------------------|
| NO. | DATE | ISSUE AND REVISION |
| 2 | 11/19/19 | LAYOUT UPDATED |
| 1 | 10/14/19 | AS PER COMMENTS |
| PROJECT | | |
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| BLOCK 17002, LOT 1 | | |
| 43 BELMONT AVENUE | | |
| JERSEY CITY, NJ | | |
| ALAN FELD ARCHITECT | | |
| 930 NEWARK AVENUE | | |
| SUITE 401 | | |
| JERSEY CITY, NJ 07306 | | |
| (201) 963-5877 | | |
| alan@afarchitect.com | | |
| DRAWING TITLE | | |
| SITE PLAN | | |
| ZONING DATA | | |
| KEY MAP | | |
| BLOCK SETBACKS PLAN | | |
| PROJECT NO. | 19-4002 | SCALE AS NOTED |
| DRAWN BY | A P | DATE 04-01-2019 |
| SEAL | | DRAWING NO. |
| A-1 | | |
| OF 6 | | |



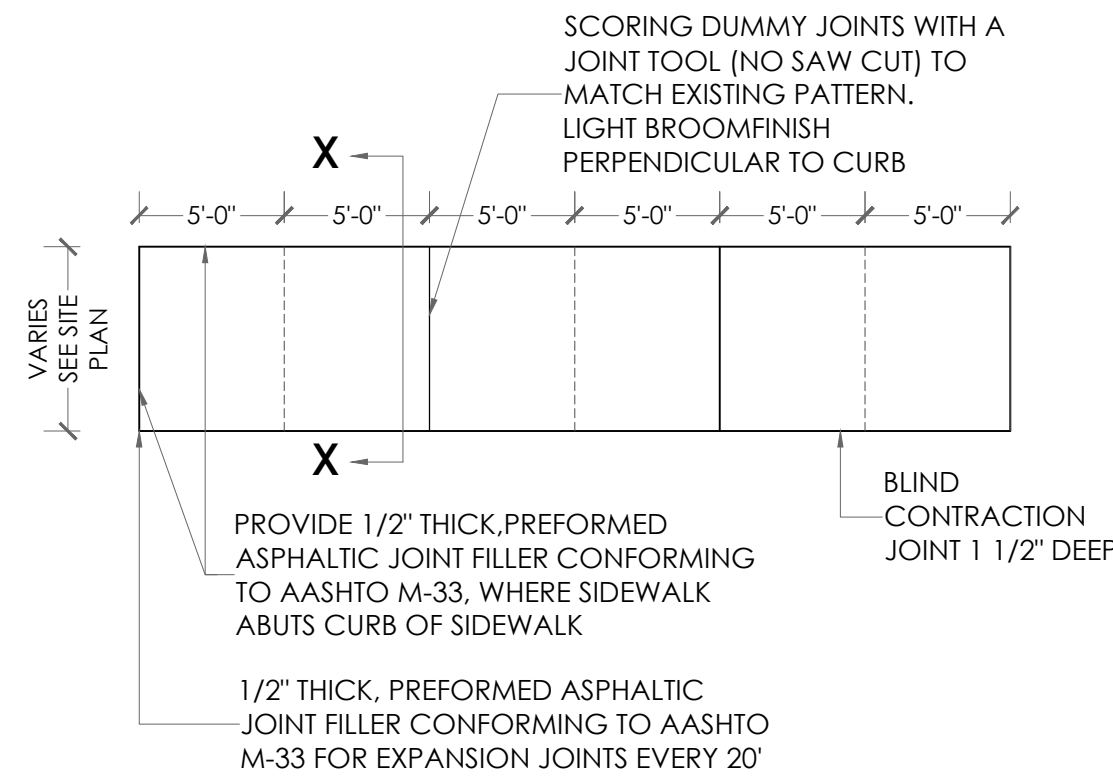
TYPICAL 9" x 20" CONCRETE VERTICAL CURB / DRIVEWAY DETAIL

SCALE N.T.S.



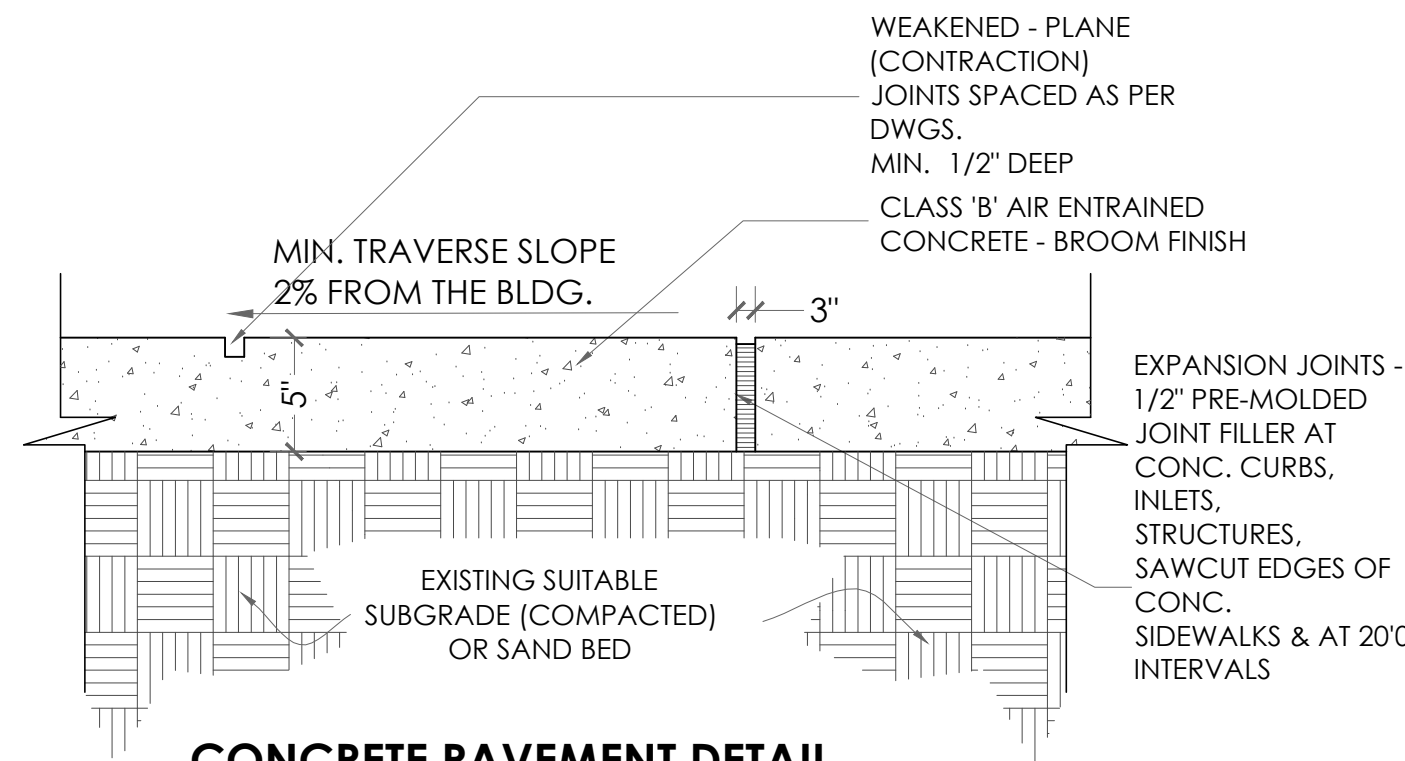
CONCRETE CURB DETAILS

SCALE Not To Scale



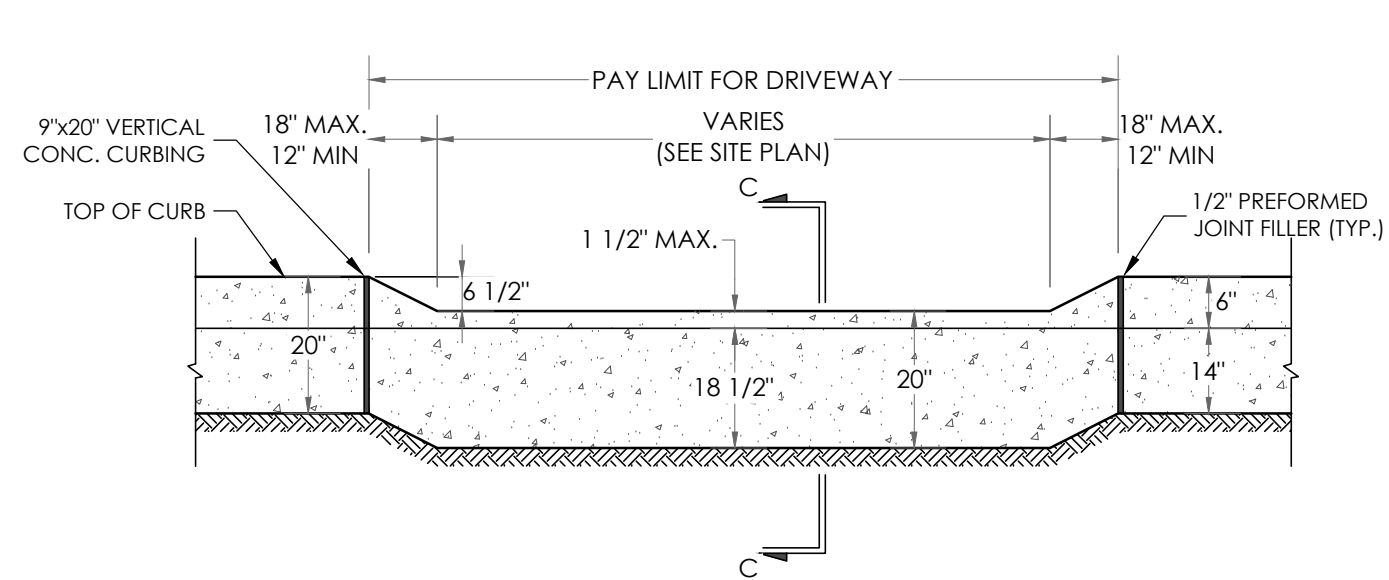
TYPICAL CONCRETE SIDEWALK DETAIL

SCALE Not To Scale



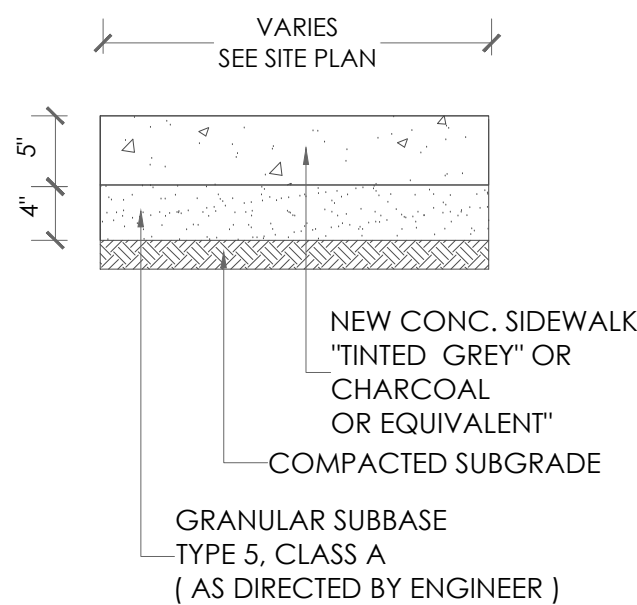
CONCRETE PAVEMENT DETAIL

SCALE Not To Scale



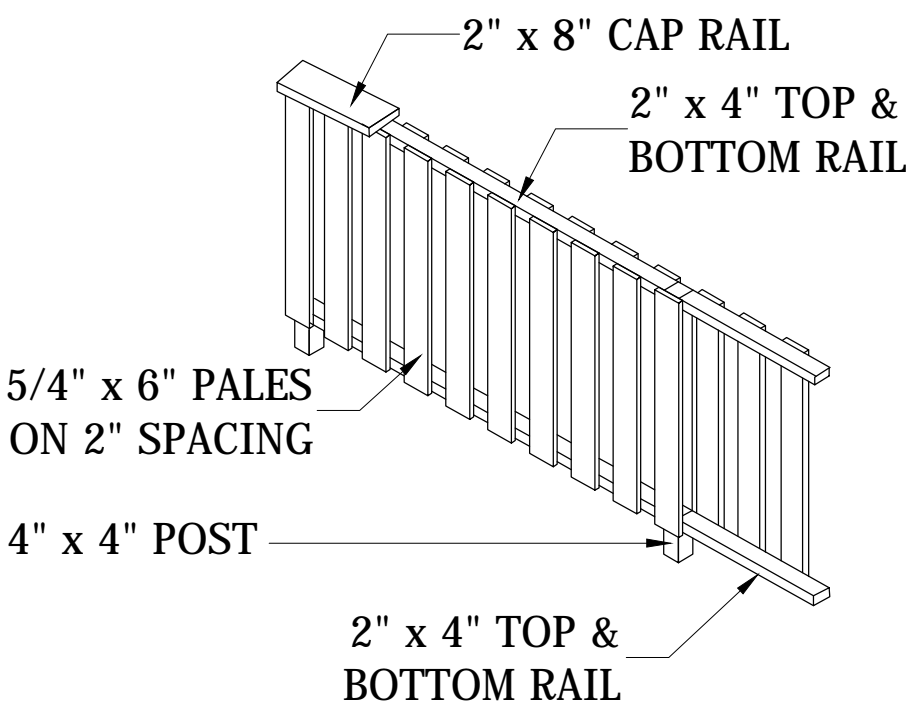
TYPICAL DEPRESSED CURB AND DRIVEWAY DETAIL

SCALE N.T.S.



SECTION X-X

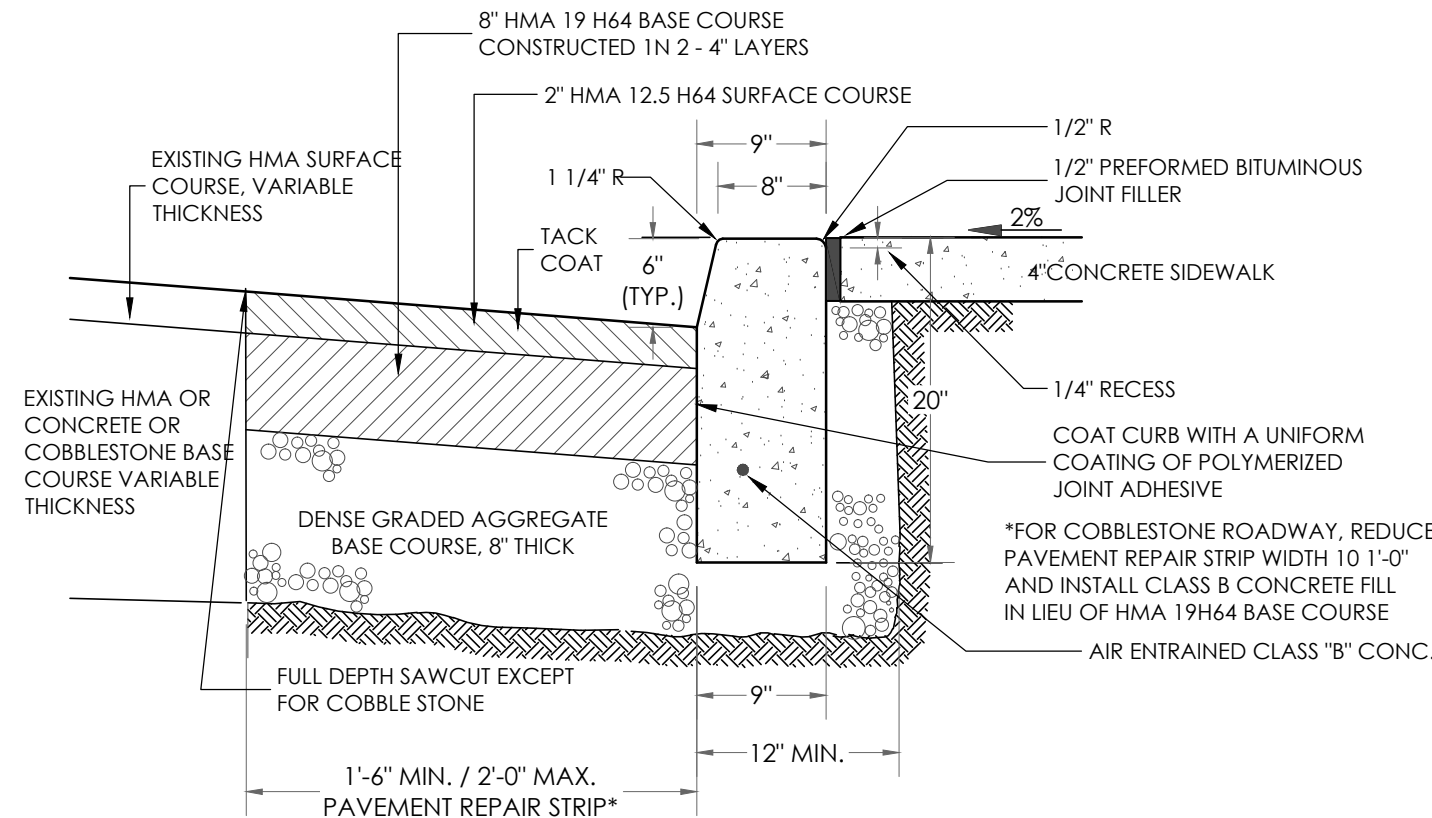
SCALE



BOARD ON BOARD WOOD FENCE

CURB & SIDEWALK NOTES:

- ALL CURBING AND SIDEWALK SHALL BE CONSTRUCTED OF AIR ENTRAINED CLASS B CONCRETE (N.J.D.O.T. SPECS)
- A 1/2" PERFORMED EXPANSION JOINT FILLER BITUMINOUS TYPE, CONFORMING TO A.A.S.H.T.O. SPEC'S M-33 IS TO BE INSTALLED BETWEEN THE CURBING AND CONCRETE SIDEWALK AND AT 10' MAX. SPACING (TRANSVERSE AND LONGITUDINAL) IN THE SIDEWALK, RECESSED 1/4" IN FROM TOP OF SIDEWALK.
- TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURBING 10'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS FILLER OF A.A.S.H.T.O. SPEC'S M-33 FLUSH WITH THE TOP AND FACE OF CURB.
- COST OF EXPANSION JOINTS SHALL BE INCLUDED IN THE UNIT PRICE AND FOR SIDEWALK AND CURBING.
- ALL SIDEWALK CURB RAMP AND SIDE RAMP SHALL HAVE A HAND BROOMED FINAL FINISH.
- THE NORMAL PAVEMENT EDGE PROFILE SHALL BE MAINTAINED THROUGH THE AREA OF HE CURB RAMP.
- COST OF ANY DENSE GRADED AGGREGATE NEEDED FOR CURB AND SIDEWALK CONSTRUCTION WILL BE PAID FOR UNDER THE ITEM D.G.A.
- CONCRETE CURB SHALL NOT BE CONSTRUCTED FROM NOVEMBER 1ST TO MARCH 15TH UNLESS WRITTEN APPROVAL IS RECEIVED FROM THE ENGINEER.
- IMMEDIATELY AFTER THE CONCRETE AHS BEEN FINISHED, THE CONTRACTOR SHALL APPLY A COMPLETE UNIFORM COAT OF CURING COMPOUND AT A RATE OF NOT LESS THAN ONE (1) GALLON PER 200 SQUARE FEET.
- DETECTABLE WARNING SURFACE SHALL ENE ARMOR-TILE TAC TILE SYSTEMS AS MANUFACTURED BY ENGINEERED PLASTICS INC. WILLIAMSVILLE, NEW YORK, TELEPHONE NO. 1 800 682 2525 OR APPROVED EQUIVALENT. TACTILE TILE SIZE SHALL BE A MINIMUM OF 24"x 48" AND SHALL BE BRICK RED COLOR DETECTABLE WARNING SURFACES SHALL BE INSTALLED ACCORDING TO THE CORRESPONDING CONSTRUCTION DETAILS SHOWN ON THE PLANS. THE MANUFACTURER'S RECOMMENDATION AND ACCORDING TO SUBSECTION 607.06 SUBPART 6 DETECTABLE WARNING SURFACES OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.
- ALL TRAFFIC STRIPES AND MARKINGS SHALL EB LONG-LIFE, THERMOPLASTIC IN ACCORDANCE WITH SECTION 815 TRAFFIC STRIPES AND MARKINGS OF THE NJDOT STANDARD SPECIFICATIONS AS AMENDED BY JERSEY CITY SUPPLEMENTARY SPECIFICATIONS.



DETAIL 2

TYPICAL 9" x 20"

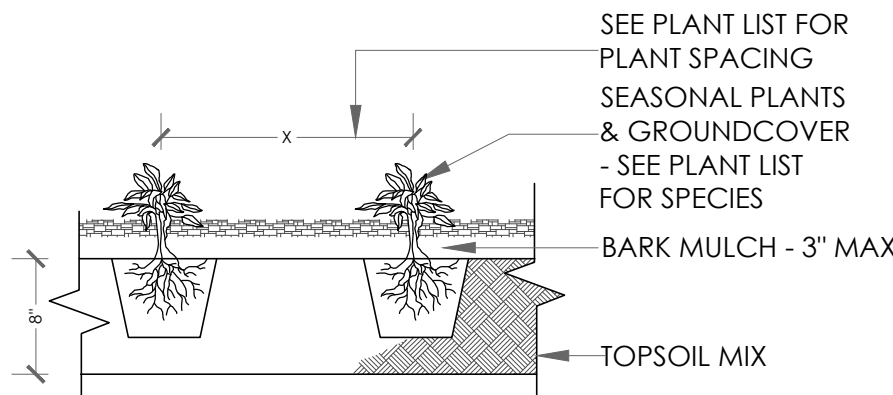
VERTICAL CONCRETE CURBING / PAVEMENT REPAIR

SCALE N.T.S.

Preferred Tree Pit Dimensions

| Sidewalk Width | Tree Pit | | | Exposed Planting Area | | | Detail Page Number |
|--------------------------|------------|-------------|------------|-----------------------|-------------|--|--------------------|
| | Width (ft) | Length (ft) | Depth (ft) | Width (ft) | Length (ft) | | |
| 10' and greater Standard | 5 | 10 | 2 | 5 | 5 | | iii, v, vi |
| 9'-10' Narrow | 4 | 12 | 2 | 4 | 6 | | vii |
| 8'-9' Less than 8' | 5 | 10 | 2 | 3 | 5 | | viii |

Must see Forester



TYP. GROUND COVER & PERENNIALS PLANTING DETAIL

SCALE Not To Scale

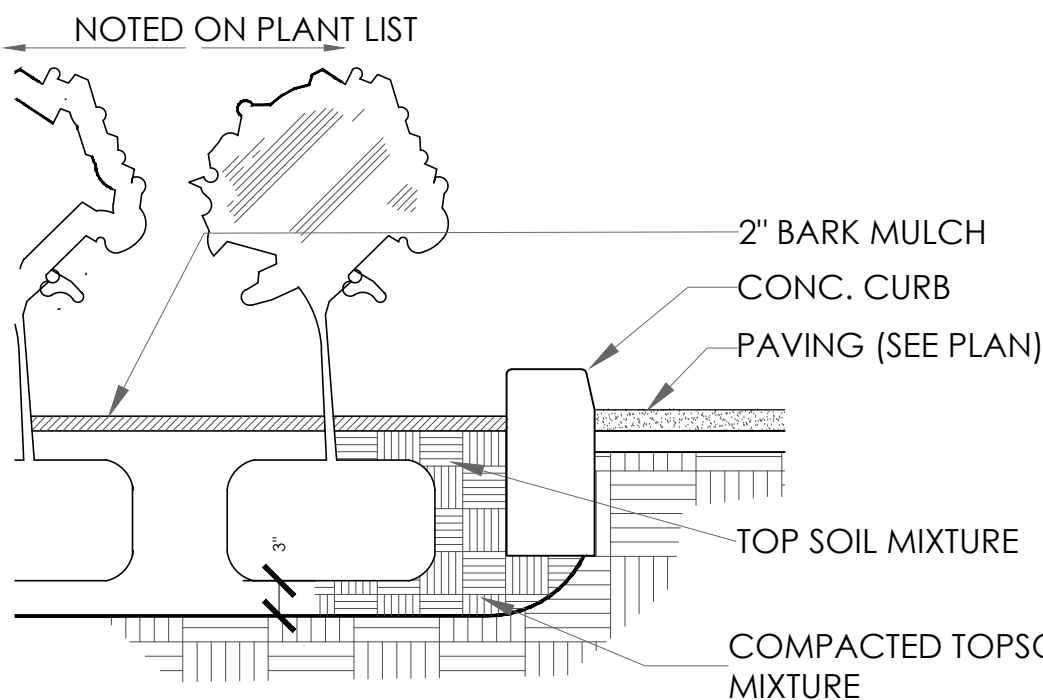
NOTE: ALL TREE & SCRUB PLANTING TO BE AS PER NEW JERSEY CITY FORESTRY STANDARDS

Tree Grates

Sidewalk-level tree grates are not permitted. These restrict tree growth.

NOTES FOR SCRUB PLANTING:

- DO NOT PRUNE EVERGREEN SHRUBS EXCEPT TO REMOVE DEAD AND BROKEN BRANCHES. THIN BRANCHES AND FOLIAGE (NOT ALL BRANCH TIPS) BY 1/3, RETAINING NORMAL PLANT SHAPE.
- SHRUBS SHALL BEAR THE SAME RELATIONSHIP TO GRADE AS IT BORE TO PREVIOUS GRADE IN NURSERY
- INSTALL PHC TREE SAVER MYCORRHIZAL FUNGAL TRANSPLANT INOCULANT. INSTALL ONE 3 OUNCE PACKET PER CALIPER INCH OR PER 1 FOOT OF ROOTBALL DIA.
- CONTRACTOR SHALL HAVE A GUARANTEE PERIOD OF 2 YEARS FOR EACH TREE PLANTED.
- TOPSOIL SHALL COMPLY WITH THE FOLLOWING REQUIREMENTS:
- 14.1. NATURAL LOAM WITH THE ADDITION OF COMPOST OR HUMUS
- 14.2. ORGANIC MATTER CONTENT SHALL BE BETWEEN 5% - 12%
- 14.3. THE pH SHALL BE IN THE RANGE OF 6.0 TO 7.0 INCLUSIVE, UNLESS OTHERWISE APPROVED OR SPECIFIED BY THE JERSEY CITY FORESTER
- 14.4. SOIL TEXTURAL ANALYSIS: TOP SOIL SHALL CONSIST OF THE FOLLOWING PERCENTAGES OF SAND, SILT, AND CLAY. ANY SOIL THAT DOES NOT MEET THE REQUIREMENTS BELOW WILL BE REJECTED AND REMOVED FROM THE SITE.
- ROCKS, STONE AND GRAVEL >2.0 mm <5%, SAND (0.05-2.0 mm) 40 - 60% SILT (0.002 - 0.05mm) 20 - 50%, CLAY (<0.002 mm) 20% MAXIMUM
- 14.5. WHEN TOPSOIL OTHERWISE COMPLIES WITH THE REQUIREMENTS OF THE SPECIFICATION BUT SHOWS A DEFICIENCY IN ORGANIC MATTER, COMPOST MAY BE INCORPORATED WHEN AND AS PERMITTED BY THE FORESTER.
15. ROOT BALL SIZE RELATIVE TO TREE HEIGHT SHALL BE WITHIN THE RANGES SET BY THE AMERICAN NURSERY STANDARDS



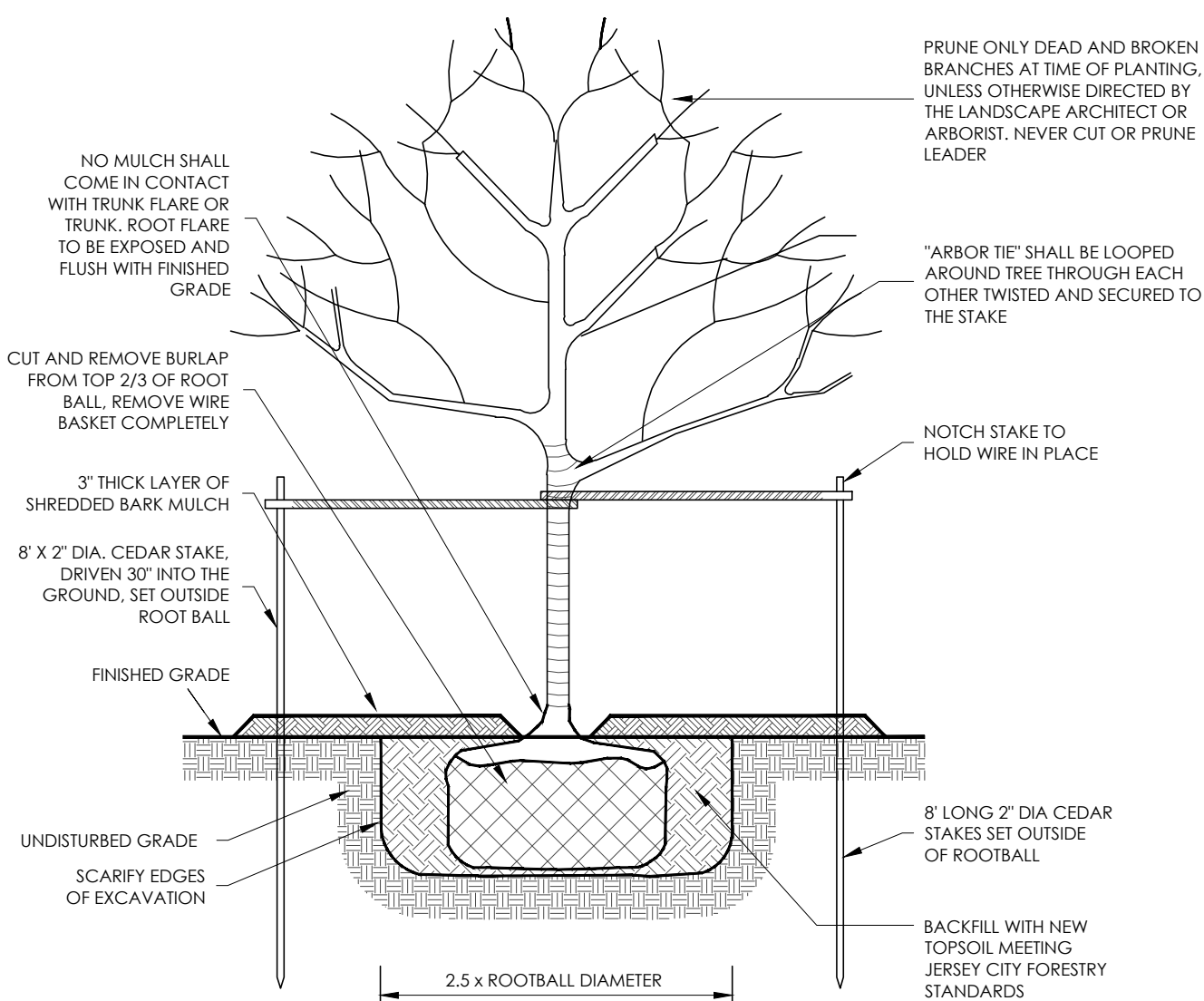
TYPICAL SHRUB PLANTING DETAIL

SCALE Not To Scale

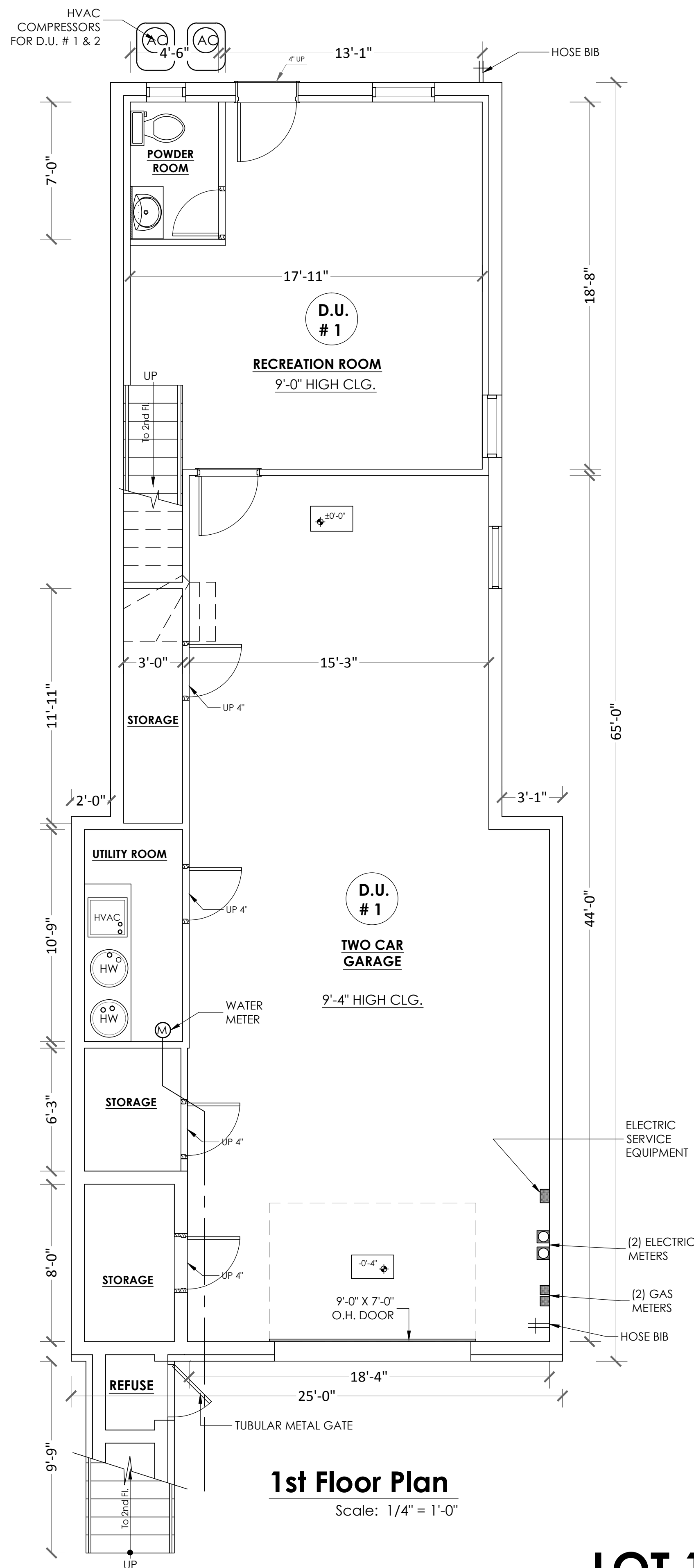
PLANTING SCHEDULE

| KEY | BOTANICAL NAME | COMMON NAME | CALIPER | HEIGHT |
|-----|------------------|-----------------|----------|----------------|
| | TILIA AMERICANA | AMERICAN LINDEN | 5 1/2" Ø | 20'-0" |
| | PINUS MUGO | MUGU PINE | | 18" - 24" O.C. |
| | PRUNUS SARGENTII | SARGENT CHERRY | | 3'-4" |

VERIFY ALLOWED TREE WITH THE NEW JERSEY CITY FORESTRY STANDARDS

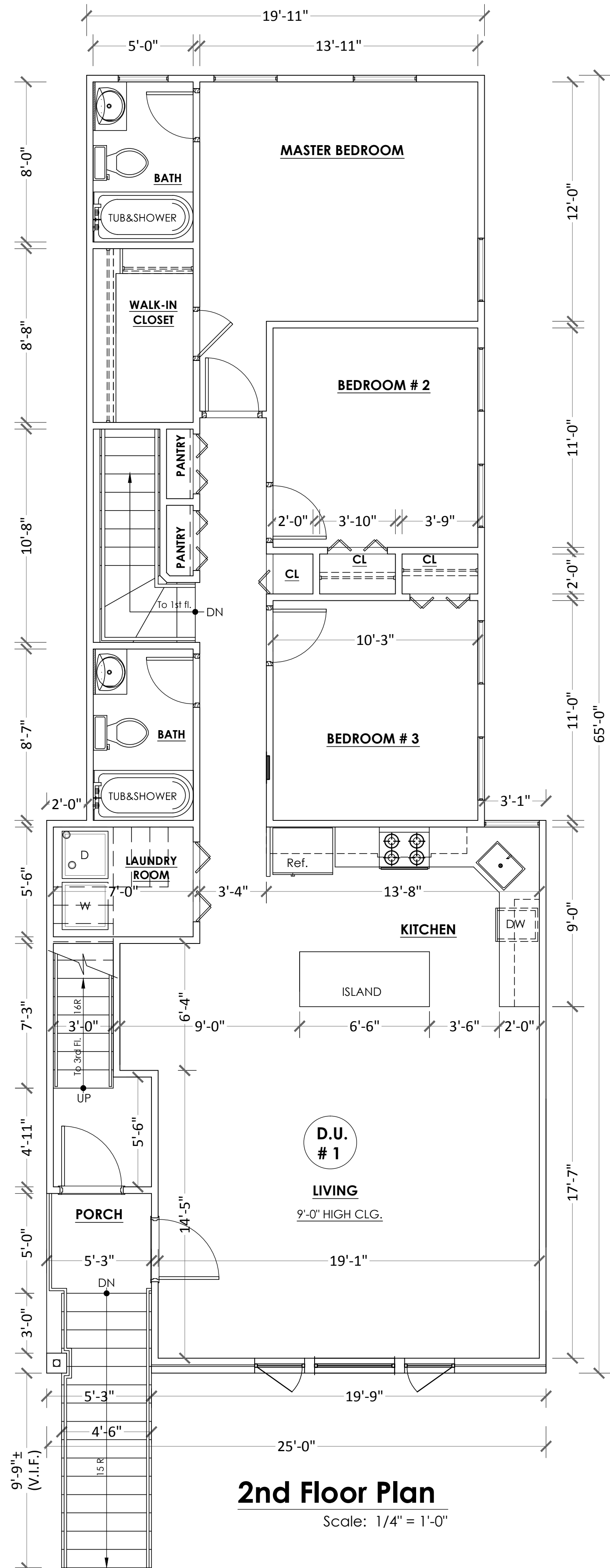


| | | |
|--|------------------------------|------------------------------|
| 2 | 11/19/19 | LAYOUT UPDATED |
| 1 | 10/14/19 | AS PER COMMENTS |
| PROJECT | | |
| SUB-DIVISION AND TWO NEW 2-FAMILY HOUSES | | |
| BLOCK 17002, LOT 1 43 BELMONT AVENUE JERSEY CITY, NJ | | |
| ALAN FELD ARCHITECT | | |
| 930 NEWARK AVENUE SUITE 401 JERSEY CITY, NJ 07306 | | |
| (201) 963-5877 alan@afarchitect.com | | |
| NEW YORK NEW JERSEY | REG. ARCH LICENSE NO. 013255 | REG. ARCH LICENSE NO. C-6880 |
| DRAWING TITLE | | |
| SITE DETAILS | | |
| PROJECT NO. | 19-4002 | SCALE AS NOTED |
| DRAWN BY | A P | DATE 04-01-2019 |
| SEAL | | DRAWING NO. |
| A-2 | | |
| OF 6 | | |

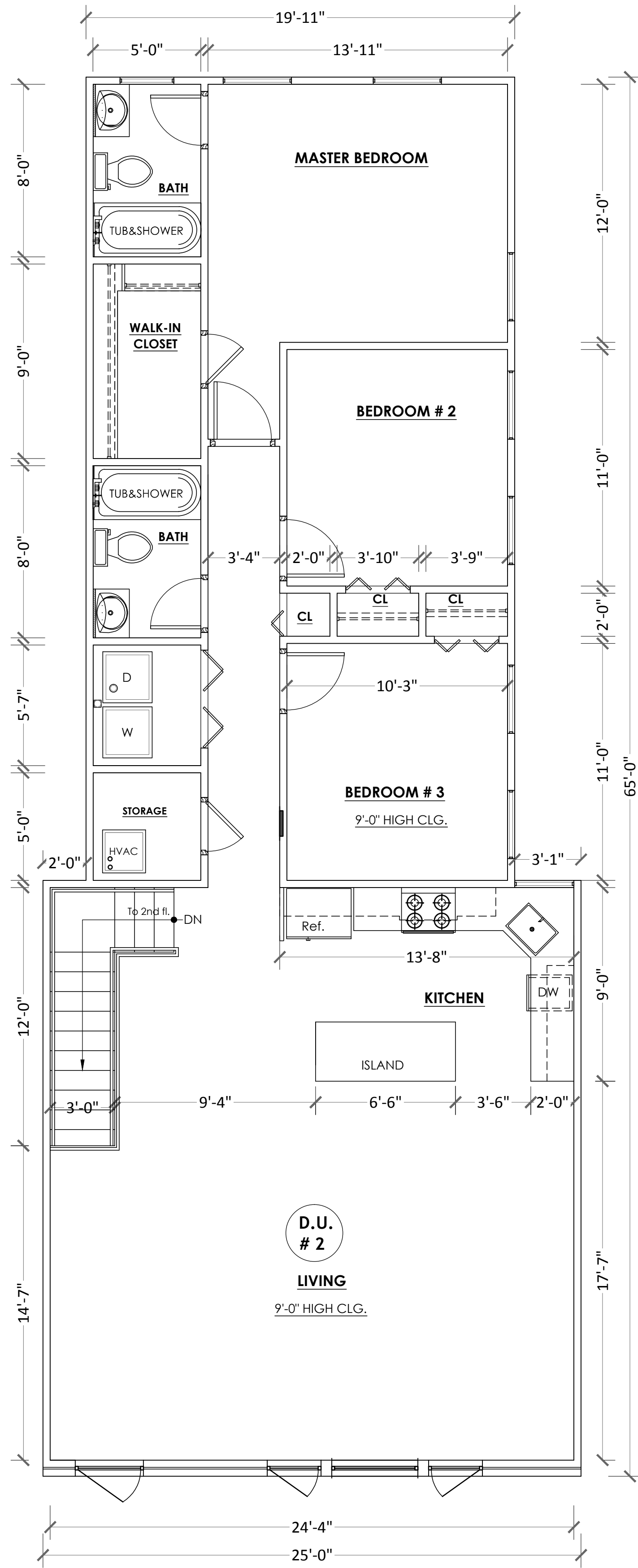


1st Floor Plan
Scale: 1/4" = 1'-0"

LOT 1.01

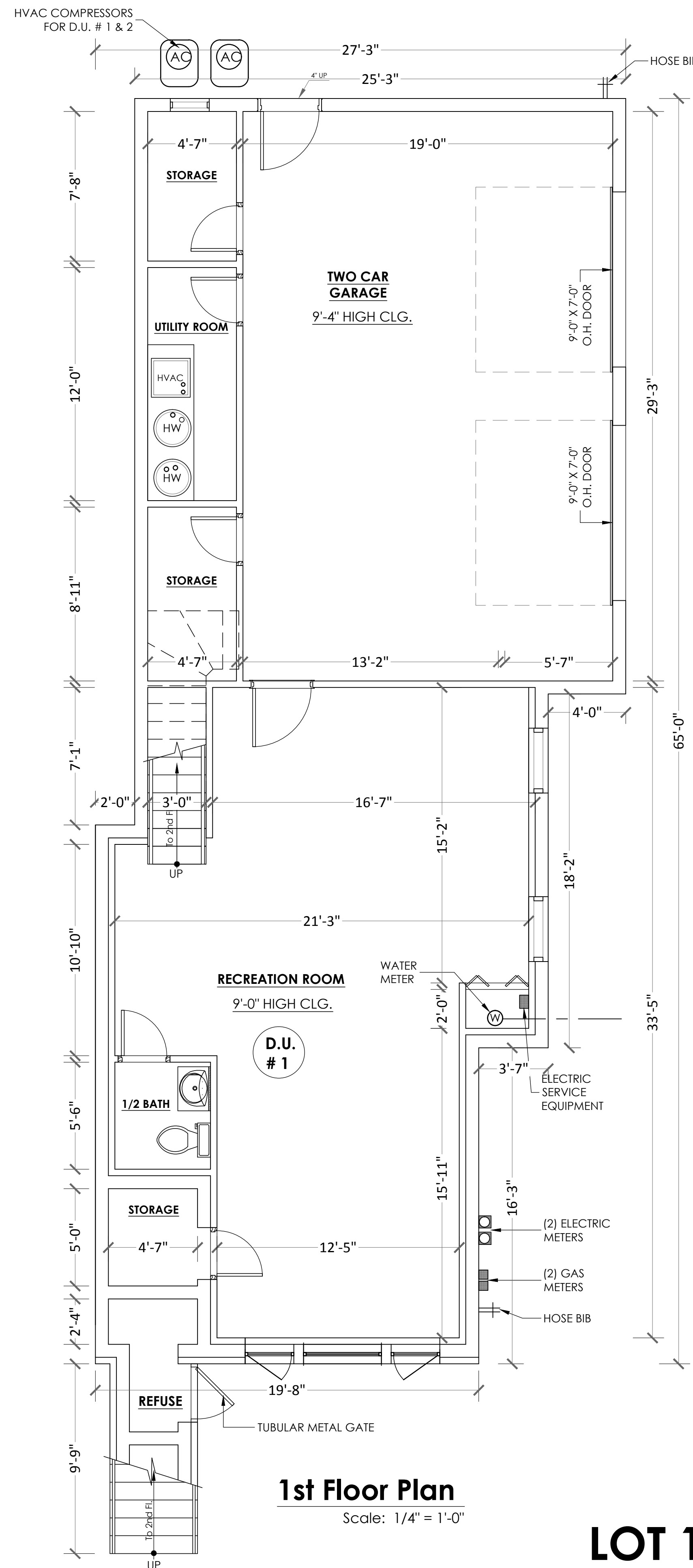


2nd Floor Plan
Scale: 1/4" = 1'-0"

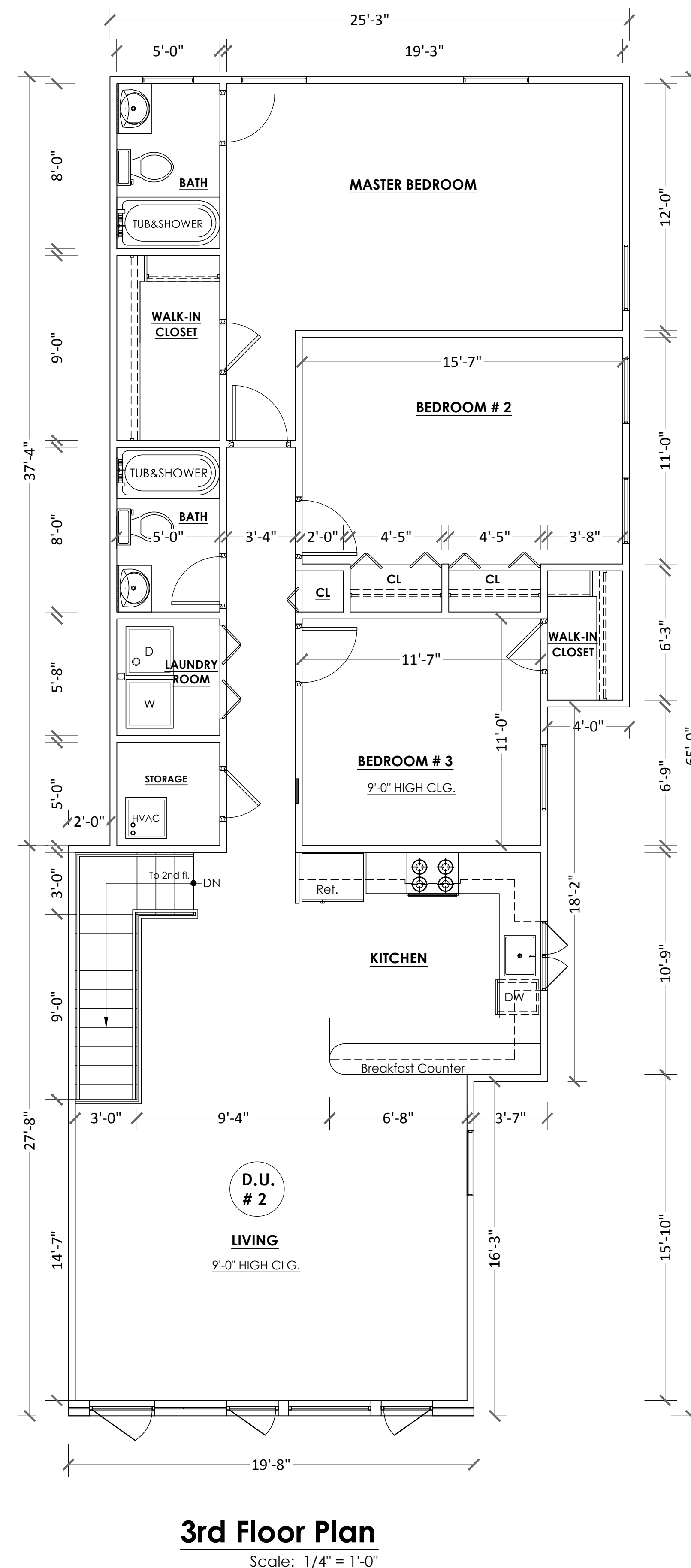
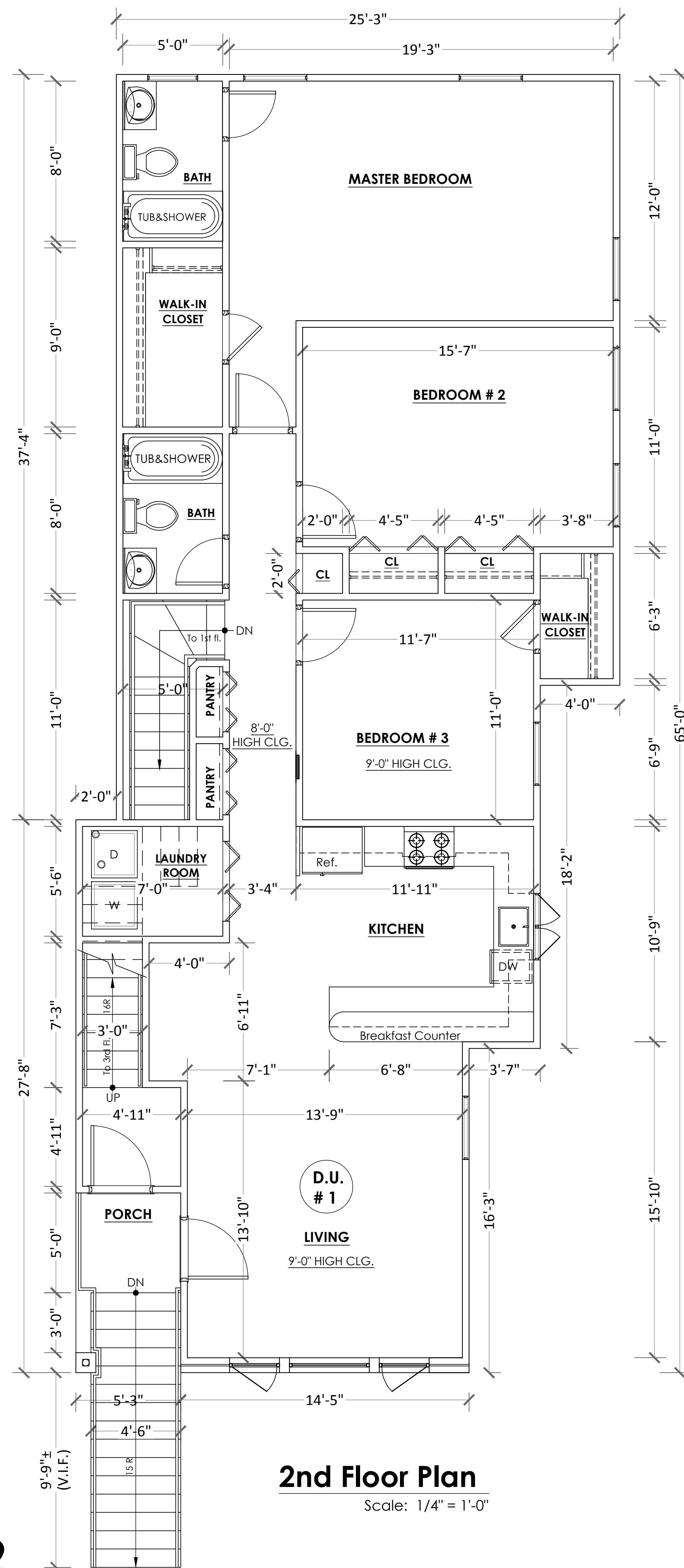


3rd Floor Plan
Scale: 1/4" = 1'-0"

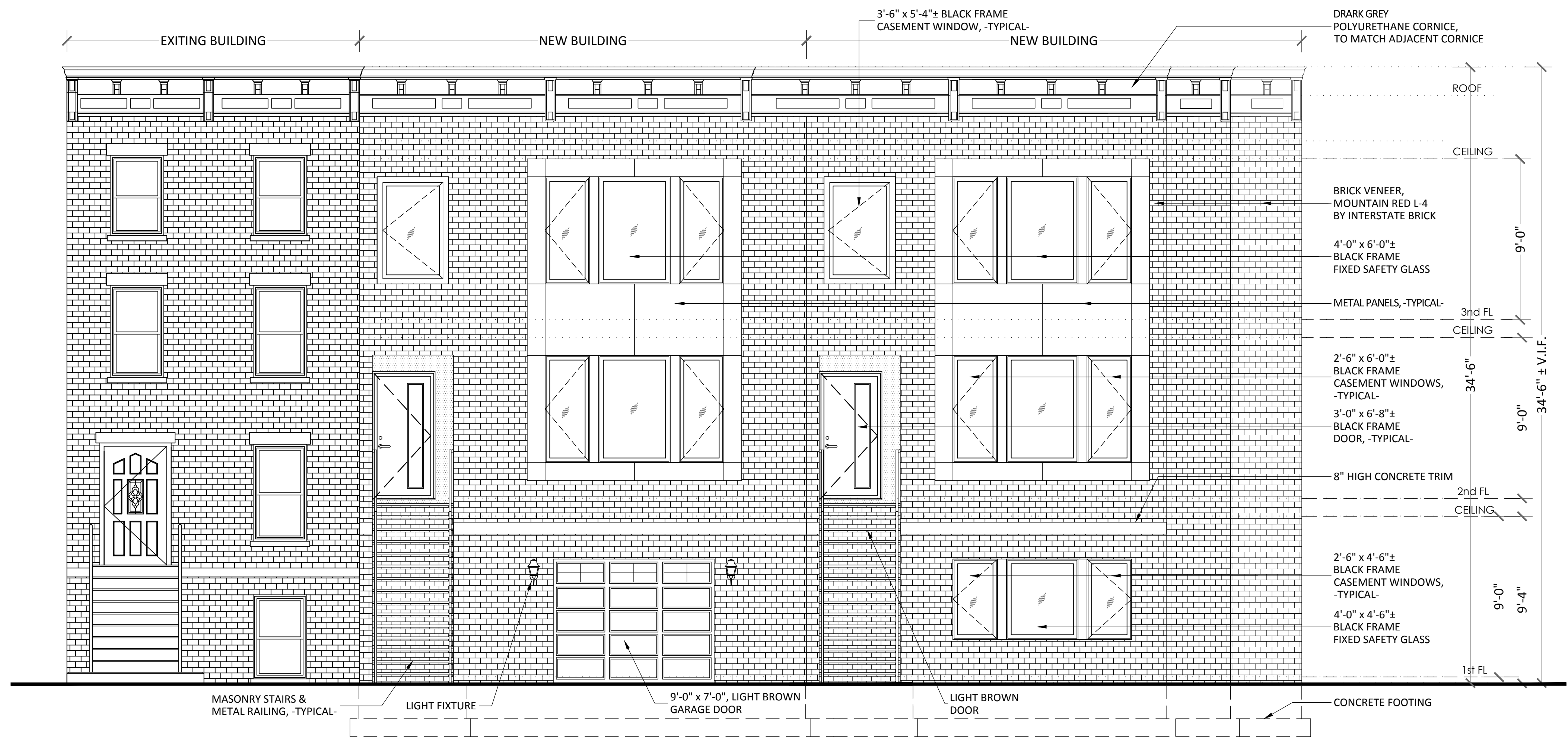
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|--|------------------------------|-----------------|
| 2 | 11/19/19 | LAYOUT UPDATED |
| 1 | 10/14/19 | AS PER COMMENTS |
| PROJECT | | |
| SUB-DIVISION AND TWO NEW 2-FAMILY HOUSES | | |
| BLOCK 17002, LOT 1 | | |
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| JERSEY CITY, NJ | | |
| ALAN FELD ARCHITECT | | |
| 930 NEWARK AVENUE | | |
| SUITE 401 | | |
| JERSEY CITY, NJ 07306 | | |
| (201) 963-5877 | | |
| alan@afarchitect.com | | |
| NEW YORK | REG. ARCH LICENSE NO. 013255 | |
| NEW JERSEY | REG. ARCH LICENSE NO. C-6880 | |
| DRAWING TITLE | | |
| LOT 1.01 FLOOR PLANS | | |
| PROJECT NO. | 19-4002 | SCALE AS NOTED |
| DRAWN BY | A P | DATE 04-01-2019 |
| SEAL | | DRAWING NO. |
| A-3 | | |
| OF 6 | | |



LOT 1.02



| 2 | 11/19/19 | LAYOUT UPDATED |
|--|----------|--------------------|
| 1 | 10/14/19 | AS PER COMMENTS |
| NO. | DATE | ISSUE AND REVISION |
| PROJECT | | |
| SUB-DIVISION AND TWO NEW 2-FAMILY HOUSES | | |
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| 43 BELMONT AVENUE | | |
| JERSEY CITY, NJ | | |
| ALAN FELD | | |
| ARCHITECT | | |
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| SUITE 401 | | |
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| (201) 963-5877 | | |
| alan@afarchitect.com | | |
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| REG. ARCH. LICENSE NO. C-6880 | | |
| DRAWING TITLE | | |
| LOT 1.02 FLOOR PLANS | | |
| PROJECT NO. | 19-4002 | SCALE |
| DRAWN BY | A P | DATE |
| SEAL | | 04-01-2019 |
| | | DRAWING NO. |
| A-4 | | |
| OF 6 | | |



North Elevation
Scale: 1/4" = 1'-0"

LOT 1.01 & LOT 1.02



South Elevation
Scale: 1/4" = 1'-0"



EXISTING BLDGS

PROPOSED BLDG
LOCATION

2 11/19/19 LAYOUT UPDATED
1 10/14/19 AS PER COMMENTS

PROJECT
SUB-DIVISION AND
TWO NEW 2-FAMILY HOUSES

BLOCK 17002, LOT 1
43 BELMONT AVENUE
JERSEY CITY, NJ

ALAN FELD
ARCHITECT

930 NEWARK AVENUE
SUITE 401
JERSEY CITY, NJ 07306

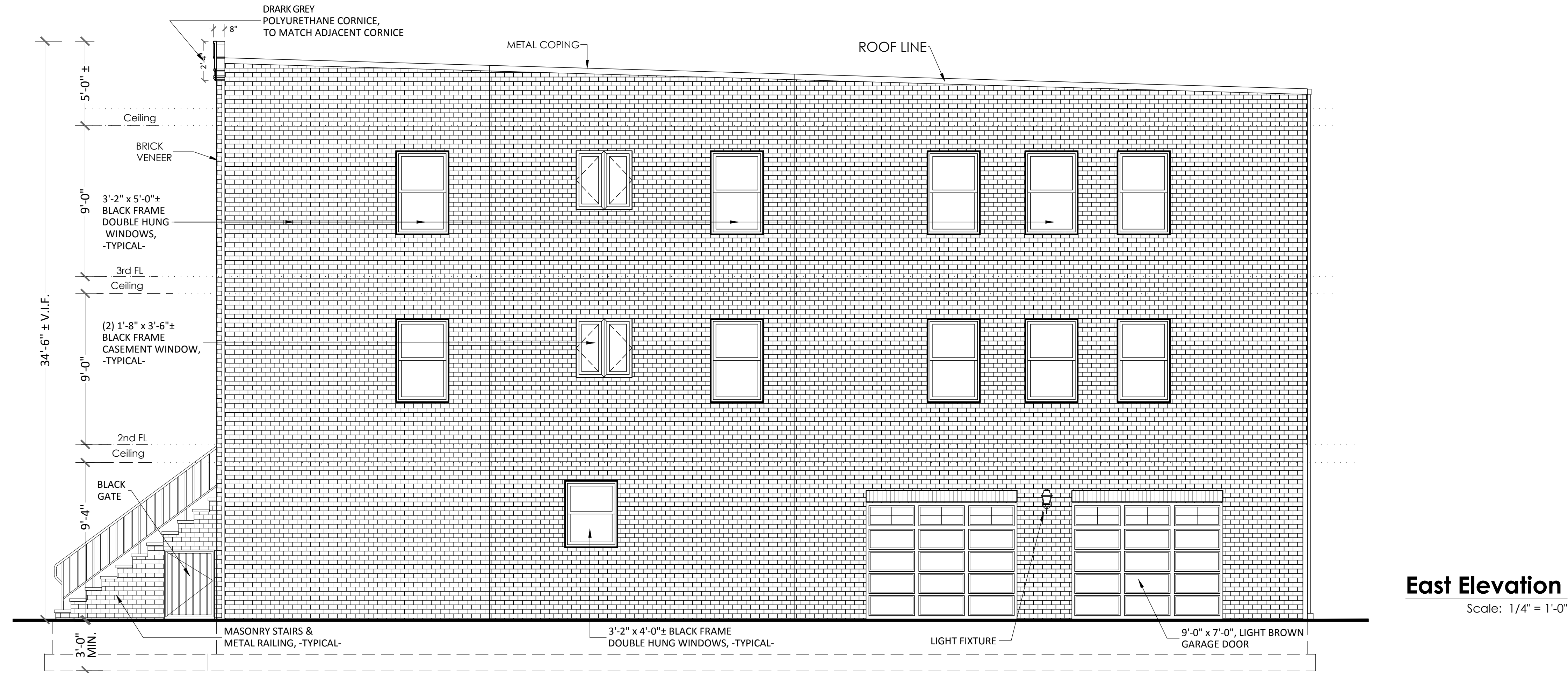
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alan@afarchitect.com

NEW YORK REG. ARCH. LICENSE NO. 013255
NEW JERSEY REG. ARCH. LICENSE NO. C-6880

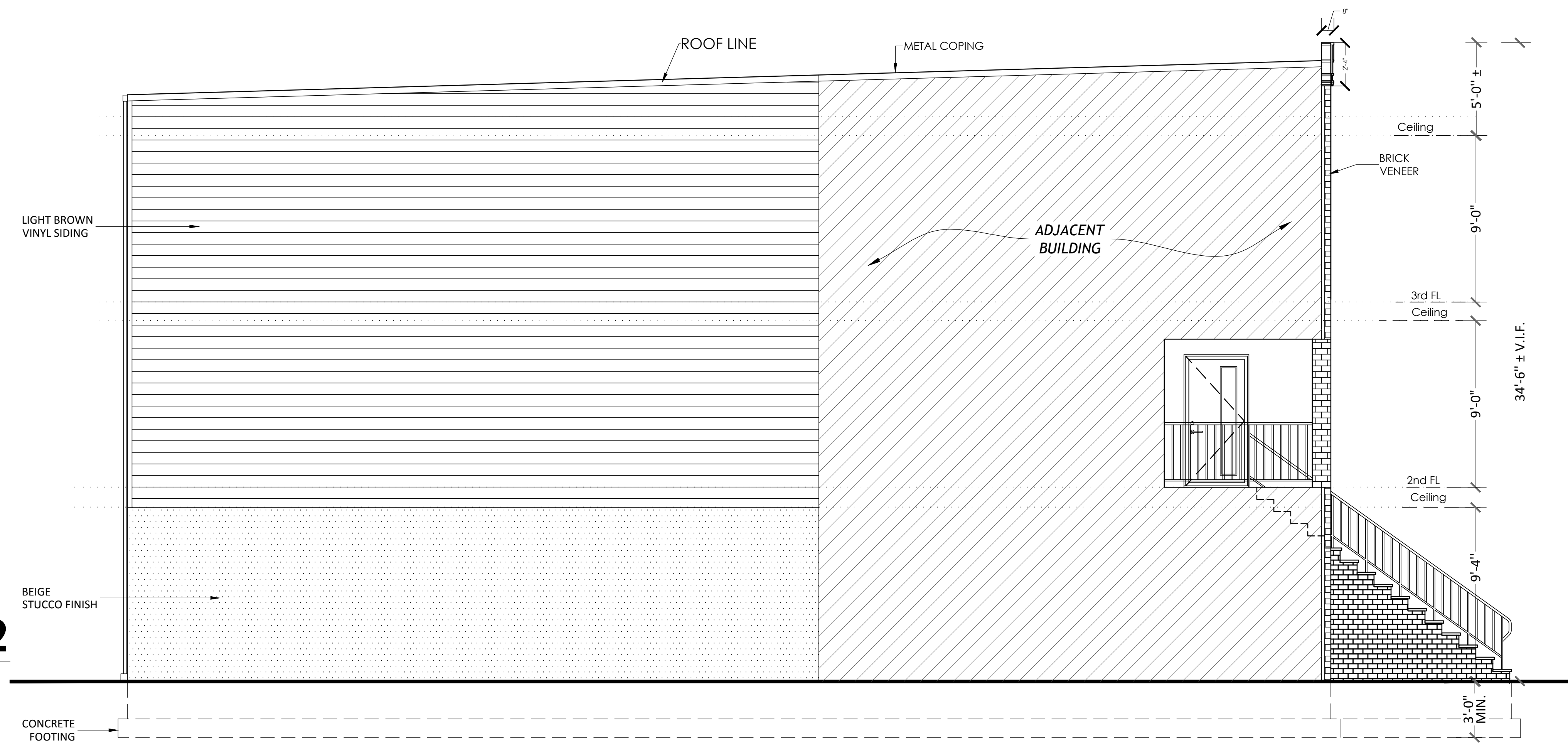
DRAWING TITLE
NORTH ELEVATION
SOUTH ELEVATION

PROJECT NO. 19-4002 SCALE AS NOTED
DRAWN BY A P DATE 04-01-2019
SEAL DRAWING NO.

A-5
OF 6



East Elevation
Scale: 1/4" = 1'-0"



West Elevation
Scale: 1/4" = 1'-0"

LOT 1.01 & LOT 1.02

| 2 | 11/19/19 | LAYOUT UPDATED |
|--|------------------------------|--------------------|
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| DRAWING TITLE | | |
| EAST ELEVATION | | |
| WEST ELEVATION | | |
| PROJECT NO. | 19-4002 | SCALE AS NOTED |
| DRAWN BY | A P | DATE 04-01-2019 |
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| OF 6 | | |