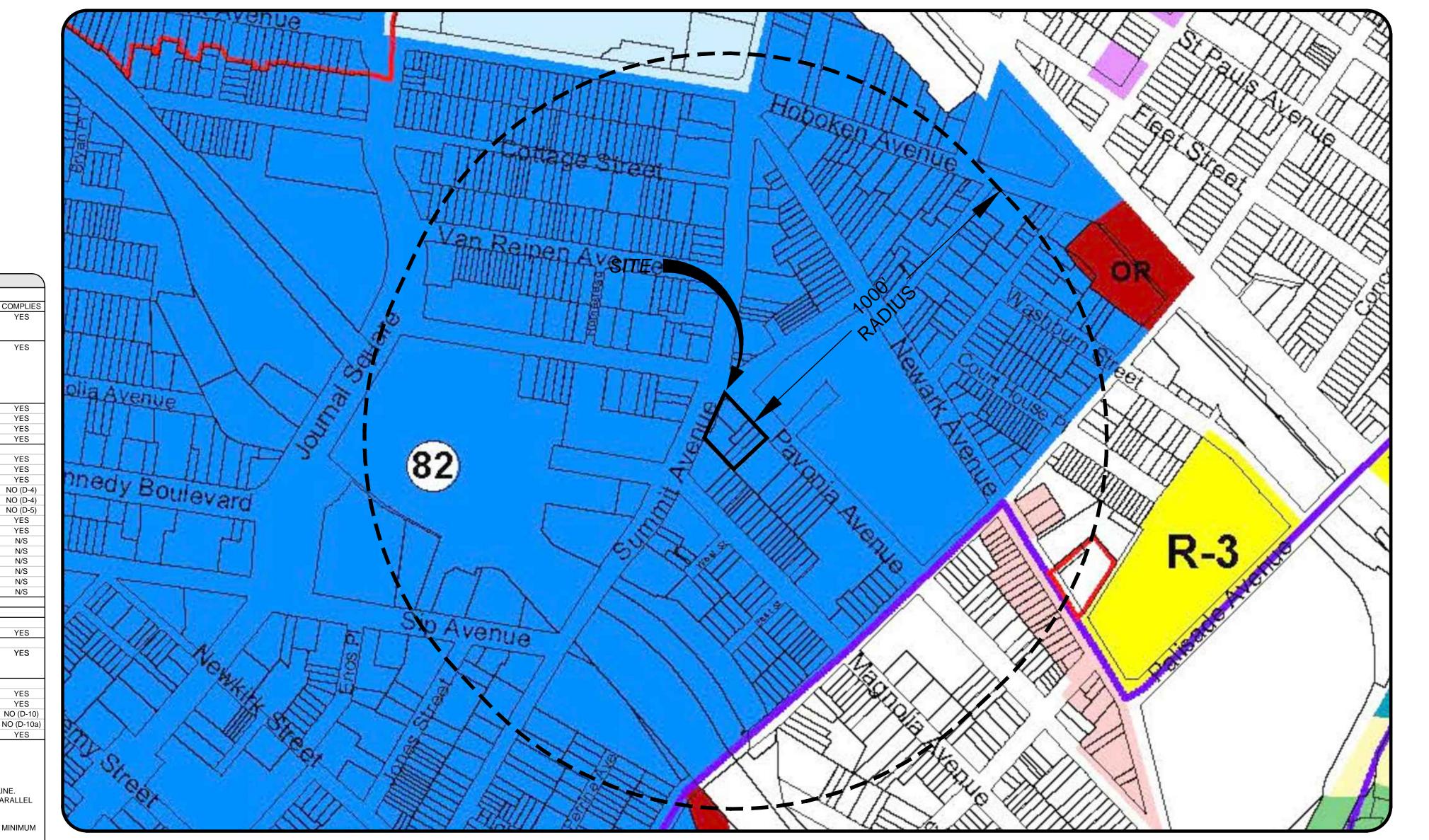
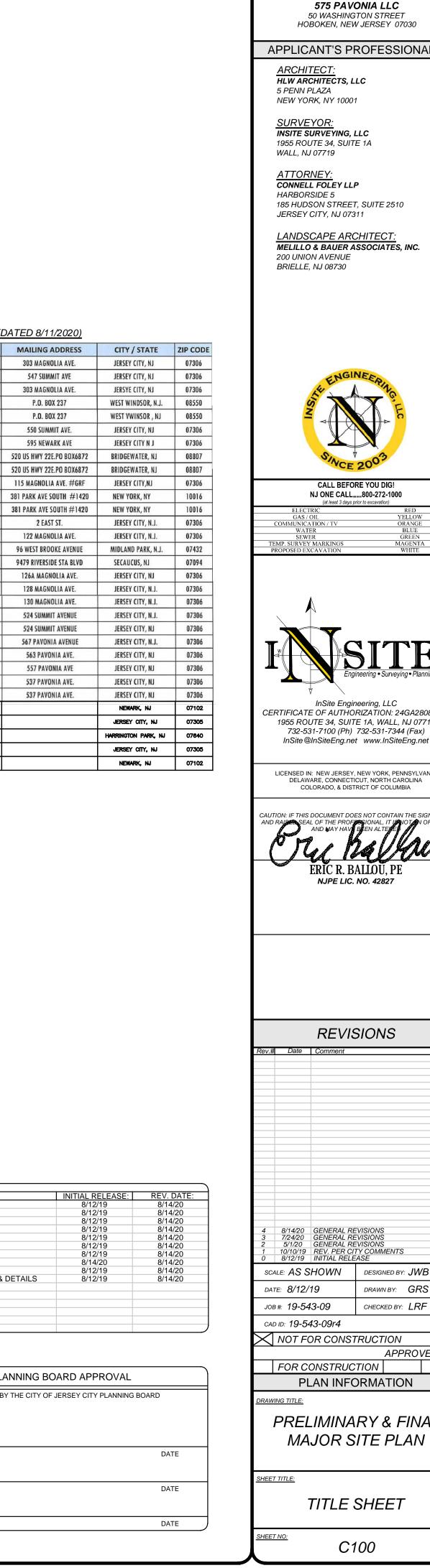
PRELIMINARY & FINAL MAJOR SITE PLAN **FOR** JOURNAL SQUARE URBY

BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01) TAX MAP SHEET #96 532 SUMMIT AVENUE AND 571-573-575-577 PAVONIA AVENUE CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY



BLOCK	LOT	QUAL	PROPERTY LOCATION	OWNERS NAME	MAILING ADDRESS	CITY / STATE	ZIP CODE
7904	9		549 SUMMIT AVE.	549 SUMMIT AVE REALTY ACQ,LLC	303 MAGNOLIA AVE.	JERSEY CITY, NJ	07306
7904	10		547 SUMMIT AVE	547 SUMMIT AVENUE LLC	547 SUMMIT AVE	JERSEY CITY, NJ	07306
7904	11		594 PAVONIA AVE.	594 PAVONIA AVE. LLC.	303 MAGNOLIA AVE.	JERSYE CITY, NJ	07306
8001	24		544 SUMMIT AVENUE	NEWIN CAPITAL LLC	P.O. BOX 237	WEST WINDSOR, N.J.	08550
8001	25		546 SUMMIT AVE	NEWIN CAPITAL LLC	P.O. BOX 237	WEST VWINSOR, NJ	08550
8001	26		550 SUMMIT AVE.	SUMMIT AVE.PROFESSIONAL CENTER COND	550 SUMMIT AVE.	JERSEY CITY, NJ	07306
8002	1		595 NEWARK AVE.	COUNTY OF HUDSON	595 NEWARK AVE	JERSEY CITY N J	07306
9501	4.01		MAGNOLIA & PAVONIA AVE	JOURNAL SQUARED(J2)CONDO ASSOC	520 US HWY 22E.PO BOX6872	BRIDGEWATER, NJ	08807
9501	4.01	C0003	595 PAVONIA AVE.	JOURNAL SQUARE ASSOCIATES, LLC	520 US HWY 22E.PO BOX6872	BRIDGEWATER, NJ	08807
9605	1		125 MAGNOLIA AVE.	115 & 125 MAGNOLIA AVE., LLC	115 MAGNOLIA AVE. #GRF	JERSEY CITY,NJ	07306
9606	18		116 MAGNOLIA AVE.	MAGNOLIA HOTEL, LLC	381 PARK AVE SOUTH #1420	NEW YORK, NY	10016
9606	19		118 MAGNOLIA AVE.	MAGNOLIA HOTEL, LLC	381 PARK AVE SOUTH #1420	NEW YORK, NY	10016
9606	20		120 MAGNOLIA AVE.	KOLOMBARIS, CAROLYN	2 EAST ST.	JERSEY CITY, N.J.	07306
9606	21		122 MAGNOLIA AVE.	SIMEONE,GILDA DE ANGELIS	122 MAGNOLIA AVE.	JERSEY CITY, N.J.	07306
9606	22		124 MAGNOLIA AVE.	ELIYA, NABIL	96 WEST BROOKE AVENUE	MIDLAND PARK, N.J.	07432
9606	23		126 MAGNOLIA AVE.	MAGHAM,S.&LAVU,S.&AELURI,P.	9479 RIVERSIDE STA BLVD	SECAUCUS, NJ	07094
9606	24		126A MAGNOLIA AVE.	BATTAGLIA, JOHN B. & HAUER, MELISSA	126A MAGNOLIA AVE.	JERSEY CITY, NJ	07306
9606	25		128 MAGNOLIA AVE.	HARBAS, ELLY	128 MAGNOLIA AVE.	JERSEY CITY, N.J.	07306
9606	26		130 MAGNOLIA AVE.	KOUGIAS, ANTHANASIOS & DIMITRA	130 MAGNOLIA AVE.	JERSEY CITY, N.J.	07306
9606	27		132 MAGNOLIA AVE.	ST DEMETRIOS GREEK ORTHODOX CHURCH	524 SUMMIT AVENUE	JERSEY CITY, N.J.	07306
9606	28		524 SUMMIT AVE.	ST. DEMETRIOS GREEK ORTHODOX CHURCH	524 SUMMIT AVENUE	JERSEY CITY, NJ	07306
9606	36		567 PAVONIA AVE.	COUNTY OF HUDSON	567 PAVONIA AVENUE	JERSEY CITY, N.J.	07306
9606	37		563 PAVONIA AVE.	THERESA GIFFORD & ETHALS	563 PAVONIA AVE.	JERSEY CITY, NJ	07306
9606	38		557 PAVONIA AVE.	PAVONIA AVE JC PARTNERS LLC	557 PAVONIA AVE	JERSEY CITY, NJ	07306
9606	39		555 PAVONIA AVE.	UT. JOSEPH'S HOME FOR THE BLIND	537 PAVONIA AVE.	JERSEY CITY, NJ	07306
9606	40		553 PAVONIA AVE.	ST. JOSEPH'S HOME-SISTERS OF ST.JOS	537 PAVONIA AVE.	JERSEY CITY, NJ	07306
			80 PARK PLAZA	P.S.E.&G.		NEWARK, NJ	07102
			2121 KENNEDY BLVD.	COMCAST CABLEVISION		JERSEY CITY, NJ	07305
			200 HOOK ROAD	UNITED WATER COMPANY		HARRINGTON PARK, NJ	07640
			555 ROUTE 440	JERSEY CITY M.U.A.		JERSEY CITY, NJ	07305
			540 BROAD STREET	VERIZON TELEPHONE		NEWARK, NJ	07102





ZONING COMPLIANCE CHART JOURNAL SQUARE 2060 REDEVELOPMENT PLAN (JSRP) - ZONE 3: COMMERCIAL CENTER

JSRP §VI-C.2 | ACCESSORY USES

JSRP §VI-C.4 MIN. LOT AREA (SF)

JSRP §VI-C.4 MIN. LOT WIDTH (FT)

JSRP §VI-C.4 MIN. LOT DEPTH (FT)

JSRP §VI-C.4 MAX. SHAPE FACTOR (F

PRINCIPAL BUILDING

JSRP §VI-C.8 MIN. FRONT YARD SETBACK (FT) - PAVONIA AVENUE JSRP §VI-C.8 MIN. FRONT YARD SETBACK (FT) - SUMMIT AVENUE JSRP §III-D.5 MAX. DIAGONAL DIMENSION OF TOWER (FT)

DENSITY ZONE (TO LOT 27-ZONE 4A)

MIN. SIDE YARD SETBACK (FT) - ADJACENT LOWER

MIN. SETBACK (FT)- ADJACENT REAR YARD (LOT 27

RESTAURANT, &

THER USES AS NOT

FENCES & SEATING WALLS, LANDSCAPE

FEATURES, IMPROVED OPEN SPACE, SIGNS

ROOFTOP RECREATION

30' TO TOWER

30' TO TOWER BASE

19,195 (0.441 AC)

RESTAURANT

FEATURES, IMPROVED OPEN SPACE, SIGNS,

ROOFTOP RECREATION

SIDEWALK CAFE

NO CHANGE

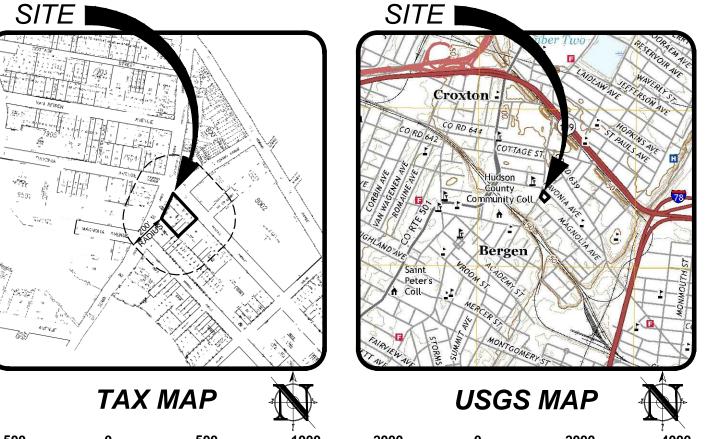
NO CHANGE

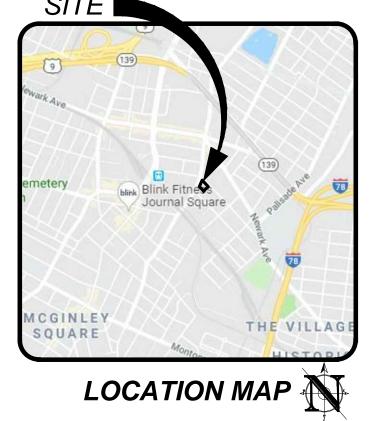
NO CHANGE

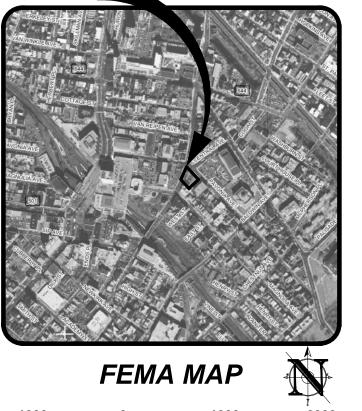
CAFE/RESTAURANT AND AN ILLUMINATED SIGN IS PROPOSED FOR THE RESIDENTIAL USE.
(D-11) FORESTRY STANDARDS: SEVEN (7) STREET TREES ARE REQUIRED ALONG PAVONIA AVENUE. TWO (2) STREET TREES ARE PROPOSED.
DESIGN WAIVERS PREVIOUSLY APPROVED:
(W-1) JSRP §III-A.18: ALL STOREFRONT FACADES SHALL INCORPORATE A MINIMUM OF 80% TRANSPARENT GLASS. 56% IS PROPOSED.
(W-2) JSRP §III-B.1: BUILDINGS THAT ARE TALLER THAN ADJACENT BUILDINGS BY 50% OR MORE SHALL UTILIZE A CONTEXTUAL BUILDING HEIGHT FEATURE IN
THE FACADE DESIGN. THE CONTEXTUAL HEIGHT FEATURE SHALL MARK THE AVERAGE BUILDING HEIGHT OF ADJACENT STRUCTURES WITHIN THE
FACADE DESIGN THROUGH A CHANGE IN MATERIAL, COLORS, A PROJECTION OR CANTILEVER, OR OTHER DESIGN ELEMENT TO ARTICULATE THE NEW
BUILDING TO ITS SMALLER NEIGHBORING STRUCTURES. NO CONTEXTUAL HEIGHT FEATURE IS PROPOSED.
(W-3) JSRP §III-D.10(e): NO MORE THAN FIFTEEN (15) PERCENT OF THE FIRST FLOOR STREET FRONTAGE AND NO MORE THAN 30 CONSECUTIVE LINEAR FEET
ALONG A PUBLIC RIGHT-OF-WAY MAY BE DEDICATED TO OTHER USES SUCH AS METER ROOMS, BLANK WALLS, EMERGENCY EXITS, ETC. 69.5 LINEAR
FEET ARE PROPOSED.
(W-4) JSRP §III-A.17: GROUND FLOOR STOREFRONT BULKHEADS BELOW THE DISPLAY WINDOWS SHALL BE A MAXIMUM OF 18 INCHES IN HEIGHT ABOVE
SIDEWALK GRADE. 3.5 FEET IS PROPOSED.

(D-10A) JSRP §IV-B: BUILDINGS WITH MULTIPLE USES SHALL HAVE NOT MORE THAN ONE (1) SIGN PER USE. TWO (2) SIGNS WERE PREVIOUSLY APPROVED FOR THE CAFE/RESTAURANT USE AND THREE (3) ARE NOW PROPOSED.

(W-1a) JSRP §III-A.18: ALL STOREFRONT FACADES SHALL INCORPORATE A MINIMUM OF 80% TRANSPARENT GLASS. 56% WAS PREVIOUSLY APPROVED AND







	JERSEY CITY MUNICIPAL UTILITIES AUTHORITY
	DIVISION OF SEWER ENGINEERING
	555 Rt. 440
	JERSEY CITY, NJ 07305
	(201)-432-1150
367	JERSEY CITY MUNICIPAL UTILITIES AUTHORITY
Wildeline	BUREAU OF WATER ENGINEERING
A VE	555 Rt. 440
	JERSEY CITY, NJ 07305
	(201)-432-1150
	, ,
	VERIZON
	114 PATERSON ST
	FLOOR 3
	PATERSON, NJ 07501
	(973)-925-2059
	COMCAST
	2121 KENNEDY BLVD.
	JERSEY CITY, NJ 07305
	(201)-526-9978
	(20.) 020 00.0
	PSE&G (ELECTRIC & GAS)
	325 COUNTY AVENUE
	SECAUCUS, NJ 07094
FEMA MAP	(800)-782-0067
△¾	

RING	C201	SITE PREPARA
	C301	SITE LAYOUT F
	C401	GRADING, DRA
	C800	CONSTRÚCTIC
	C801	CONSTRUCTIO
TIES AUTHORITY	C802	CONSTRUCTIO
	C900	SOIL EROSION
RING	C901	SOIL EROSION
		'

FINAL FOR SEWER DESIGN

82 : JOURNAL SQUARE 2060 REDEVELOPMENT PLAN

R-1: ONE AND TWO FAMILY HOUSING

NC: NEIGHBORHOOD COMMERCIAL

4: ST. JOHNS REDEVELOPMENT PLAN

R-3: MULIT-FAMILY MID-RISE

G: GOVERNMENT

302	CONSTRUCTION DETAILS	8/14/20	8/14/20
900	SOIL EROSION & SEDIMENT CONTROL PLAN	8/12/19	8/14/20
901	SOIL EROSION & SEDIMENT CONTROL NOTES & DETAILS	8/12/19	8/14/20
	PI ANNING BO	ARD APPROVAL	
	1 E/(((((())))	ANDAITHOVAL	
	APPROVED BY THE CITY OF	IERSEV CITY DI ANNING	BOARD
	ALTROVED BY THE OHT OF	DENOET OFF FEATURING	DOAND

APPROVED BY THE CITY OF JERSEY CI	TY PLANNING BOARD
BOARD CHAIRPERSON	DATE
BOARD SECRETARY	DATE

JOURNAL SQUARE

URBY

<u>ECT LOCATION:</u> BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01) 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENU

HOBOKEN, NEW JERSEY 07030

50 WASHINGTON STREET

HLW ARCHITECTS, LLC 5 PENN PLAZA

1955 ROUTE 34, SUITE 1A

JERSEY CITY, NJ 07311



NJ ONE CALL....800-272-1000

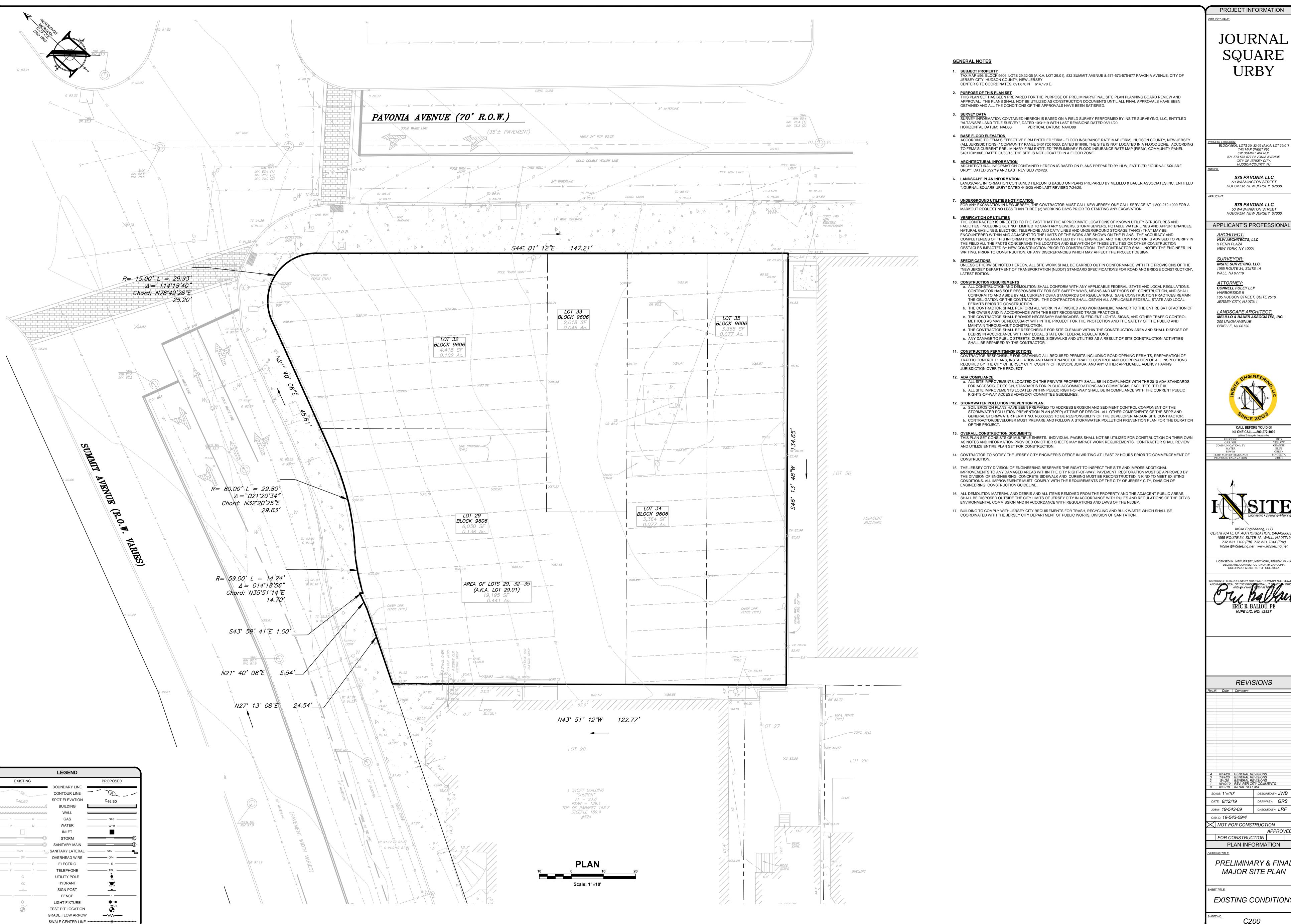
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax)

COLORADO, & DISTRICT OF COLUMBIA

8/12/19 INITIAL RELEAS SCALE: AS SHOWN DESIGNED BY: **JWB** DRAWN BY: GRS CHECKED BY: LRF

FOR CONSTRUCTION PLAN INFORMATION PRELIMINARY & FINAL

TITLE SHEET



JOURNAL SQUARE URBY

<u>BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01)</u> TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE

> 575 PAVONIA LLC 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030

575 PAVONIA LLC

50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030

APPLICANT'S PROFESSIONALS

ARCHITECT: HLW ARCHITECTS, LLC

5 PENN PLAZA NEW YORK, NY 10001

SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719

ATTORNEY: HARBORSIDE 5 185 HUDSON STREET, SUITE 2510 JERSEY CITY, NJ 07311

LANDSCAPE ARCHITECT: MELILLO & BAUER ASSOCIATES, INC. 200 UNION AVENUE



CALL BEFORE YOU DIG! NJ ONE CALL....800-272-1000

InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

REVISIONS

DESIGNED BY: JWB DRAWN BY: GRS JOB#: **19-543-09** CHECKED BY: LRF

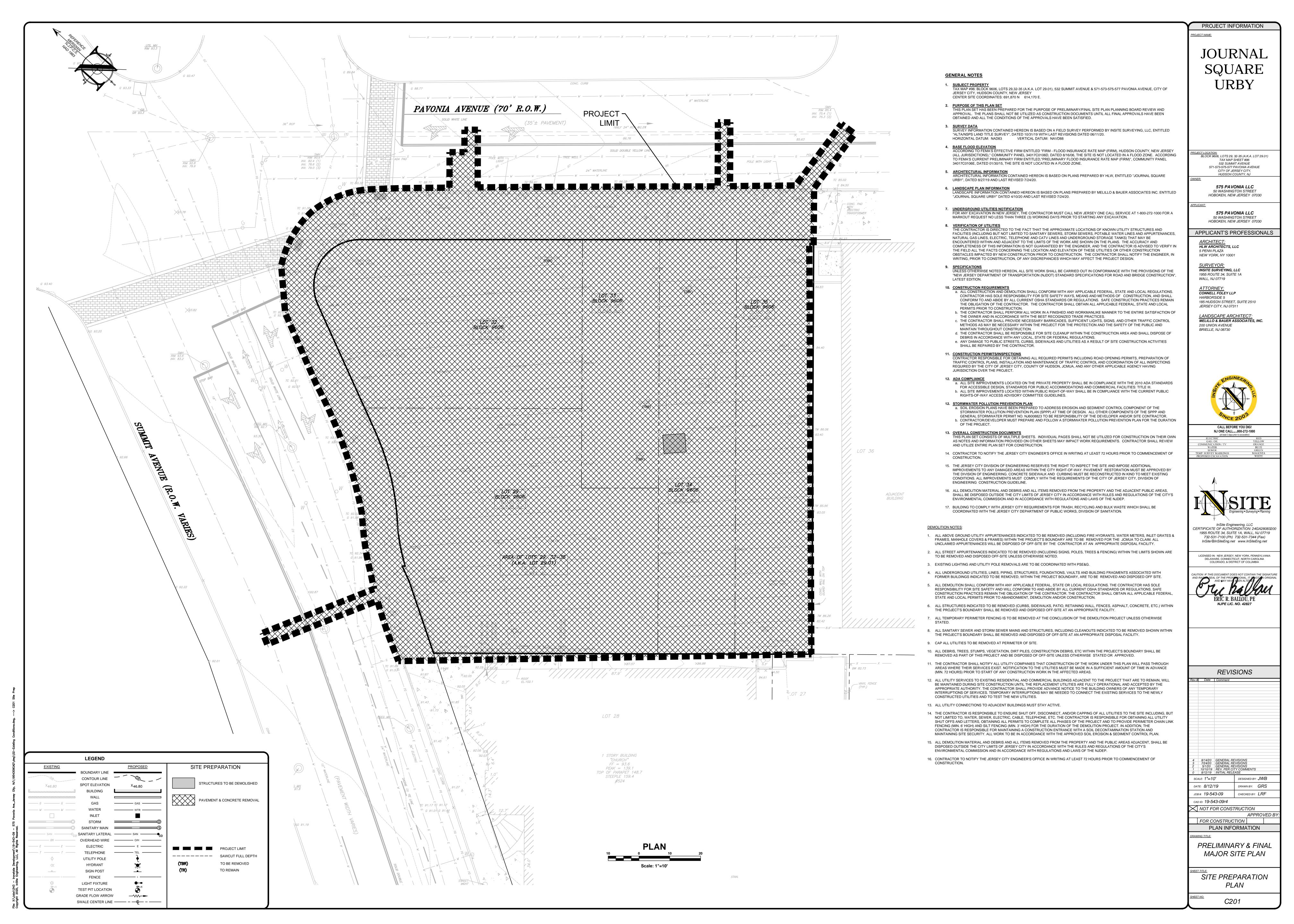
CAD ID: 19-543-09r4

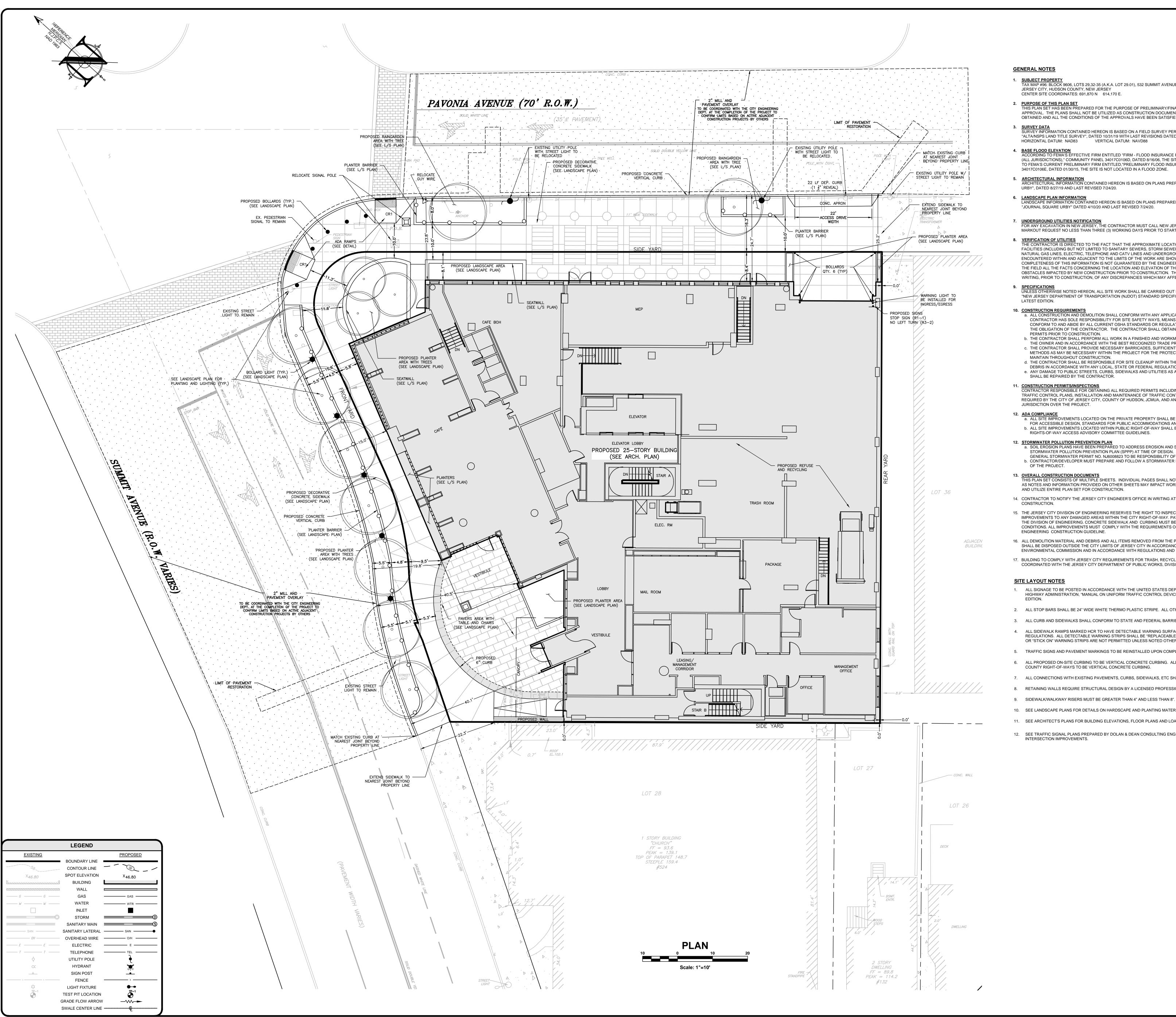
NOT FOR CONSTRUCTION FOR CONSTRUCTION

PLAN INFORMATION

MAJOR SITE PLAN

EXISTING CONDITIONS





GENERAL NOTES

- 1. <u>SUBJECT PROPERTY</u>
 TAX MAP #96: BLOCK 9606, LOTS 29,32-35 (A.K.A. LOT 29.01), 532 SUMMIT AVENUE & 571-573-575-577 PAVONIA AVENUE, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY CENTER SITE COORDINATES: 691,870 N 614,170 E.
- 2. PURPOSE OF THIS PLAN SET
 THIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN PLANNING BOARD REVIEW AND
- APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
- 3. SURVEY DATA
 SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "ALTA/NSPS LAND TITLE SURVEY", DATED 10/31/19 WITH LAST REVISIONS DATED 06/11/20.

HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88

- 4. BASE FLOOD ELEVATION
 ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM FLOOD INSURANCE RATE MAP (FIRM), HUDSON COUNTY, NEW JERSEY
- (ALL JURISDICTIONS)," COMMUNITY PANEL 34017C0106D, DATED 8/16/06, THE SITE IS NOT LOCATED IN A FLOOD ZONE. ACCORDING TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED, "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)", COMMUNITY PANEL 34017C0106E, DATED 01/30/15, THE SITE IS NOT LOCATED IN A FLOOD ZONE.
- 5. ARCHITECTURAL INFORMATION
 ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY HLW, ENTITLED "JOURNAL SQUARE URBY", DATED 8/27/19 AND LAST REVISED 7/24/20.
- 6. <u>LANDSCAPE PLAN INFORMATION</u>
 LANDSCAPE INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY MELILLO & BAUER ASSOCIATES INC. ENTITLED "JOURNAL SQUARE URBY" DATED 4/10/20 AND LAST REVISED 7/24/20.
- 7. UNDERGROUND UTILITIES NOTIFICATION OR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A
- 8. <u>VERIFICATION OF UTILITIES</u>
 THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES. ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN

MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.

WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.

- 9. SPECIFICATIONS
 UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION",
- LATEST EDITION. a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN
- PERMITS PRIOR TO CONSTRUCTION. b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES. c. THE CONTRACTOR SHALL PROVIDE NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS, AND OTHER TRAFFIC CONTROL
- METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF

THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL

- DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS. e. ANY DAMAGE TO PUBLIC STREETS, CURBS, SIDEWALKS AND UTILITIES AS A RESULT OF SITE CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE CONTRACTOR.
- CONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS, PREPARATION OF
- TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS REQUIRED BY THE CITY OF JERSEY CITY, COUNTY OF HUDSON, JCMUA, AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.

12. ADA COMPLIANCE a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS

- FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES: TITLE III. b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.
- 12. STORMWATER POLLUTION PREVENTION PLAN

 a. SOIL EROSION PLANS HAVE BEEN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND

GENERAL STORMWATER PERMIT NO. NJ6008823 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR.

13. OVERALL CONSTRUCTION DOCUMENTS
THIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN

b. CONTRACTOR/DEVELOPER MUST PREPARE AND FOLLOW A STORMWATER POLLUTION PREVENTION PLAN FOR THE DURATION

- AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.
- 14. CONTRACTOR TO NOTIFY THE JERSEY CITY ENGINEER'S OFFICE IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF
- 15. THE JERSEY CITY DIVISION OF ENGINEERING RESERVES THE RIGHT TO INSPECT THE SITE AND IMPOSE ADDITIONAL IMPROVEMENTS TO ANY DAMAGED AREAS WITHIN THE CITY RIGHT-OF-WAY. PAVEMENT RESTORATION MUST BE APPROVED BY THE DIVISION OF ENGINEERING, CONCRETE SIDEWALK AND CURBING MUST BE RECONSTRUCTED IN KIND TO MEET EXISTING
- ENGINEERING CONSTRUCTION GUIDELINE. 16. ALL DEMOLITION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE ADJACENT PUBLIC AREAS. SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH RULES AND REGULATIONS OF THE CITY'S

CONDITIONS. ALL IMPROVEMENTS MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF JERSEY CITY, DIVISION OF

ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH REGULATIONS AND LAWS OF THE NJDEP. 17. BUILDING TO COMPLY WITH JERSEY CITY REQUIREMENTS FOR TRASH, RECYCLING AND BULK WASTE WHICH SHALL BE COORDINATED WITH THE JERSEY CITY DEPARTMENT OF PUBLIC WORKS, DIVISION OF SANITATION.

SITE LAYOUT NOTES

- 1. ALL SIGNAGE TO BE POSTED IN ACCORDANCE WITH THE UNITED STATES DEPARTMENT OF TRANSPORTATION-FEDERAL HIGHWAY ADMINISTRATION, "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREET AND HIGHWAYS (MUTCD), LATEST
- 2. ALL STOP BARS SHALL BE 24" WIDE WHITE THERMO PLASTIC STRIPE. ALL OTHER STRIPING MAY BE EPOXY.
- 3. ALL CURB AND SIDEWALKS SHALL CONFORM TO STATE AND FEDERAL BARRIER FREE DESIGN STANDARDS. 4. ALL SIDEWALK RAMPS MARKED HCR TO HAVE DETECTABLE WARNING SURFACE INSTALLED IN ACCORDANCE WITH ADA
- REGULATIONS. ALL DETECTABLE WARNING STRIPS SHALL BE "REPLACEABLE WET-SET" OR EQUIVALENT. SURFACE MOUNT OR "STICK ON" WARNING STRIPS ARE NOT PERMITTED UNLESS NOTED OTHERWISE.
- 5. TRAFFIC SIGNS AND PAVEMENT MARKINGS TO BE REINSTALLED UPON COMPLETION OF PROJECT.
- 6. ALL PROPOSED ON-SITE CURBING TO BE VERTICAL CONCRETE CURBING. ALL PROPOSED CURBING WITHIN MUNICIPAL OR COUNTY RIGHT-OF-WAYS TO BE VERTICAL CONCRETE CURBING.
- 7. ALL CONNECTIONS WITH EXISTING PAVEMENTS, CURBS, SIDEWALKS, ETC SHALL BE SAW CUT.
- 8. RETAINING WALLS REQUIRE STRUCTURAL DESIGN BY A LICENSED PROFESSIONAL ENGINEER PRIOR TO CONSTRUCTION.
- 10. SEE LANDSCAPE PLANS FOR DETAILS ON HARDSCAPE AND PLANTING MATERIALS.
- 11. SEE ARCHITECT'S PLANS FOR BUILDING ELEVATIONS, FLOOR PLANS AND LOADING DOCK.
- 12. SEE TRAFFIC SIGNAL PLANS PREPARED BY DOLAN & DEAN CONSULTING ENGINEERS FOR TRAFFIC SIGNAL RELOCATION AND INTERSECTION IMPROVEMENTS.

PROJECT INFORMATION

JOURNAL

<u>BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01)</u> TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE

575 PAVONIA LLC 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030

575 PAVONIA LLC 50 WASHINGTON STREET

HOBOKEN, NEW JERSEY 07030

APPLICANT'S PROFESSIONALS

ARCHITECT: HLW ARCHITECTS, LLC

5 PENN PLAZA NEW YORK, NY 10001

SURVEYOR:
INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A

JERSEY CITY, NJ 07311

WALL, NJ 07719

ATTORNEY: HARBORSIDE 5

185 HUDSON STREET, SUITE 2510

LANDSCAPE ARCHITECT: MELILLO & BAUER ASSOCIATES, INC. 200 UNION AVENUE BRIELLE, NJ 08730



CALL BEFORE YOU DIG! NJ ONE CALL....800-272-1000

InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax)

InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA

DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

REVISIONS

SCALE: 1"=10' DESIGNED BY: JWB DATE: 8/12/19 DRAWN BY: GRS

JOB#: **19-543-09** CHECKED BY: LRF

CAD ID: **19-543-09r4** NOT FOR CONSTRUCTION

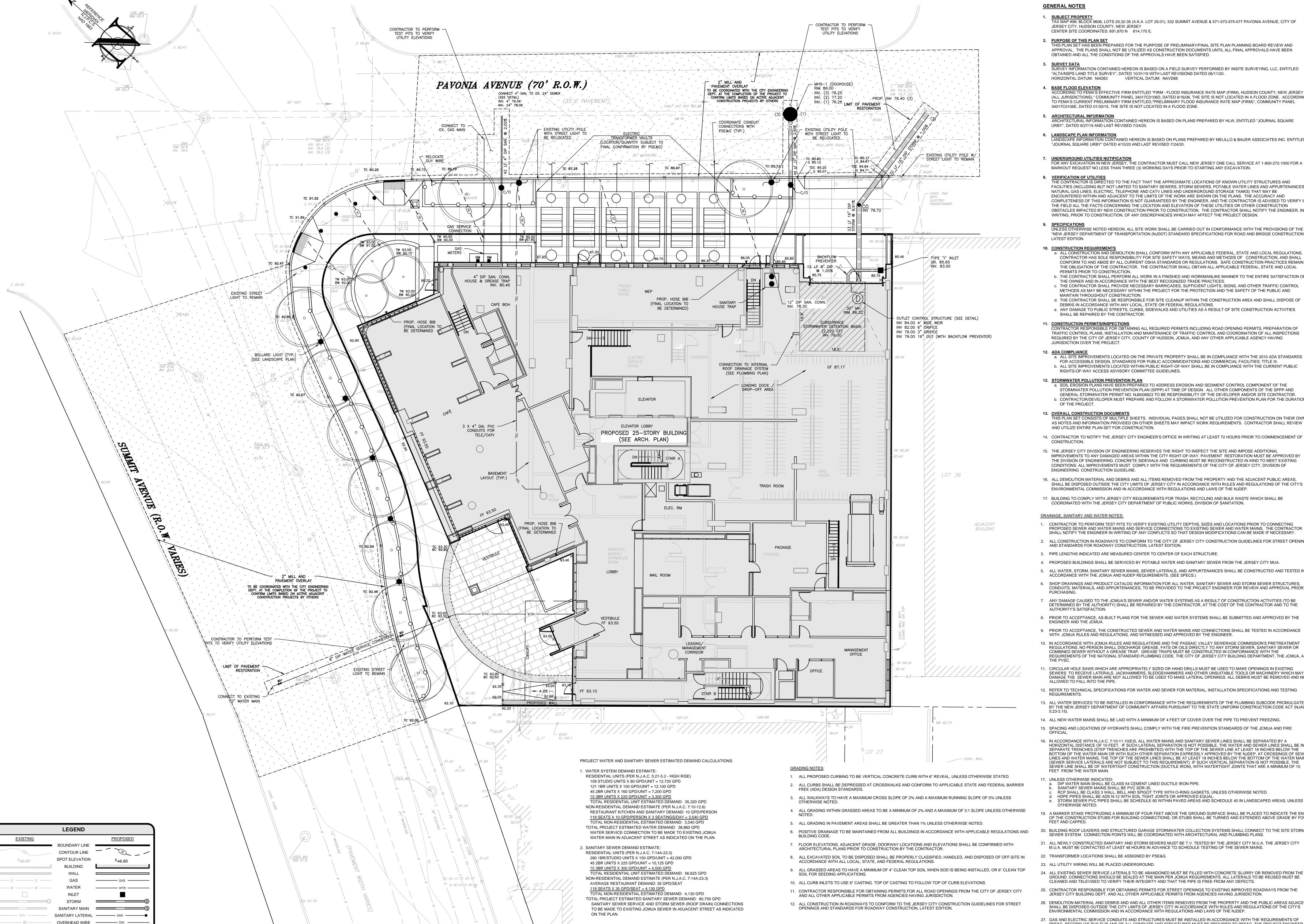
FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL

MAJOR SITE PLAN

SITE LAYOUT PLAN



FI FCTRIC

TELEPHONE

UTILITY POLE

HYDRANT

SIGN POST

FENCE

LIGHT FIXTURE

TEST PIT LOCATION GRADE FLOW ARROW

SWALE CENTER LINE -----

-₩-**-**

- SUBJECT PROPERTY
 TAX MAP #96: BLOCK 9606, LOTS 29,32-35 (A.K.A. LOT 29.01), 532 SUMMIT AVENUE & 571-573-575-577 PAVONIA AVENUE, CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY CENTER SITE COORDINATES: 691,870 N 614,170 E.
 - 2. PURPOSE OF THIS PLAN SET HIS PLAN SET HAS BEEN PREPARED FOR THE PURPOSE OF PRELIMINARY/FINAL SITE PLAN PLANNING BOARD REVIEW AND APPROVAL. THE PLANS SHALL NOT BE UTILIZED AS CONSTRUCTION DOCUMENTS UNTIL ALL FINAL APPROVALS HAVE BEEN OBTAINED AND ALL THE CONDITIONS OF THE APPROVALS HAVE BEEN SATISFIED.
 - SURVEY INFORMATION CONTAINED HEREON IS BASED ON A FIELD SURVEY PERFORMED BY INSITE SURVEYING, LLC, ENTITLED "ALTA/NSPS LAND TITLE SURVEY", DATED 10/31/19 WITH LAST REVISIONS DATED 06/11/20. HORIZONTAL DATUM: NAD83 VERTICAL DATUM: NAVD88
 - ACCORDING TO FEMA'S EFFECTIVE FIRM ENTITLED "FIRM FLOOD INSURANCE RATE MAP (FIRM), HUDSON COUNTY, NEW JERSEY (ALL JURISDICTIONS)," COMMUNITY PANEL 34017C0106D, DATED 8/16/06, THE SITE IS NOT LOCATED IN A FLOOD ZONE. ACCORDING
 - TO FEMA'S CURRENT PRELIMINARY FIRM ENTITLED, "PRELIMINARY FLOOD INSURANCE RATE MAP (FIRM)", COMMUNITY PANEL 34017C0106E, DATED 01/30/15, THE SITE IS NOT LOCATED IN A FLOOD ZONE. ARCHITECTURAL INFORMATION
 ARCHITECTURAL INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY HLW, ENTITLED "JOURNAL SQUARE"
 - URBY", DATED 8/27/19 AND LAST REVISED 7/24/20.
 - 6. LANDSCAPE PLAN INFORMATION
 LANDSCAPE INFORMATION CONTAINED HEREON IS BASED ON PLANS PREPARED BY MELILLO & BAUER ASSOCIATES INC. ENTITLED "JOURNAL SQUARE URBY" DATED 4/10/20 AND LAST REVISED 7/24/20.

 - OR ANY EXCAVATION IN NEW JERSEY, THE CONTRACTOR MUST CALL NEW JERSEY ONE CALL SERVICE AT 1-800-272-1000 FOR A MARKOUT REQUEST NO LESS THAN THREE (3) WORKING DAYS PRIOR TO STARTING ANY EXCAVATION.
 - <u>VERIFICATION OF UTILITIES</u>
 THE CONTRACTOR IS DIRECTED TO THE FACT THAT THE APPROXIMATE LOCATIONS OF KNOWN UTILITY STRUCTURES AND FACILITIES (INCLUDING BUT NOT LIMITED TO SANITARY SEWERS, STORM SEWERS, POTABLE WATER LINES AND APPURTENANCES, NATURAL GAS LINES. ELECTRIC, TELEPHONE AND CATV LINES AND UNDERGROUND STORAGE TANKS) THAT MAY BE ENCOUNTERED WITHIN AND ADJACENT TO THE LIMITS OF THE WORK ARE SHOWN ON THE PLANS. THE ACCURACY AND COMPLETENESS OF THIS INFORMATION IS NOT GUARANTEED BY THE ENGINEER, AND THE CONTRACTOR IS ADVISED TO VERIFY IN THE FIELD ALL THE FACTS CONCERNING THE LOCATION AND ELEVATION OF THESE UTILITIES OR OTHER CONSTRUCTION OBSTACLES IMPACTED BY NEW CONSTRUCTION PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL NOTIFY THE ENGINEER, IN WRITING, PRIOR TO CONSTRUCTION, OF ANY DISCREPANCIES WHICH MAY AFFECT THE PROJECT DESIGN.
 - SPECIFICATIONS
 UNLESS OTHERWISE NOTED HEREON, ALL SITE WORK SHALL BE CARRIED OUT IN CONFORMANCE WITH THE PROVISIONS OF THE "NEW JERSEY DEPARTMENT OF TRANSPORTATION (NJDOT) STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION",
 - a. ALL CONSTRUCTION AND DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE AND LOCAL REGULATIONS. CONTRACTOR HAS SOLE RESPONSIBILITY FOR SITE SAFETY WAYS, MEANS AND METHODS OF CONSTRUCTION, AND SHALL CONFORM TO AND ABIDE BY ALL CURRENT OSHA STANDARDS OR REGULATIONS. SAFE CONSTRUCTION PRACTICES REMAIN
 - THE OBLIGATION OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO CONSTRUCTION. b. THE CONTRACTOR SHALL PERFORM ALL WORK IN A FINISHED AND WORKMANLIKE MANNER TO THE ENTIRE SATISFACTION OF THE OWNER AND IN ACCORDANCE WITH THE BEST RECOGNIZED TRADE PRACTICES.
 - METHODS AS MAY BE NECESSARY WITHIN THE PROJECT FOR THE PROTECTION AND THE SAFETY OF THE PUBLIC AND MAINTAIN THROUGHOUT CONSTRUCTION. d. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SITE CLEANUP WITHIN THE CONSTRUCTION AREA AND SHALL DISPOSE OF DEBRIS IN ACCORDANCE WITH ANY LOCAL, STATE OR FEDERAL REGULATIONS.
 - SHALL BE REPAIRED BY THE CONTRACTOR. ONTRACTOR RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS INCLUDING ROAD OPENING PERMITS. PREPARATION OF TRAFFIC CONTROL PLANS, INSTALLATION AND MAINTENANCE OF TRAFFIC CONTROL AND COORDINATION OF ALL INSPECTIONS
 - REQUIRED BY THE CITY OF JERSEY CITY, COUNTY OF HUDSON, JCMUA, AND ANY OTHER APPLICABLE AGENCY HAVING JURISDICTION OVER THE PROJECT.
 - a. ALL SITE IMPROVEMENTS LOCATED ON THE PRIVATE PROPERTY SHALL BE IN COMPLIANCE WITH THE 2010 ADA STANDARDS FOR ACCESSIBLE DESIGN, STANDARDS FOR PUBLIC ACCOMMODATIONS AND COMMERCIAL FACILITIES: TITLE III. b. ALL SITE IMPROVEMENTS LOCATED WITHIN PUBLIC RIGHT-OF-WAY SHALL BE IN COMPLIANCE WITH THE CURRENT PUBLIC RIGHTS-OF-WAY ACCESS ADVISORY COMMITTEE GUIDELINES.
 - . SOIL EROSION PLANS HAVE BEEN PREPARED TO ADDRESS EROSION AND SEDIMENT CONTROL COMPONENT OF THE STORMWATER POLLUTION PREVENTION PLAN (SPPP) AT TIME OF DESIGN. ALL OTHER COMPONENTS OF THE SPPP AND GENERAL STORMWATER PERMIT NO. NJ6008823 TO BE RESPONSIBILITY OF THE DEVELOPER AND/OR SITE CONTRACTOR. b. CONTRACTOR/DEVELOPER MUST PREPARE AND FOLLOW A STORMWATER POLLUTION PREVENTION PLAN FOR THE DURATION OF THE PROJEC
 - THIS PLAN SET CONSISTS OF MULTIPLE SHEETS. INDIVIDUAL PAGES SHALL NOT BE UTILIZED FOR CONSTRUCTION ON THEIR OWN AS NOTES AND INFORMATION PROVIDED ON OTHER SHEETS MAY IMPACT WORK REQUIREMENTS. CONTRACTOR SHALL REVIEW AND UTILIZE ENTIRE PLAN SET FOR CONSTRUCTION.
- 14. CONTRACTOR TO NOTIFY THE JERSEY CITY ENGINEER'S OFFICE IN WRITING AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION. 15. THE JERSEY CITY DIVISION OF ENGINEERING RESERVES THE RIGHT TO INSPECT THE SITE AND IMPOSE ADDITIONAL
- IMPROVEMENTS TO ANY DAMAGED AREAS WITHIN THE CITY RIGHT-OF-WAY. PAVEMENT RESTORATION MUST BE APPROVED BY THE DIVISION OF ENGINEERING. CONCRETE SIDEWALK AND CURBING MUST BE RECONSTRUCTED IN KIND TO MEET EXISTING CONDITIONS. ALL IMPROVEMENTS MUST COMPLY WITH THE REQUIREMENTS OF THE CITY OF JERSEY CITY, DIVISION OF ENGINEERING CONSTRUCTION GUIDELINE.
- 16. ALL DEMOLITION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE ADJACENT PUBLIC AREAS, SHALL BE DISPOSED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH REGULATIONS AND LAWS OF THE NJDEP.
- 17. BUILDING TO COMPLY WITH JERSEY CITY REQUIREMENTS FOR TRASH, RECYCLING AND BULK WASTE WHICH SHALL BE COORDINATED WITH THE JERSEY CITY DEPARTMENT OF PUBLIC WORKS, DIVISION OF SANITATION.

DRAINAGE, SANITARY AND WATER NOTES:

- 1. CONTRACTOR TO PERFORM TEST PITS TO VERIFY EXISTING UTILITY DEPTHS. SIZES AND LOCATIONS PRIOR TO CONNECTING PROPOSED SEWER AND WATER MAINS AND SERVICE CONNECTIONS TO EXISTING SEWER AND WATER MAINS. THE CONTRACTOR
- 2. ALL CONSTRUCTION IN ROADWAYS TO CONFORM TO THE CITY OF JERSEY CITY CONSTRUCTION GUIDELINES FOR STREET OPENINGS AND STANDARDS FOR ROADWAY CONSTRUCTION, LATEST EDITION. 3. PIPE LENGTHS INDICATED ARE MEASURED CENTER TO CENTER OF EACH STRUCTURE.
- 4. PROPOSED BUILDINGS SHALL BE SERVICED BY POTABLE WATER AND SANITARY SEWER FROM THE JERSEY CITY MUA.
- 5. ALL WATER, STORM, SANITARY SEWER MAINS, SEWER LATERALS, AND APPURTENANCES SHALL BE CONSTRUCTED AND TESTED IN ACCORDANCE WITH THE JCMUA AND NJDEP REQUIREMENTS. (SEE SPECS.)
- SHOP DRAWINGS AND PRODUCT CATALOG INFORMATION FOR ALL WATER, SANITARY SEWER AND STORM SEWER STRUCTURES, CONDUITS, MATERIALS, AND APPURTENANCES, TO BE PROVIDED TO THE PROJECT ENGINEER FOR REVIEW AND APPROVAL PRIOR TO
- 7. ANY DAMAGE CAUSED TO THE JCMUA'S SEWER AND/OR WATER SYSTEMS AS A RESULT OF CONSTRUCTION ACTIVITIES (TO BE DETERMINED BY THE AUTHORITY) SHALL BE REPAIRED BY THE CONTRACTOR, AT THE COST OF THE CONTRACTOR AND TO THE
- AUTHORITY'S SATISFACTION. 8. PRIOR TO ACCEPTANCE, AS-BUILT PLANS FOR THE SEWER AND WATER SYSTEMS SHALL BE SUBMITTED AND APPROVED BY THE
- ENGINEER AND THE JCMUA. 9. PRIOR TO ACCEPTANCE, THE CONSTRUCTED SEWER AND WATER MAINS AND CONNECTIONS SHALL BE TESTED IN ACCORDANCE WITH JCMUA RULES AND REGULATIONS, AND WITNESSED AND APPROVED BY THE ENGINEER.
- 10. IN ACCORDANCE WITH JCMUA RULES AND REGULATIONS AND THE PASSAIC VALLEY SEWERAGE COMMISSION'S PRETREATMENT REGULATIONS, NO PERSON SHALL DISCHARGE GREASE, FATS OR OILS DIRECTLY TO ANY STORM SEWER, SANITARY SEWER OR COMBINED SEWER WITHOUT A GREASE TRAP. GREASE TRAPS MUST BE CONSTRUCTED IN CONFORMANCE WITH THE REQUIREMENTS OF THE NATIONAL STANDARD PLUMBING CODE, THE CITY OF JERSEY CITY BUILDING DEPARTMENT, THE JCMUA, AND
- 11. CIRCULAR HOLE SAWS WHICH ARE APPROPRIATELY SIZED OR HAND DRILLS MUST BE USED TO MAKE OPENINGS IN EXISTING SEWERS TO RECEIVE LATERALS. JACKHAMMERS, SLEDGEHAMMERS AND OTHER UNSUITABLE TOOLS OR MACHINERY WHICH MAY AMAGE THE SEWER MAIN ARE NOT ALLOWED TO BE USED TO MAKE LATERAL OPENINGS. ALL DEBRIS MUST BE REMOVED AND NOT
- 12. REFER TO TECHNICAL SPECIFICATIONS FOR WATER AND SEWER FOR MATERIAL, INSTALLATION SPECIFICATIONS AND TESTING REQUIREMENTS.
- 13. ALL WATER SERVICES TO BE INSTALLED IN CONFORMANCE WITH THE REQUIREMENTS OF THE PLUMBING SUBCODE PROMULGATED BY THE NEW JERSEY DEPARTMENT OF COMMUNITY AFFAIRS PURSUANT TO THE STATE UNIFORM CONSTRUCTION CODE ACT (NJAC
- 14. ALL NEW WATER MAINS SHALL BE LAID WITH A MINIMUM OF 4 FEET OF COVER OVER THE PIPE TO PREVENT FREEZING.
- 15. SPACING AND LOCATIONS OF HYDRANTS SHALL COMPLY WITH THE FIRE PREVENTION STANDARDS OF THE JCMUA AND FIRE
- 16. IN ACCORDANCE WITH N.J.A.C. 7:10-11.10(E)5, ALL WATER MAINS AND SANITARY SEWER LINES SHALL BE SEPARATED BY A HORIZONTAL DISTANCE OF 10 FEET. IF SUCH LATERAL SEPARATION IS NOT POSSIBLE, THE WATER AND SEWER LINES SHALL BE IN SEPARATE TRENCHES (STEP TRENCHES ARE PROHIBITED) WITH THE TOP OF THE SEWER LINE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN OR WITH SUCH OTHER SEPARATION EXPRESSLY APPROVED BY THE NJDEP. AT CROSSINGS OF SEWER LINES AND WATER MAINS, THE TOP OF THE SEWER LINES SHALL BE AT LEAST 18 INCHES BELOW THE BOTTOM OF THE WATER MAIN (SEWER SERVICE LATERALS ARE NOT SUBJECT TO THIS REQUIREMENT). IF SUCH VERTICAL SEPARATION IS NOT POSSIBLE, THE SEWER LINE SHALL BE OF WATERTIGHT CONSTRUCTION (DUCTILE IRON), WITH WATERTIGHT JOINTS THAT ARE A MINIMUM OF 10
- 17. UNLESS OTHERWISE INDICATED: DIP WATER MAIN SHALL BE CLASS 54 CEMENT LINED DUCTILE IRON PIPE.
- SANITARY SEWER MAINS SHALL BE PVC SDR-35. RCP SHALL BE CLASS 3 WALL, BELL AND SPIGOT TYPE WITH O-RING GASKETS, UNLESS OTHERWISE NOTED. HDPE PIPES SHALL BE ADS N-12 WITH SOIL TIGHT JOINTS OR APPROVED EQUAL.
- e. STORM SEWER PVC PIPES SHALL BE SCHEDULE 80 WITHIN PAVED AREAS AND SCHEDULE 40 IN LANDSCAPED AREAS, UNLESS OTHERWISE NOTED.
- 19. A MARKER STAKE PROTRUDING A MINIMUM OF FOUR FEET ABOVE THE GROUND SURFACE SHALL BE PLACED TO INDICATE THE END OF THE CONSTRUCTION STUBS FOR BUILDING CONNECTIONS, OR STUBS SHALL BE TURNED AND EXTENDED ABOVE GRADE BY FOUR
- 20. BUILDING ROOF LEADERS AND STRUCTURED GARAGE STORMWATER COLLECTION SYSTEMS SHALL CONNECT TO THE SITE STORM SEWER SYSTEM. CONNECTION POINTS WILL BE COORDINATED WITH ARCHITECTURAL AND PLUMBING PLANS.
- . $\,$ ALL NEWLY CONSTRUCTED SANITARY AND STORM SEWERS MUST BE T.V. TESTED BY THE JERSEY CITY M.U.A. THE JERSEY CITY M.U.A. MUST BE CONTACTED AT LEAST 48 HOURS IN ADVANCE TO SCHEDULE TESTING OF THE SEWER MAINS.
- 22. TRANSFORMER LOCATIONS SHALL BE ASSIGNED BY PSE&G.
- 23. ALL UTILITY WIRING WILL BE PLACED UNDERGROUND. 24. ALL EXISTING SEWER SERVICE LATERALS TO BE ABANDONED MUST BE FILLED WITH CONCRETE SLURRY OR REMOVED FROM THE
- GROUND. CONNECTIONS SHOULD BE SEALED AT THE MAIN PER JCMUA REQUIREMENTS. ALL LATERALS TO BE REUSED MUST BE CLEANED AND TELEVISED TO VERIFY THEIR INTEGRITY AND THAT THE PIPE IS FREE FROM ANY DEFECTS.
- 25. CONTRACTOR RESPONSIBLE FOR OBTAINING PERMITS FOR STREET OPENINGS TO EXISTING IMPROVED ROADWAYS FROM THE IERSEY CITY BUILDING DEPT. AND ALL OTHER APPLICABLE PERMITS FROM AGENCIES HAVING JURISDICTION.
- 26. DEMOLITION MATERIAL AND DEBRIS AND AND ALL OTHER ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT,
- ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH REGULATIONS AND LAWS OF THE NJDEP. 27. GAS AND ELECTRIC SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF
- PSE&G. RECORD "AS-BUILT" PLANS OF ALL CONDUITS AND STRUCTURES MUST BE PROVIDED TO PSE&G, THE PROJECT ENGINEER AND THE PROJECT DEVELOPER.
- 28. TELEPHONE AND CATV SERVICE CONDUITS AND STRUCTURES MUST BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF VERIZON AND COMCAST. RECORD "AS-BUILT" PLANS OF ALL CONDUITS AND STRUCTURES MUST BE PROVIDED TO VERIZON, COMCAST, THE PROJECT ENGINEER AND THE PROJECT DEVELOPER.
- 29. AS REQUIRED BY THE JCMUA, ALL INLET PROTECTION FILTERS USED AS A MEANS OF EROSION AND SEDIMENT CONTROL MUST BE PROPERLY MAINTAINED DURING CONSTRUCTION AND BE REMOVED UPON COMPLETION OF CONSTRUCTION. IF THESE ARE NOT REMOVED AND FLOODING OCCURS AS A RESULT, THE PROPERTY OWNER WILL BE BILLED ALL COSTS RELATED TO THE CLEANING. ADDITIONALLY, IF INLET PROTECTION FILTERS ARE NOT USED AND ANY CATCH BASINS ARE IMPACTED WITH SEDIMENT AS A RESULT THE PROPERTY OWNER WILL BE BILLED ALL COSTS RELATED TO THE CLEANING.

FINAL FOR SEWER DESIGN

ROJECT NAME:

PROJECT INFORMATION

JOURNAL SQUARE

<u>ECT LOCATION:</u> BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01) TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE

> *575 PAVONIA LLC* 50 WASHINGTON STREET

HOBOKEN, NEW JERSEY 07030

575 PAVONIA LLC 50 WASHINGTON STREET

HOBOKEN, NEW JERSEY 07030

APPLICANT'S PROFESSIONALS

ARCHITECT: HLW ARCHITECTS, LLC 5 PENN PLAZA NEW YORK, NY 10001

INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A

WALL, NJ 07719 CONNELL FOLEY LLP HARBORSIDE 5

JERSEY CITY, NJ 07311

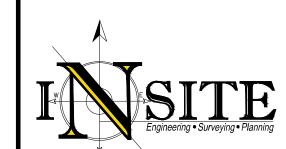
185 HUDSON STREET, SUITE 2510

LANDSCAPE ARCHITECT: MELILLO & BAUER ASSOCIATES, INC. 200 UNION AVENUE BRIELLE, NJ 08730



CALL BEFORE YOU DIG! NJ ONE CALL....800-272-1000

TEMP. SURVEY MARKINGS



732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net

TIFICATE OF AUTHORIZATION: 24GA28083200

1955 ROUTE 34, SUITE 1A, WALL, NJ 07719

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

REVISIONS

DESIGNED BY: JWB SCALE: 1"=10'

DRAWN BY: GRS DATE: **8/12/19** *J*OB#: **19-543-09** CHECKED BY: LRF

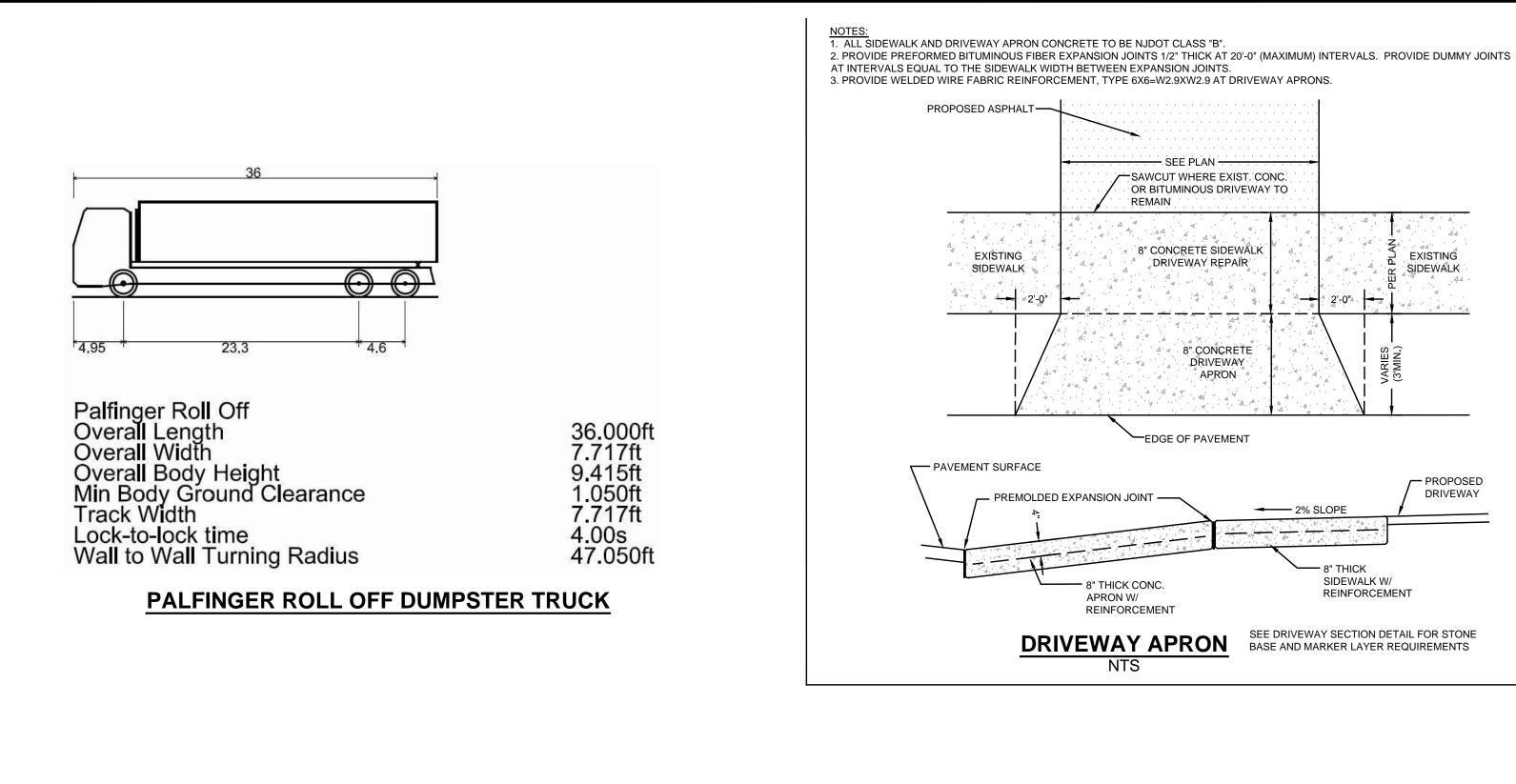
CAD ID: **19-543-09r4** NOT FOR CONSTRUCTION

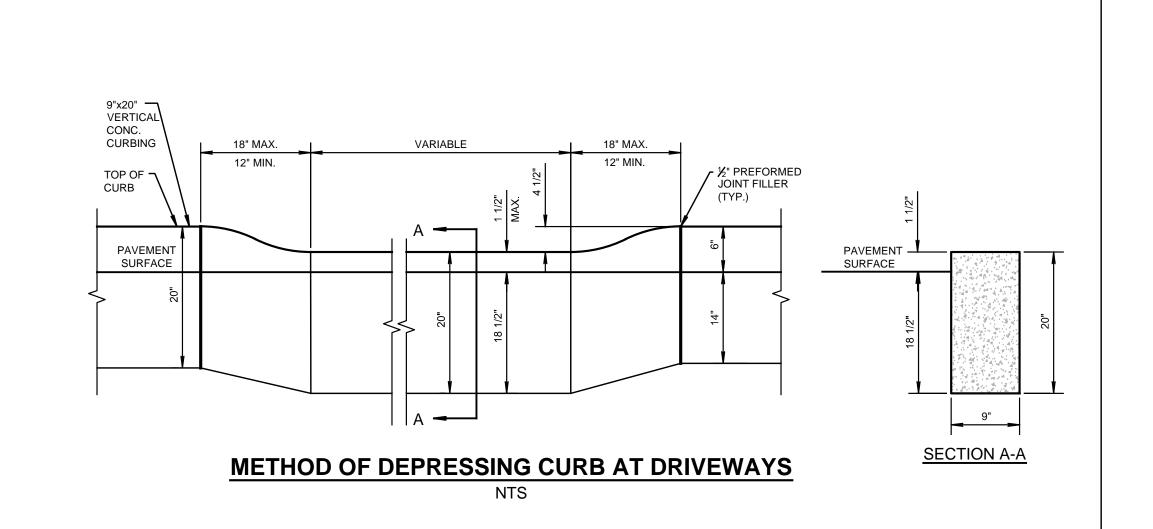
APPROVED BY FOR CONSTRUCTION |

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

GRADING, DRAINAGE & UTILITY PLAN





EXISTING

SIDEWALK

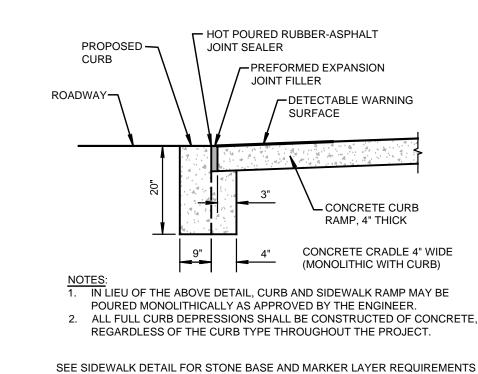
PROPOSED

--- 8" THICK

SIDEWALK W/

REINFORCEMENT

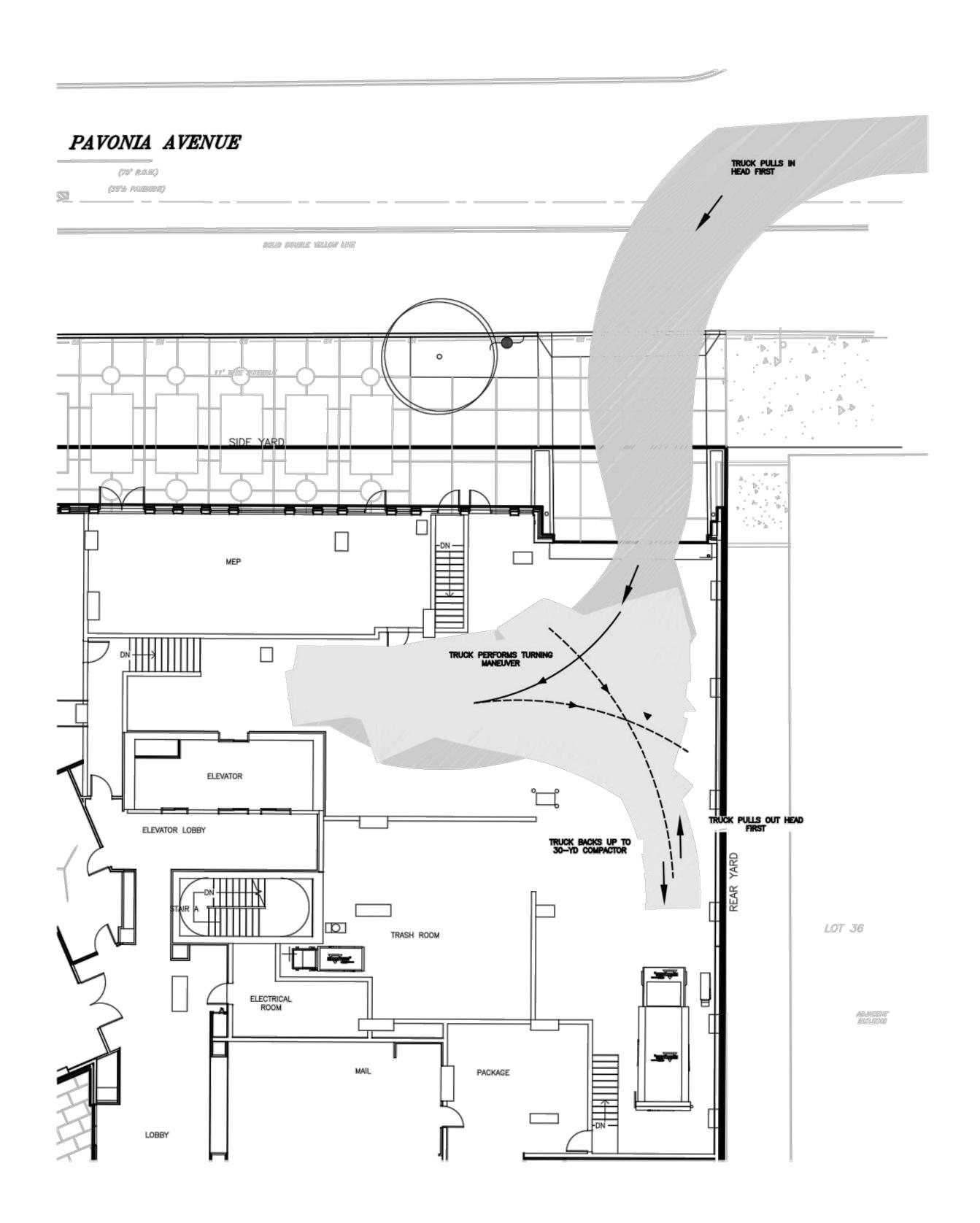
DRIVEWAY

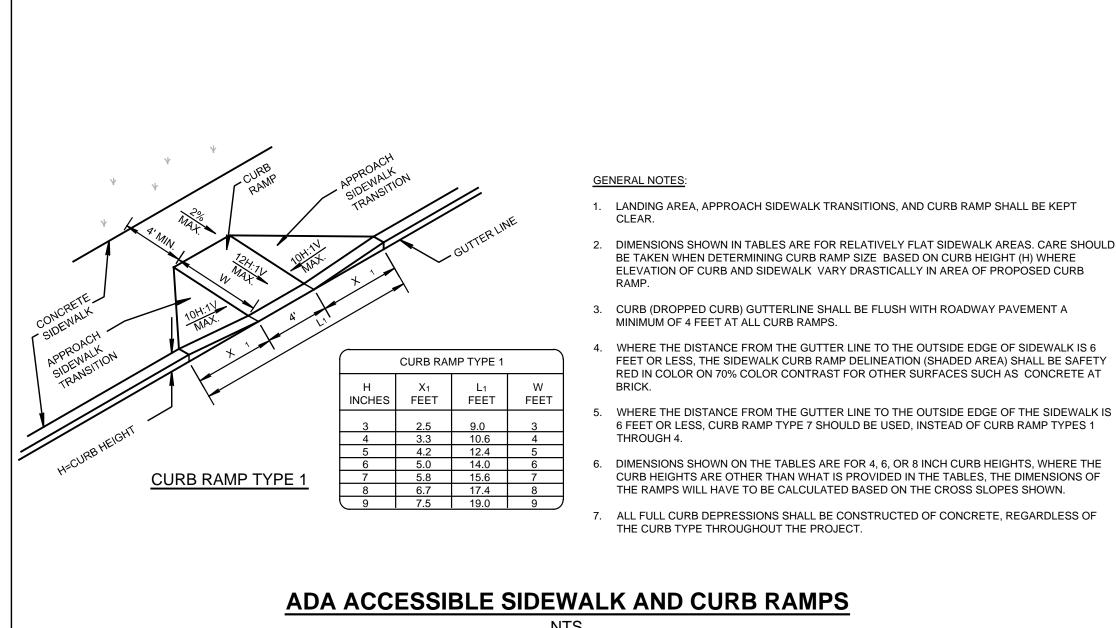


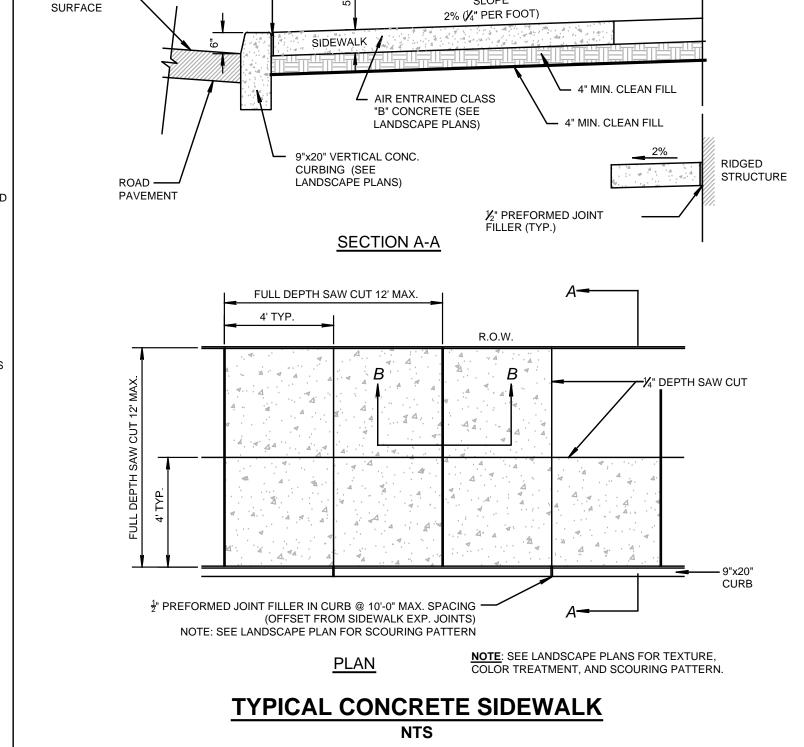
CURB RAMP DROPPED CURB AND CRADLE

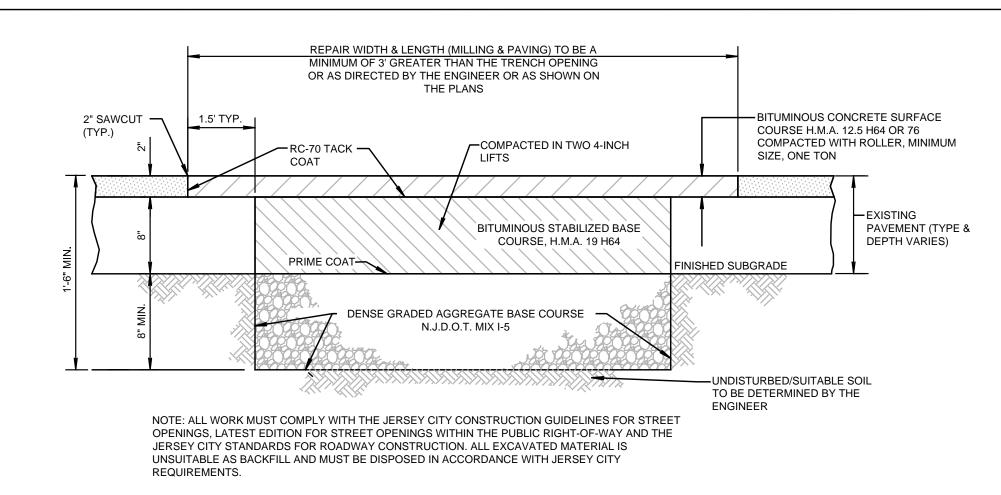
½" PREFORMED JOINT —— FILLER (TYP.)

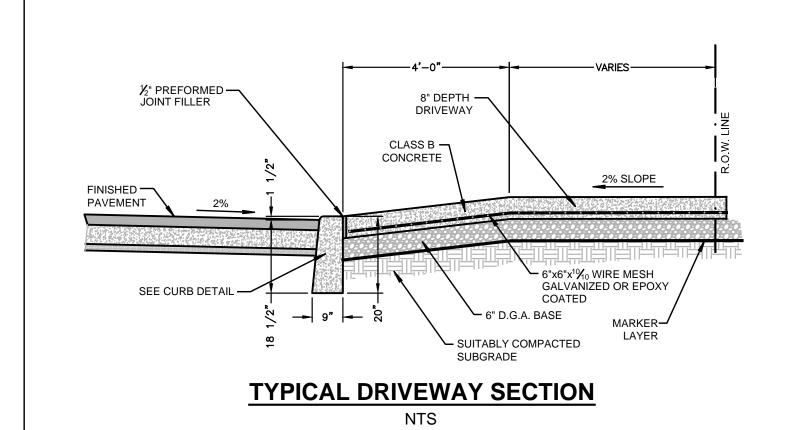
PAVEMENT ——





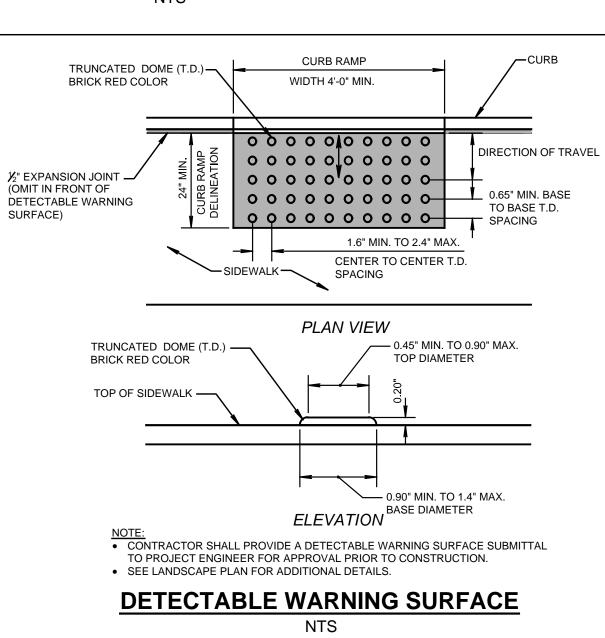


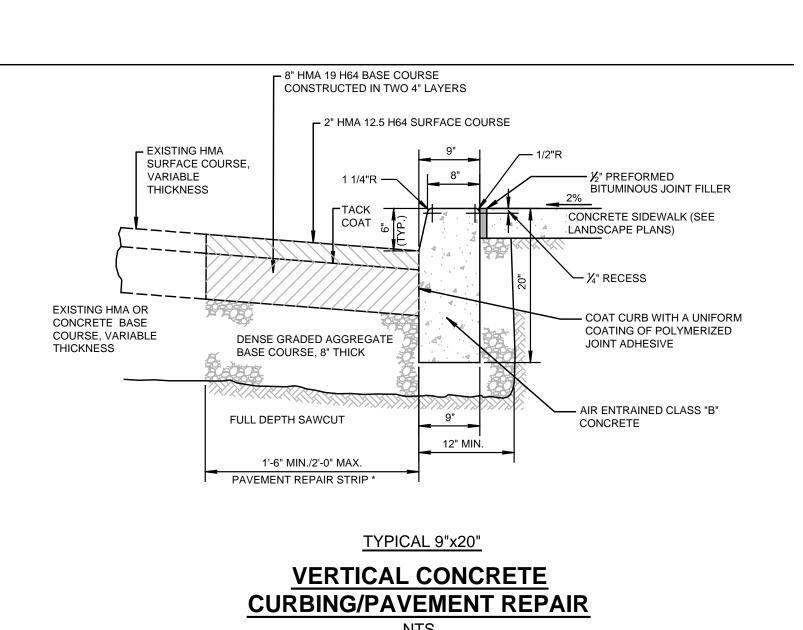




ROADWAY EXCAVATION/REPAIR OF EXISTING STREETS



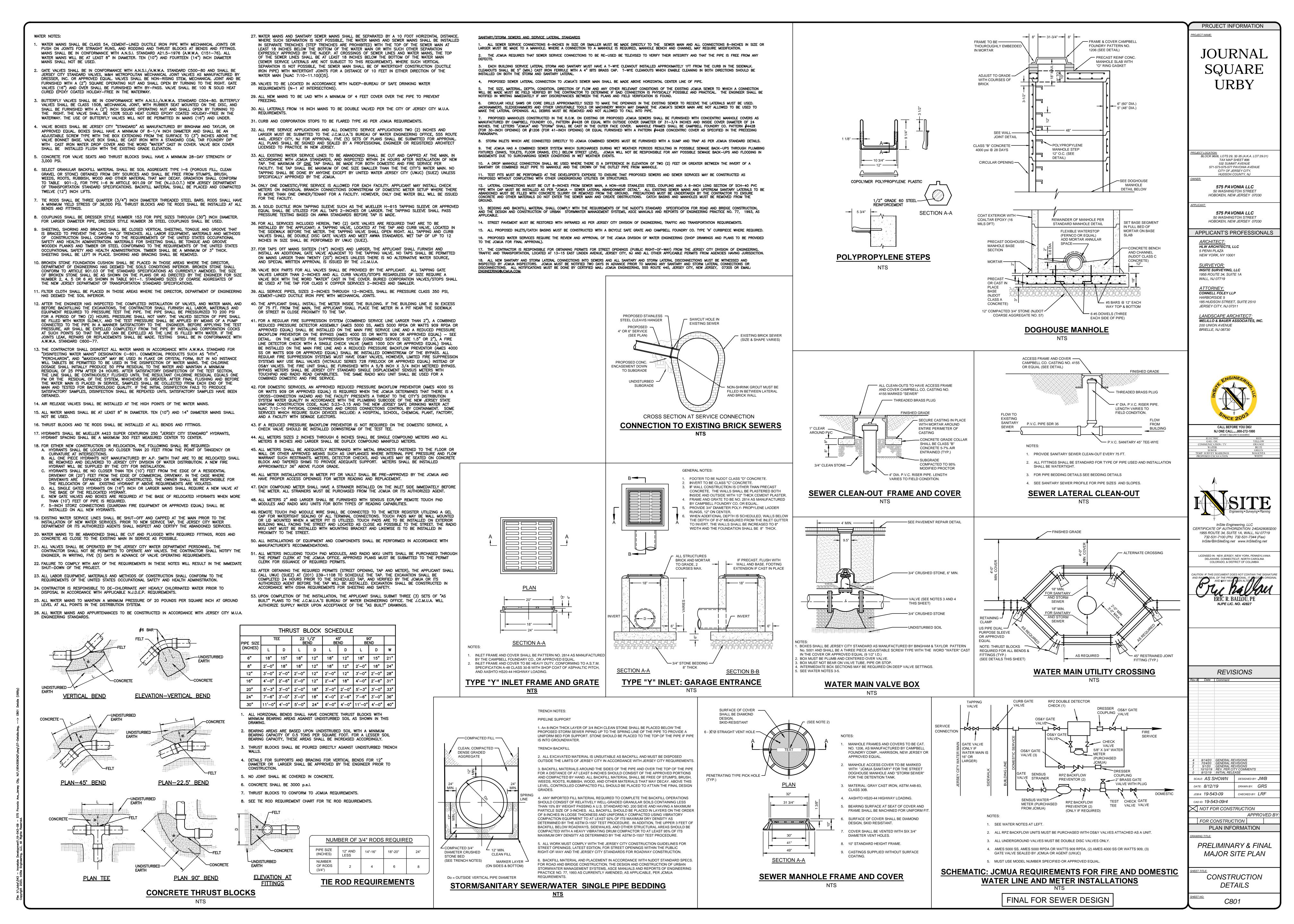


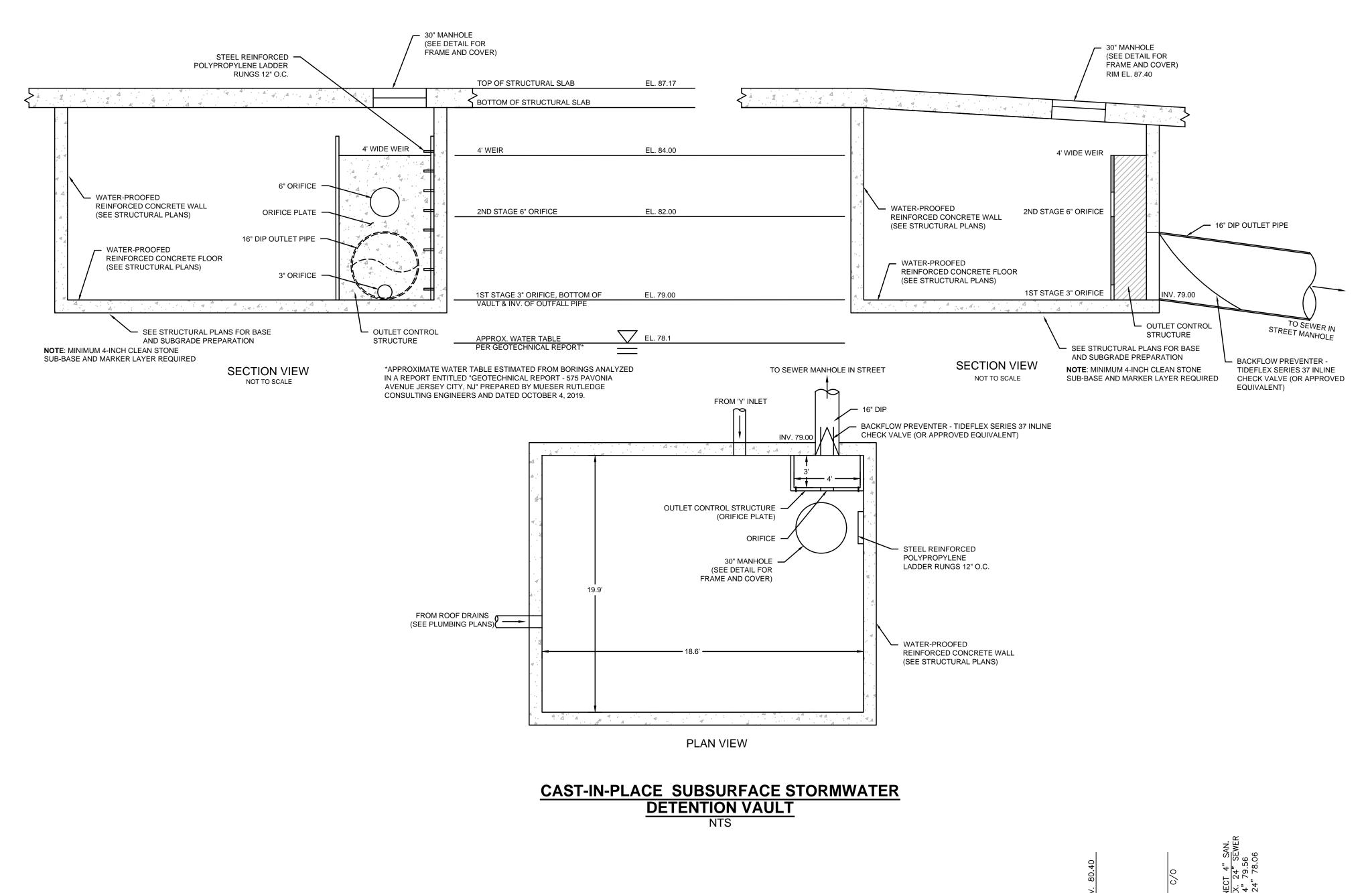


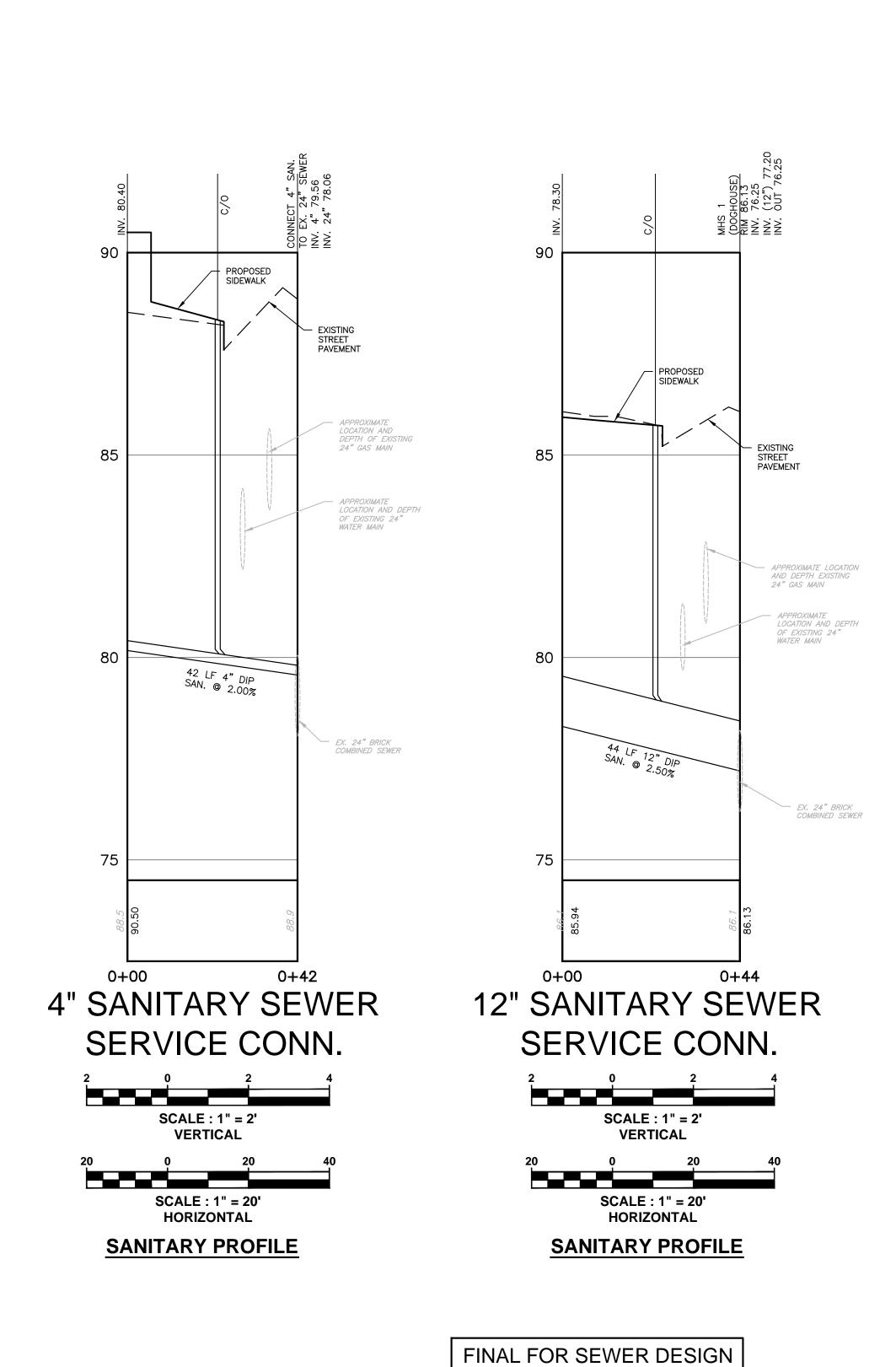
PROJECT INFORMATION **JOURNAL** SQUARE URBY <u>OJECT LOCATION:</u>
BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01) TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE 575 PAVONIA LLC 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030 *575 PAVONIA LLC* 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030 APPLICANT'S PROFESSIONALS ARCHITECT: HLW ARCHITECTS, LLC 5 PENN PLAZA NEW YORK, NY 10001 SURVEYOR:
INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719 ATTORNEY: HARBORSIDE 5 185 HUDSON STREET, SUITE 2510 JERSEY CITY, NJ 07311 LANDSCAPE ARCHITECT: MELILLO & BAUER ASSOCIATES, INC. 200 UNION AVENUE BRIELLE, NJ 08730 NJ ONE CALL....800-272-1000 ERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA REVISIONS SCALE: AS SHOWN DESIGNED BY: JWB DATE: **8/12/19** DRAWN BY: GRS JOB#: **19-543-09** CHECKED BY: LRF CAD ID: **19-543-09r4** NOT FOR CONSTRUCTION FOR CONSTRUCTION PLAN INFORMATION PRELIMINARY & FINAL

MAJOR SITE PLAN

CONSTRUCTION DETAILS

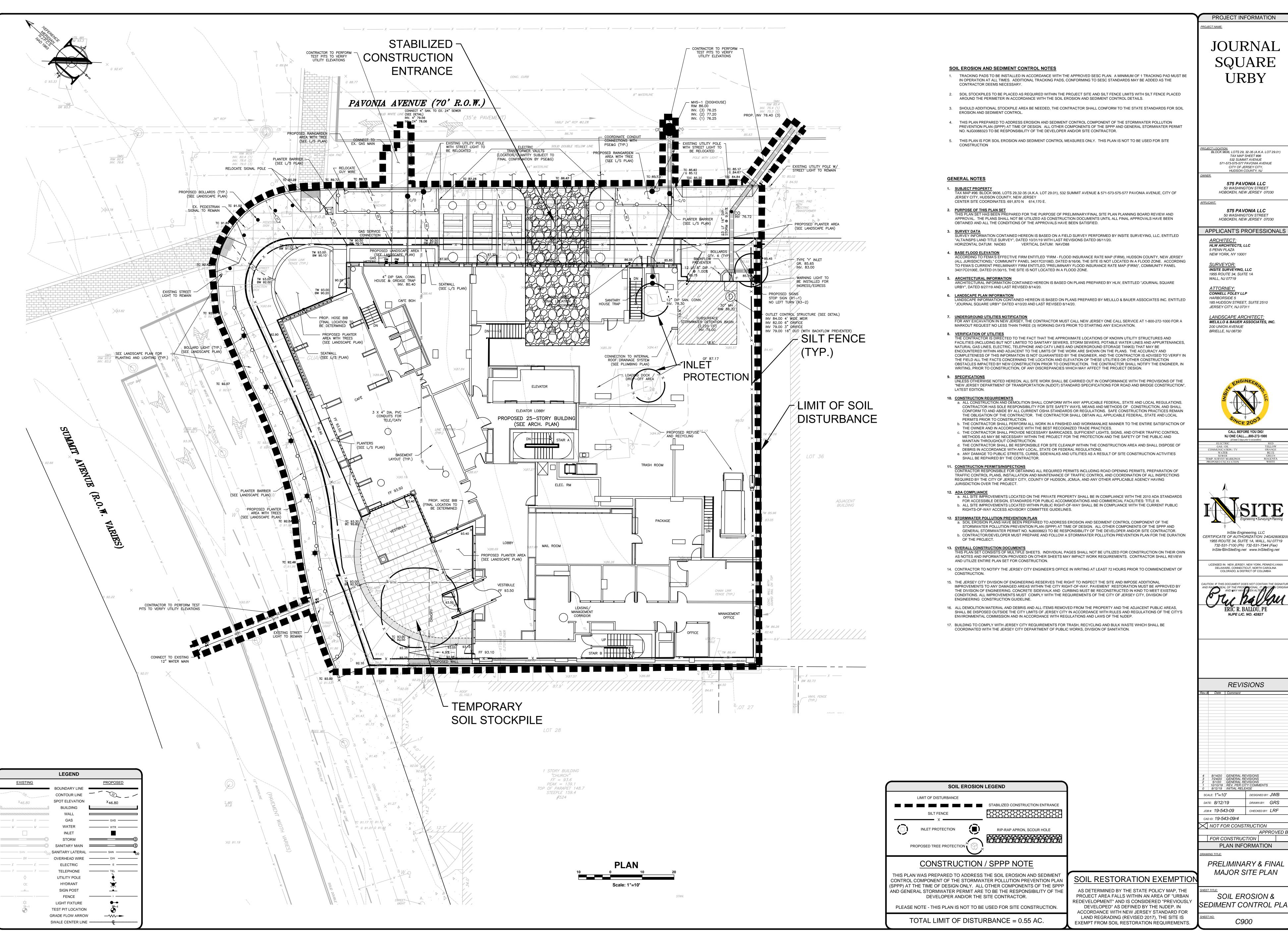






PROJECT INFORMATION JOURNAL SQUARE URBY ROJECT LOCATION:
BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01) TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE CITY OF JERSEY CITY, HUDSON COUNTY, NJ 575 PAVONIA LLC 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030 *575 PAVONIA LLC* 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030 APPLICANT'S PROFESSIONALS ARCHITECT: HLW ARCHITECTS, LLC 5 PENN PLAZA NEW YORK, NY 10001 SURVEYOR: INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719 ATTORNEY: CONNELL FOLEY LLP HARBORSIDE 5 185 HUDSON STREET, SUITE 2510 JERSEY CITY, NJ 07311 LANDSCAPE ARCHITECT: MELILLO & BAUER ASSOCIATES, INC. 200 UNION AVENUE BRIELLE, NJ 08730 CALL BEFORE YOU DIG! NJ ONE CALL....800-272-1000 WATER
SEWER
TEMP. SURVEY MARKINGS
PROPOSED EXCAVATION InSite Engineering, LLC CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax) InSite@InSiteEng.net www.InSiteEng.net LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA REVISIONS 8/14/20 GENERAL REVISIONS 7/24/20 THIS SHEET ADDED SCALE: AS SHOWN DESIGNED BY: JWB DRAWN BY: GRS *J*OВ#: **19-543-09** CHECKED BY: LRF CAD ID: 19-543-09r4 NOT FOR CONSTRUCTION FOR CONSTRUCTION PLAN INFORMATION PRELIMINARY & FINAL MAJOR SITE PLAN CONSTRUCTION DETAILS C802

File: X:\Jobs\543 - Ironstate Development\19-543-09 - 575 Pavonia Ave_Jersey City, NJ\1954309CAD\dwg\07-Details.dwg, --> C Copyright 2020, InSite Engineering, LLC, All Rights Reserved.



PROJECT INFORMATION

JOURNAL

<u>BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01)</u> TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE

> 575 PAVONIA LLC 50 WASHINGTON STREET

575 PAVONIA LLC 50 WASHINGTON STREET

HOBOKEN, NEW JERSEY 07030

5 PENN PLAZA NEW YORK, NY 10001

SURVEYOR:
INSITE SURVEYING, LLC

1955 ROUTE 34, SUITE 1A WALL, NJ 07719

HARBORSIDE 5 185 HUDSON STREET, SUITE 2510

JERSEY CITY, NJ 07311 LANDSCAPE ARCHITECT: MELILLO & BAUER ASSOCIATES, INC.



CALL BEFORE YOU DIG! NJ ONE CALL....800-272-1000

RTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax)

DELAWARE, CONNECTICUT, NORTH CAROLINA COLORADO, & DISTRICT OF COLUMBIA

REVISIONS

DESIGNED BY: JWB

DRAWN BY: GRS CHECKED BY: LRF

NOT FOR CONSTRUCTION

PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION & SEDIMENT CONTROL PLAI

SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL" 7TH EDITION LAST REVISED JULY 2017, EFFECTIVE DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE
- AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED. SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, MAY BE REQUIRED TO BE TEMPORARILY MULCHED, AND SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER AS PER APPENDIX A3. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15 - 10/1 SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED
- SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL. MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING TIE DOWN. OTHER SUITABLE MATERIALS MAY

ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION

- BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY. NJ - DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION. GIVING ADVANCED NOTICE UPON
- COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED 10. PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREAS CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE
- PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS. 11. ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING OR PLANTING. A DEPTH OF 5.0 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING,
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL. A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 $\frac{1}{2}$ -1" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH
- CRUSHED STONE UNTIL PAVING IS COMPLETE. STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL
- BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATION DISTRICT. THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED. IN WRITING, FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNERS' INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

(CABLES, IRRIGATION SYSTEMS, ETC.).

MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL

1. SITE PREPARATION

EFFECTIVE DECEMBER 2017.

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
- B. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42. C. IMMEDIATELY PRIOR TO SEEDING. THE SURFACE SHOULD BE SCARIFIED 6" TO 12" WHERE THERE HAS BEEN SOIL COMPACTION. THIS PRACTICE IS PERMISSIBLE ONLY WHERE THERE IS NO DANGER TO UNDERGROUND UTILITIES

2. <u>SEEDBED PREPARATION</u>

- A. APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION. SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES. FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE. LIMING RATES SHALL BE ESTABLISHED VIA SOIL TESTING. CALCIUM CARBONATE IS THE EQUIVALENT AND STANDARD FOR MEASURING THE ABILITY OF LIMING MATERIALS TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND
- B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED. C. INSPECT SEEDBED JUST BEFORE SEEDING. IF TRAFFIC HAS LEFT THE SOIL COMPACTED, THE AREA MUST BE RETILLED IN
- D. SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING
- A. TEMPORARY VEGETATIVE SEEDING COVER SHALL CONSIST OF PERENNIAL RYEGRASS APPLIED UNIFORMLY AT A RATE OF 1 POUND PER 1,000 SF (100 LBS/AC) WITH AN OPTIMUM SEED DEPTH OF 0.5" (TWICE THE DEPTH IF SANDY SOILS), IN ACCORDANCE WITH TABLE 7-2, PAGE 7-3.
- *SEEDING DATES: 2/15-5/1 AND 8/15-10/15 B. CONVENTIONAL SEEDING. APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTIPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE

INCORPORATED INTO THE SOIL. TO A DEPTH OF 1/4 TO 1/2 INCH. BY RAKING OR DRAGGING, DEPTH OF SEED PLACEMEN'

- C. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION IV MULCHING) HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE
- D. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILI ARITY AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

SOIL. POOR SEED TO SOIL CONTACT OCCURS REDUCING SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED

FOR AREAS TOO STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC

- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
- A. STRAW OR HAY. UNNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET). EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIEVING OR ADHESIVE AGENT). THE RATE OF APPLICATION IS 3 TONS PER ACRE, MUILCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH, HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF
- APPLICATION. SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT APPROXIMATELY 95% OF THE SOIL SURFACE WILL BE COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEET SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION.
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COSTS. 1. PEG AND TWINE, DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN
- ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRIS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH
- 2. MULCH NETTINGS. STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE NETTING IN AREAS TO BE MOWED.
- 3. CRIMPER (MULCH ANCHORING TOOL). A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOIL SO AS TO ANCHOR IT AND LEAVE PART STANDING UPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER ACRE. NO TACKIFYING
- 4. LIQUID MULCH-BINDERS. MAY BE USED TO ANCHOR HAY OR STRAW MULCH.

OR ADHESIVE AGENT IS REQUIRED

- a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.
- (1) ORGANIC AND VEGETABLE BASED BINDERS NATURALLY OCCURRING, POWDER BASED, HYDROPHILIC MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE

PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURFGRASS.

- USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE (2) SYNTHETIC BINDERS - HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND FOLLOWING APPLICATION TO MULCH, DRYING AND CURING SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE
- NOTE: ALL NAMES GIVE ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A COMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS

IN WATER. IT SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER AND REMAIN TACKY UNTIL

- B. WOOD-FIBER OR PAPER-FIBER MULCH. SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR
- GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 PONDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. THIS MULCH SHALL NOT BE MIXED IN THE TANK WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FAL C. PELLETIZED MULCH. COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN
- CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDED AREA AND WATERED, FORMA MULCH MAT. PELLETIZED MULCH SHALL BE APPLIES IN ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS./1.000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEE FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFIER AGENT ARE NOT PRACTICAL OR DESIRABLE.
- APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

1. SITE PREPARATION

- A. GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION. SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD
- B. IMMEDIATELY PRIOR TO SEEDING AND TOPSOIL APPLICATION, THE SUBSOIL SHALL BE EVALUATED FOR COMPACTION IN
- ACCORDANCE WITH THE STANDARD FOR LAND GRADING. C. TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED
- WITH ORGANIC MATTER, AS NEEDED, IN ACCORDANCE WITH THE STANDARD FOR TOPSOILING. D. INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE-STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES. SEDIMENT BASINS. AND WATERWAYS. 2. SEEDBED PREPARATION
- A. UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://NJAES.RUTGERS.EDU/COUNTY/). FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 11 POUNDS PER 1,000 SQUARE FEET OF 10-10-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5
- SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED. C. HIGH ACID PRODUCING SOIL SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SUI FIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID-PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.

B. WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC,

A. SEED GERMINATION SHALL HAVE BEEN TESTED WITHIN 12 MONTHS OF THE PLANTING DATE. NO SEED SHALL BE ACCEPTED WITH A GERMINATION TEST DATE MORE THAN 12 MONTHS OLD UNLESS RETESTED.

HARD FESCUE AND/OR STRONG CREEPING RED FESCUE PERENNIAL RYEGRASS KENTUCKY BLUEGRASS

*ACCEPTABLE SEEDING DATES: 2/1-4/30 AND 5/1-8/14**

- *OPTIMAL SEEDING DATES: 8/15-10/30 *SUMMER SEEDING SHALL ONLY BE CONDUCTED WHEN SITE IS IRRIGATED
- 1. SEEDING RATES SPECIFIED ARE REQUIRED WHEN A REPORT OF COMPLIANCE IS REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN RATES MAY BE USED WHEN PERMANEN VEGETATION IS ESTABLISHED PRIOR TO A REPORT OF COMPLIANCE INSPECTION. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT VEGETATION MEANS 80% VEGETATIVE COVERAGE WITH THE SPECIFIED SEED MIXTURE FOR THE SEEDED AREA AND MOWED ONCE.
- 2. WARM-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT HIGH TEMPERATURES, GENERALLY 850 F AND ABOVE. SEE TABLE 4-3 MIXTURES 1 TO 7. PLANTING RATES FOR WARM-SEASON GRASSES SHALL BE THE AMOUNT OF PURE LIVE SEED (PLS) AS DETERMINED BY GERMINATION TESTING RESULTS.
- 3. COOL-SEASON MIXTURES ARE GRASSES AND LEGUMES WHICH MAXIMIZE GROWTH AT TEMPERATURES BELOW 850F. MANY GRASSES BECOME ACTIVE AT 650F. SEE TABLE 4-3, MIXTURES 8-20. ADJUSTMENT OF PLANTING RATES TO COMPENSATE FOR THE AMOUNT OF PLS IS NOT REQUIRED FOR COOL SEASON GRASSES. B. CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP
- SEEDER, DRILL OR CULTIPACKER SEEDER, EXCEPT FOR DRILLED, HYDROSEEDED OR CULTIPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RAKING OR DRAGGING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
- C. AFTER SEEDING, FIRMING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE, THIS IS THE PREFERRED METHOD, WHEN PERFORMED ON THE CONTOUR. SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.

D. HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN

- AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT-FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH
- MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT
- A. STRAW OR HAY. UNROTTED SMALL GRAIN STRAW, HAY FREE OF SEEDS, TO BE APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET). EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED. APPLICATION - SPREAD MULCH UNIFORMLY BY HAND OR MECHANICALLY SO THAT AT LEAST 85% OF THE SOIL SURFACE IS
- COVERED. FOR UNIFORM DISTRIBUTION OF HAND-SPREAD MULCH, DIVIDE AREA INTO APPROXIMATELY 1,000 SQUARE FEE SECTIONS AND DISTRIBUTE 70 TO 90 POUNDS WITHIN EACH SECTION ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY
- BE DONE BY ONE OF THE FOLLOWING METHODS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, 1. PEG AND TWINE. DRIVE 8 TO 10 INCH WOODEN PEGS TO WITHIN 2 TO 3 INCHES OF THE SOIL SURFACE EVERY 4 FEET IN
- ALL DIRECTIONS. STAKES MAY BE DRIVEN BEFORE OR AFTER APPLYING MULCH. SECURE MULCH TO SOIL SURFACE BY STRETCHING TWINE BETWEEN PEGS IN A CRISS-CROSS AND A SQUARE PATTERN. SECURE TWINE AROUND EACH PEG WITH TWO OR MORE ROUND TURNS.
- 2. MULCH NETTINGS STAPLE PAPER, JUTE, COTTON, OR PLASTIC NETTINGS TO THE SOIL SURFACE. USE A DEGRADABLE
- 3. CRIMPER (MULCH ANCHORING COULTER TOOL) A TRACTOR-DRAWN IMPLEMENT, SOMEWHAT LIKE A DISC HARROW, ESPECIALLY DESIGNED TO PUSH OR CUT SOME OF THE BROADCAST LONG FIBER MULCH 3 TO 4 INCHES INTO THE SOII SO AS TO ANCHOR IT AND LEAVE PART STANDING LIPRIGHT. THIS TECHNIQUE IS LIMITED TO AREAS TRAVERSABLE. BY A TRACTOR, WHICH MUST OPERATE ON THE CONTOUR OF SLOPES. STRAW MULCH RATE MUST BE 3 TONS PER
- 4. LIQUID MULCH-BINDERS MAY BE USED TO ANCHOR SALT HAY, HAY OR STRAW MULCH.

CRESTS OF BANKS. THE REMAINDER OF THE AREA SHOULD BE UNIFORM IN APPEARANCE.

ACRE. NO TACKIFYING OR ADHESIVE AGENT IS REQUIRED.

(1) ORGANIC AND VEGETABLE BASED BINDERS - NATURALLY OCCURRING, POWDER-BASED, HYDROPHILIC

a. APPLICATIONS SHOULD BE HEAVIER AT EDGES WHERE WIND MAY CATCH THE MULCH, IN VALLEYS, AND AT

- MATERIALS WHEN MIXED WITH WATER FORMULATES A GEL AND WHEN APPLIED TO MULCH UNDER SATISFACTORY CURING CONDITIONS WILL FORM MEMBRANED NETWORKS OF INSOLUBLE POLYMERS. THE VEGETABLE GEL SHALL BE PHYSIOLOGICALLY HARMLESS AND NOT RESULT IN A PHYTOTOXIC EFFECT OR IMPEDE GROWTH OF TURF GRASS. USE AT RATES AND WEATHER CONDITIONS AS RECOMMENDED BY THE MANUFACTURER TO ANCHOR MULCH MATERIALS. MANY NEW PRODUCTS ARE AVAILABLE, SOME OF WHICH MAY NEED FURTHER EVALUATION FOR USE IN THIS STATE.
- (2) SYNTHETIC BINDERS HIGH POLYMER SYNTHETIC EMULSION, MISCIBLE WITH WATER WHEN DILUTED AND, FOLLOWING APPLICATION OF MULCH, DRYING AND CURING, SHALL NO LONGER BE SOLUBLE OR DISPERSIBLE IN WATER. BINDER SHALL BE APPLIED AT RATES RECOMMENDED BY THE MANUFACTURER
- AND REMAIN TACKY UNTIL GERMINATION OF GRASS. NOTE: ALL NAMES GIVEN ABOVE ARE REGISTERED TRADE NAMES. THIS DOES NOT CONSTITUTE A
- B. WOOD-FIBER OR PAPER-FIBER MULCH SHALL BE MADE FROM WOOD. PLANT FIBERS OR PAPER CONTAINING NO STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NEW JERSEY JANUARY 2014GROWTH OR GERMINATION INHIBITING MATERIALS, USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PRODUCT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. <u>MULCH SHALL NOT BEMIXEDIN THE TANK WITH SEED.</u>
 USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.

RECOMMENDATION OF THESE PRODUCTS TO THE EXCLUSION OF OTHER PRODUCTS.

C PELLETIZED MULCH-COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT. WHICH MAYECTL CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS, AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO AW SEEDED AREA AND WATERED, FORM A MULCHMAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS, SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED, OR ON SITES WHERE STRAW MULCH AND TACKIFIERAGENT ARE NOT PRACTICAL OR DESIRABLE, APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEEDBED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

5.IRRIGATION (WHERE FEASIBLE)

- IF SOIL MOISTURE IS DEFICIENT SUPPLY NEW SEEDING WITH ADEQUATE WATER (A MINIMUM OF 1/4 INCH APPLIED UP TO TWICE A DAY UNTIL VEGETATION IS WELL ESTABLISHED). THIS IS ESPECIALLY TRUE WHEN SEEDINGS ARE MADE IN ABNORMALLY DRY OR HOT WEATHER OR ON DROUGHTY SITES.
- SINCE SOIL ORGANIC MATTER CONTENT AND SLOW RELEASE NITROGEN FERTILIZER (WATER INSOLUBLE) ARE PRESCRIBED INSECTION 2A-SEEDBED PREPARATION IN THIS STANDARD, NO FOLLOW-UP OF TOP DRESSING IS MANDATORY. AN EXCEPTION MAYBE MADE WHERE GROSS NITROGEN DEFICIENCY EXISTS IN THE SOIL TO THE EXTENT THAT TURF FAILURE MAY DEVELOP. IN THAT INSTANCE, TOP DRESS WITH 10-10-10 OR EQUIVALENT AT 300 POUNDS PER ACRE OR 7 POUNDS PER 1,000 SQUARE FEET EVERY 3 TO 5 WEEKS UNTIL THE GROSS NITROGEN DEFICIENCY IN THE TURF IS AMELIORATED. 7.ESTABLISHING PERMANENT VEGETATIVE STABILIZATION
- THE QUALITY OF PERMANENT VEGETATION RESTS WITH THE CONTRACTOR. THE TIMING OF SEEDING, PREPARING THE SEEDBED, APPLYING NUTRIENTS, MULCH AND OTHER MANAGEMENT ARE ESSENTIAL. THE SEED APPLICATION RATES IN TABLE 4-3 ARE REQUIRED WHEN A <u>REPORT OF COMPLIANCE</u> S REQUESTED PRIOR TO ACTUAL ESTABLISHMENT OF PERMANENT VEGETATION. UP TO 50% REDUCTION IN <u>APPLICATION RATES MAY</u> BE USED WHEN PERMANENT VEGETATION IS ESTABLISHED PRIOR TO REQUESTING REPORT OF COMPLIANCEFROM THE DISTRICT. THESE RATES APPLY TO ALL METHODS OF SEEDING. ESTABLISHING PERMANENT TION MEANS 80% VEGETATIVE COVER (OF THE SEEDED SPECIES) AND MOWED ONCE. NOTE THIS DESIGNATION OF MOWED ONCE DOES NOT GUARANTEE THE PERMANENCY OF THE TURF SHOULD OTHER MAINTENANCE FACTORS BE NEGLECTED OR OTHERWISE MISMANAGED.

CONSTRUCTION SEQUENCE

AND CERTIFICATES OF OCCUPANCY ARE ISSUED.

EXACT TIMING FOR DEVELOPMENT OF THIS PROJECT IS NOT KNOWN AT THIS TIME. HOWEVER, IT IS ANTICIPATED THAT CONSTRUCTION WILL COMMENCE IN THE FALL OF 2020 AND WILL PROCEED IMMEDIATELY AND CONTINUOUSLY ONCE THE REQUIRED

PHASE	DURATION
INSTALL TEMPORARY SOIL EROSION FACILITIES (CONSTRUCT STABILIZED CONSTRUCTION ENTRANCE, INSTALL SILT FENCE, INSTALL TREE PROTECTION FENCING)	IMMEDIATELY
2. SITE DEMOLITION	2 WEEKS
3. ROUGH CLEARING AND GRADING (BASINS SHALL BE EXCAVATED NO FURTHER THAN 1 FOOT ABOVE FINAL GRADE	2 WEEKS
4. TEMPORARY SEEDING	IMMEDIATELY
5. UTILITY INSTALLATION	2 WEEKS
6. INSTALL INLET PROTECTION	IMMEDIATELY
7. FINAL EXCAVATION/CONSTRUCTION OF STORMWATER BASINS	1 WEEK
8. CURB AND SIDEWALK CONSTRUCTION	1 WEEK
9. PAVEMENT SUB-BASE	1 WEEK
10. CONSTRUCTION OF BUILDING(S)	9 MONTHS
11. MAINTENANCE OF TEMPORARY EROSION CONTROL MEASURES	CONTINUOUSLY
12. PRELIMINARY INSTALLATION OF LANDSCAPING	1 WEEK
13. FINAL PAVEMENT COURSE	1 WEEK
14. FINAL CONSTRUCTION/STABILIZATION OF SITE	1 WEEK

APPROVALS ARE SECURED. ITEMS AND DURATIONS OF CONSTRUCTION WILL OCCUR APPROXIMATELY AS FOLLOWS: PHASE

*TEMPORARY SEEDING SHALL ALSO BE PERFORMED WHEN NECESSARY IN ACCORDANCE WITH NOTE NO. 1 OF THE SOIL EROSION AND SEDIMENT CONTROL NOTES. CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL MEASURES DURING CONSTRUCTION. THE PROPERTY OWNERS SHALL ASSUME THIS RESPONSIBILITY AFTER CONSTRUCTION IS COMPLETED

THE SOIL EROSION INSPECTOR MAY REQUIRE ADDITIONAL SOIL EROSION MEASURES TO BE INSTALLED, AS DIRECTED BY THE THE CONTRACTOR IS RESPONSIBLE FOR KEEPING THE ROADWAYS CLEAN AT ALL TIMES. ANY SEDIMENT SPILLED OR TRACKED ON THE ROADWAY WILL BE CLEANED UP IMMEDIATELY. OR AT MINIMUM, BY THE END OF EACH WORK DAY.

DUST GENERATION SHALL BE CONTROLLED ON A CONSTANT BASIS BY WETTING THE SURFACE AND/OR APPLICATION OF CALCIUM

STEEP SLOPES SHALL RECEIVE A TEMPORARY SEEDING IN COMBINATION WITH STRAW MULCH OR SUITABLE EQUAL. (SEE ANCHORING NOTES & NOTE NO. 6 OF SOIL EROSION & SEDIMENT CONTROL NOTES.) ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON INDIVIDUAL SITES SHALL APPLY TO ANY SUBSEQUENT OWNERS.

FENCE POST

(SPACING 8'-0" C. TO C.)

SILT FENCE DETAIL

TREE ROOT PROTECTION

CRITICAL ROOT RADIUS

FABRIC SECURED TO POST WITH METAL

FASTENERS & REINFORCEMENT

BETWEEN FASTENER & FABRIC —

DIG 6" WIDE & DEEP TRENCH,

BURY BOTTOM 1'-0" OF FABRIC,

DRAWSTRING RUNNING

ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING

THE CRITICAL ROOT RADIUS (CRR).

 MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.

2. MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.

DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.

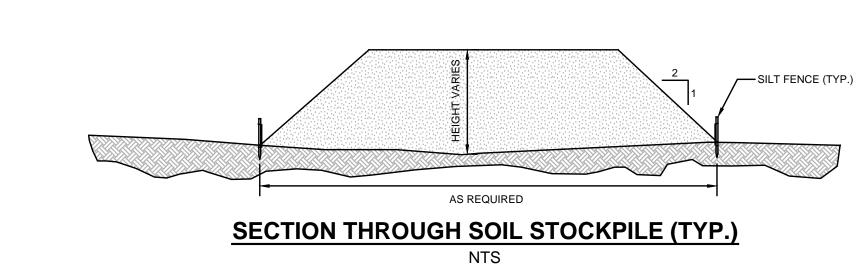
> [PROTECTED ROOT ZONE

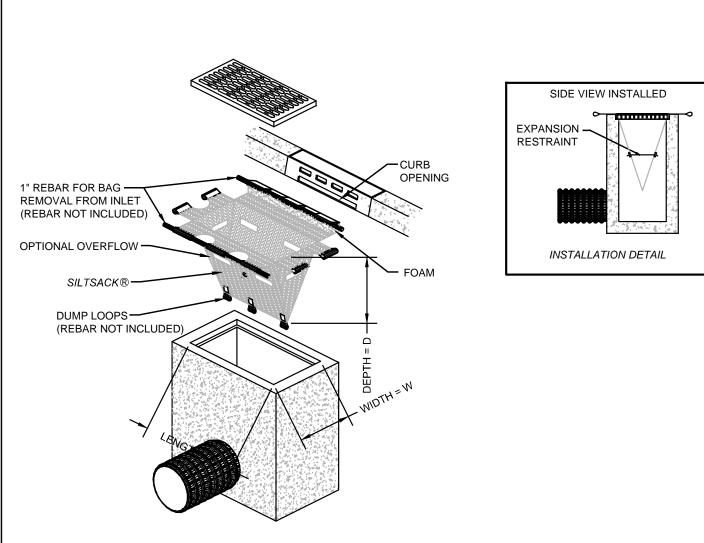
THROUGH FABRIC ALONG —

TOP OF FENCE

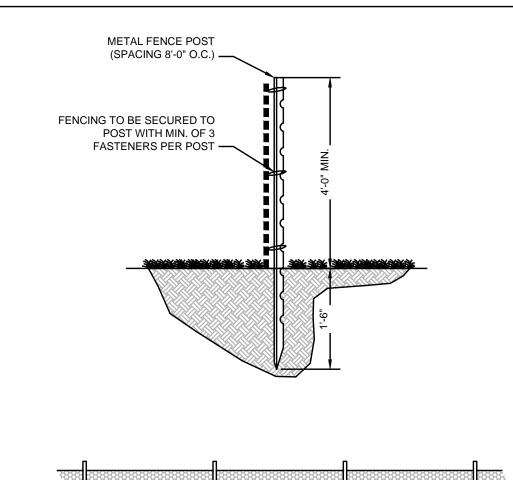
SILT ACCUMULATION -

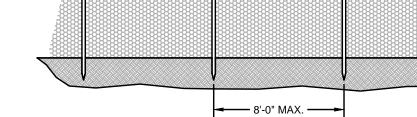
TAMP N PLACE —











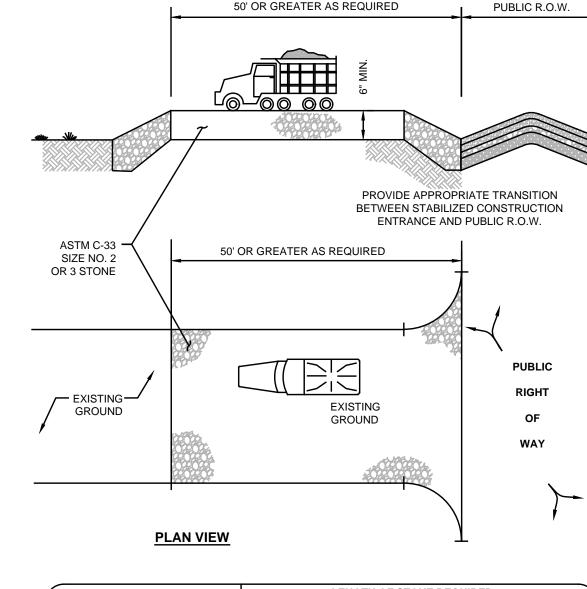


TREE PROTECTION - TILE AND GRAVEL WILL ALLOW

TREE PROTECTION

(FILL AREAS)

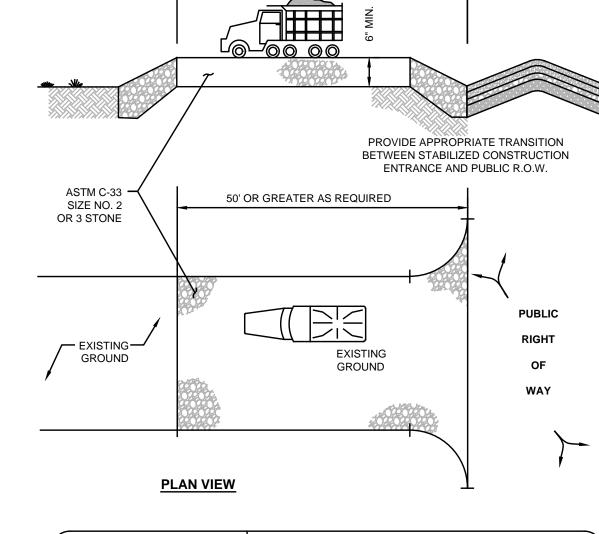
AIR CIRCULATION TO ROOT ZONE UNDER A FILL.



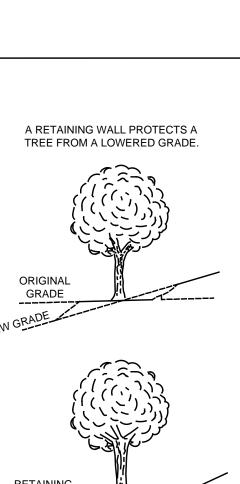
DEDOENT OF ODE OF DOADINAY	LENGTH OF STONE REQUIRED		
PERCENT SLOPE OF ROADWAY	COURSE GRAINED SOILS	FINE GRAINED SOILS	
0 TO 2%	50 FT	100 FT	
2 TO 5%	100 FT	200 FT	
> 5%	ENTIRE SURFACE STABILIZED BASE COURSE, MIX 1-2 1	WITH FABC HOT MIX ASPHALT	

N 1 2

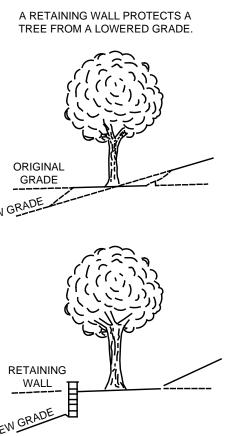
NOTE: INDIVIDUAL LOT ACCESS POINTS MAY REQUIRE STABILIZATION. THE THICKNESS SHOWN IS FOR STONE CONSTRUCTION ENTRANCE ONLY.



1. AS PRESCRIBED BY LOCAL ORDINANCE OR OTHER GOVERNING AUTHORITY.
STABILIZED CONSTRUCTION ENTRANCE
NITO



TREE PROTECTION (CUT AREAS)



PROJECT INFORMATION

<u>BLOCK 9606, LOTS 29, 32-35 (A.K.A. LOT 29.01)</u> TAX MAP SHEET #96 532 SUMMIT AVENUE 571-573-575-577 PAVONIA AVENUE

575 PAVONIA LLC 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030

575 PAVONIA LLC 50 WASHINGTON STREET HOBOKEN, NEW JERSEY 07030

APPLICANT'S PROFESSIONALS HLW ARCHITECTS, LLC 5 PENN PLAZA NEW YORK, NY 10001

INSITE SURVEYING, LLC 1955 ROUTE 34, SUITE 1A WALL, NJ 07719

CONNELL FOLEY LLP HARBORSIDE 5 185 HUDSON STREET, SUITE 2510 JERSEY CITY, NJ 07311

> MELILLO & BAUER ASSOCIATES, INC. 200 UNION AVENUE BRIELLE, NJ 08730



CALL BEFORE YOU DIG NJ ONE CALL....800-272-1000

CERTIFICATE OF AUTHORIZATION: 24GA28083200 1955 ROUTE 34, SUITE 1A, WALL, NJ 07719 732-531-7100 (Ph) 732-531-7344 (Fax)

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA COLORADO, & DISTRICT OF COLUMBIA

InSite@InSiteEng.net www.InSiteEng.net

REVISIONS

SCALE: AS SHOWN DESIGNED BY: JWB

DRAWN BY: GRS DATE: **8/12/19** JOB#: **19-543-09** CHECKED BY: LRF CAD ID: **19-543-09r4**

NOT FOR CONSTRUCTION FOR CONSTRUCTION PLAN INFORMATION

PRELIMINARY & FINAL MAJOR SITE PLAN

SOIL EROSION & SEDIMENT CONTROL **DETAILS**