

**532 SUMMIT AVENUE AND 571-573-575-577 PAVONIA AVENUE  
CITY OF JERSEY CITY, HUDSON COUNTY, NEW JERSEY**

**DESIGN VARIATIONS PREVIOUSLY APPROVED:**

(W-1) SJSP #1A: 16' STOREFRONT FACADES SHALL INCORPORATE A MINIMUM OF 60% TRANSPARENT GLASS. 56% IS PROPOSED.

(W-2) SJSP #1B: BUILDINGS WITH STOREFRONT FACADES SHALL ADJACENT BUILDINGS BY 50% OR MORE SHALL UTILIZE A CONTEXTUAL BUILDING HEIGHT FEATURE IN THE FACADE DESIGN. THE CONTEXTUAL HEIGHT FEATURE SHALL MARK THE AVERAGE BUILDING HEIGHT OF ADJACENT STRUCTURES WITHIN THE FACADE DESIGN THROUGH A CHANGE IN MATERIAL, COLORE, A PROJECTION OR CANTILEVER, OR OTHER DESIGN ELEMENT TO ARTICULATE THE NEW BUILDING HEIGHT WITH THE EXISTING BUILDING HEIGHT. THE BUILDING HEIGHT FEATURE IS PROPOSED.

(W-3) SJSP #1C: 16' AND NO MORE THAN FIFTEEN (15) PERCENT OF THE FIRST FLOOR STORE FRONTAGE AND NO MORE THAN 30 CONSECUTIVE LINEAR FEET ALONG THE 16' STORE FRONTAGE OF WAY-MAY BE DEDICATED TO OTHER USES SUCH AS METER ROOMS, BLANK WALLS, EMERGENCY EXITS, ETC. 69.5 LINEAR FEET ARE PROPOSED.

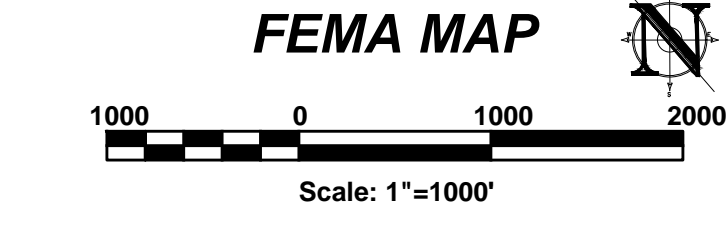
(W-4) SJSP #1A: 17' GROUND FLOOR STOREFRONT BULKHEADS BELOW THE DISPLAY WINDOWS SHALL BE A MAXIMUM OF 18 INCHES IN HEIGHT ABOVE SIDEWALK GRADE. 3.5 FEET IS PROPOSED.

**DESIGNATIONS REQUESTED:**

(D-10A) SJSP #1B: BUILDINGS WITH MULTIPLE USES SHALL HAVE NOT MORE THAN ONE (1) SIGN PER FLOOR. TWO (2) SIGNS WERE PREVIOUSLY APPROVED FOR THE CAFE/RESTAURANT USE AND THREE (3) ARE NOW PROPOSED.

**DESIGN VARIATIONS REQUESTED:**

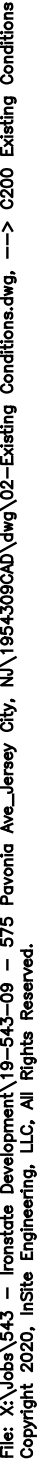
(W-1) SJSP #1A: ALL STOREFRONT FACADES SHALL INCORPORATE A MINIMUM OF 80% TRANSPARENT GLASS. 56% WAS PREVIOUSLY APPROVED AND 33.7% IS NOW PROPOSED.



FINAL 5

FOR CONSTRUCTION		APPROVED BY:	
PLAN INFORMATION			
DRAWING TITLE:			
PRELIMINARY & FINAL MAJOR SITE PLAN			
SHEET TITLE:			
TITLE SHEET			





File: X:\Jobs\343 - Ironstate Development\18-542-09 - 575 Pavonia Ave\_Jersey City, NJ\185430900\dwg\02-Existing Conditions.dwg --> C200 Existing Conditions  
Copyright 2020, InSite Engineering, LLC, All Rights Reserved.

---

NO: C200





File: X:\jobs\343 - ironstate development\18-343-08 - 575 Pavonis Ave\_Jeremy City, NV\1854308CAD\dwg\02-Existing Conditions.dwg, ---> C201 Site Prep  
Copyright 2020, InSite Engineering, LLC, All Rights Reserved.

- NOTES:**
- DEMOLITION UTILITY APPEARANCES INDICATED TO BE REMOVED (INCLUDING FIRE HYDRANTS, WATER METERS, INLET GRATES & MANHOLE COVERS & FRAMES) WITHIN THE PROJECT'S BOUNDARY ARE TO BE REMOVED FOR THE JCMJA TO CLAIM. ALL REMAINDERS THEREAFTER WILL BE DISPOSED OF OFF-SITE BY THE CONTRACTOR AT AN APPROPRIATE DISPOSAL FACILITY.
- STREET APPEARANCES INDICATED TO BE REMOVED (INCLUDING SIGNS, POLES, TREES & FENCING) WITHIN THE LIMITS SHOWN ARE TO BE REMOVED AND DISPOSED OFF-SITE UNLESS OTHERWISE NOTED.
- LIGHTING LIGHTING AND UTILITY POLE REMOVALS ARE TO BE COORDINATED WITH PSE&G.
- UNDERGROUND UTILITIES, LINES, PIPING, STRUCTURES, FOUNDATIONS, VAULTS AND BUILDING FRAGMENTS ASSOCIATED WITH OTHER BUILDINGS INDICATED TO BE REMOVED WITHIN THE PROJECT BOUNDARY, ARE TO BE REMOVED AND DISPOSED OFF-SITE.
- DEMOLITION SHALL CONFORM WITH ANY APPLICABLE FEDERAL, STATE OR LOCAL REGULATIONS. THE CONTRACTOR HAS SOLE RESPONSIBILITY FOR OBTAINING ALL NECESSARY PERMITS AND COMPLIANCE WITH ALL STANDARDS OR REGULATIONS. SAFETY AND PROTECTION OF THE REMAINING UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE CONTRACTOR SHALL OBTAIN ALL APPLICABLE FEDERAL, STATE AND LOCAL PERMITS PRIOR TO ABANDONMENT, DEMOLITION AND/OR CONSTRUCTION.
- DEMOLITION SHALL BE REMOVED (CURBS, SIDEWALKS, PATIO, RETAINING WALL, FENCES, ASPHALT, CONCRETE, ETC.) WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OFF-SITE AT AN APPROPRIATE FACILITY.
- TEMPORARY PERMITS FENCING IS TO BE REMOVED AT THE CONCLUSION OF THE DEMOLITION PROJECT UNLESS OTHERWISE INDICATED.
- SEWATER, SANITARY SEWER AND STORM SEWER MAINS AND STRUCTURES, INCLUDING CLEANOUTS INDICATED TO BE REMOVED SHOWN WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AND DISPOSED OF OFF-SITE AT AN APPROPRIATE DISPOSAL FACILITY.
- ALL UTILITIES TO BE REMOVED AT PERMETER OF SITE.
- DEBRIS, TREES, STUMPS, VEGETATION, DRIP PIPES, CONSTRUCTION DEBRIS, ETC. WITHIN THE PROJECT'S BOUNDARY SHALL BE REMOVED AS PART OF THIS PROJECT AND BE DISPOSED OF OFF-SITE UNLESS OTHERWISE STATED OR APPROVED.
- THE CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES THAT CONSTRUCTION OF THE WORK UNDER THIS PLAN WILL PASS THROUGH AREAS WHERE THEIR SERVICES EXIST. NOTIFICATION TO THE UTILITIES MUST BE MADE IN A SUFFICIENT AMOUNT OF TIME IN ADVANCE (72 HOURS) PRIOR TO START OF ANY CONSTRUCTION WORK IN THE AFFECTED AREAS.
- UTILITIES SERVICES TO EXISTING RESIDENTIAL AND COMMERCIAL BUILDINGS ADJACENT TO THE PROJECT THAT ARE TO REMAIN, WILL BE THE RESPONSIBILITY OF THE CONTRACTOR. THE HIGH-ADJACENT UTILITIES ARE FULLY OPERATIONAL AND ACCEPTED BY THE CITY OF JERSEY. THE CONTRACTOR SHALL PROVIDE ADVANCE NOTICE TO THE BUILDING OWNERS OF ANY TEMPORARY INTERRUPTIONS OF SERVICES. TEMPORARY INTERRUPTIONS MAY BE NEEDED TO CONNECT THE EXISTING SERVICES TO THE NEWLY CONSTRUCTED UTILITIES AND TO TEST THE NEW UTILITIES.
- UTILITY CONNECTIONS TO ADJACENT BUILDINGS MUST STAY ACTIVE.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE SHUT OFF, DISCONNECT, AND/OR CAPPING OF ALL UTILITIES TO THE SITE INCLUDING, BUT NOT LIMITED TO, WATER, SEWER, GAS, AND ELECTRIC. THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, OFFERS AND LETTERS, OBTAINING ALL PERMITS TO COMPLETE ALL PHASES OF THE PROJECT AND TO PROVIDE PERMITTEE CHAIN LINK FENCING (6" HIGH AND SILT FENCING (3" HIGH) FOR THE DURATION OF THE DEMOLITION PROJECT. IN ADDITION, THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING A CONSTRUCTION ENTRANCE WITH SOIL DECONTAMINATION MATS AND MAINTAINING SITE SECURITY. ALL WORK IS TO BE IN ACCORDANCE WITH THE APPROVED SOIL EROSION & SEDIMENT CONTROL PLAN.
- DEMOLITION MATERIAL AND DEBRIS AND ALL ITEMS REMOVED FROM THE PROPERTY AND THE PUBLIC AREAS ADJACENT, SHALL BE DEPOSITED OUTSIDE THE CITY LIMITS OF JERSEY CITY IN ACCORDANCE WITH THE RULES AND REGULATIONS OF THE CITY'S ENVIRONMENTAL COMMISSION AND IN ACCORDANCE WITH REGULATIONS AND LAWS OF THE NJDEP.
- NOTIFICATION TO NOTIFY THE JERSEY CITY ENGINEER'S OFFICE IN WRITING (AT LEAST 72 HOURS PRIOR TO COMMENCEMENT OF CONSTRUCTION).

SHEET NO: C201

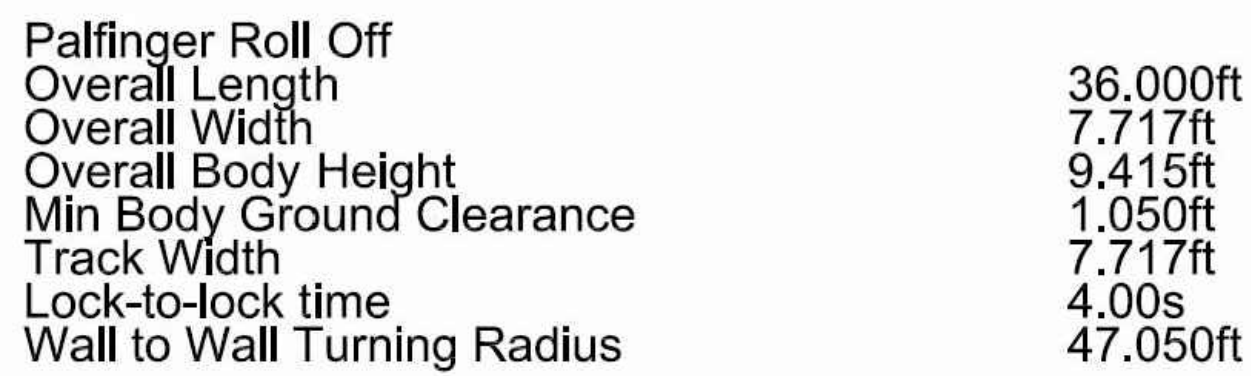






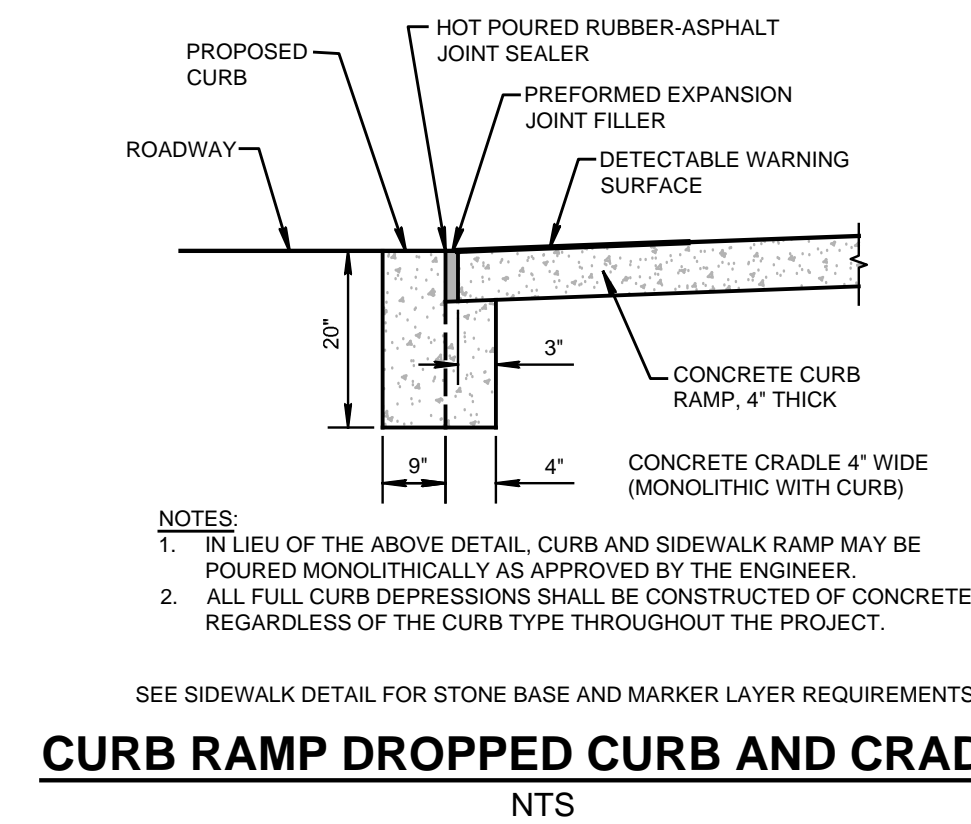
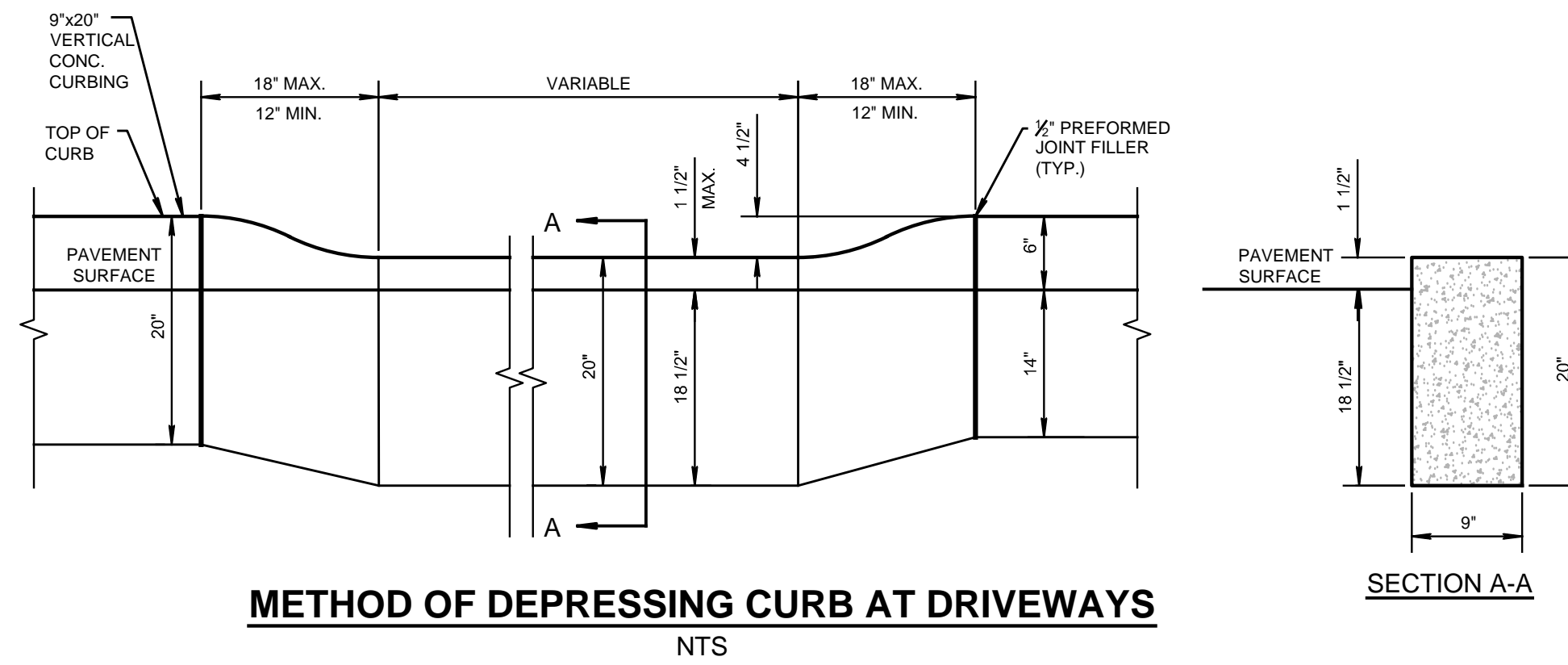
---





**NOTES:**

1. ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE NJDOT CLASS "B".
2. PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS. PROVIDE DUMMY JOINTS AT INTERVALS EQUAL TO THE SIDEWALK WIDTH BETWEEN EXPANSION JOINTS.
3. PROVIDE WELDED WIRE FABRIC REINFORCEMENT, TYPE 6X6=W2.9XW2.9 AT DRIVEWAY APRONS.



## GENERAL NOTES

1. LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR.
2. DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
3. CURB (DROPPED CURB) GUTTERLINE SHALL BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMPS.
4. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF SIDEWALK IS 8 FEET OR LESS, THE SIDEWALK CURB RAMP DELINEATION (SHADED AREA) SHALL BE SAFETY RED IN COLOR ON 70% COLOR CONTRAST FOR OTHER SURFACES SUCH AS CONCRETE AT BUMP.
5. WHERE THE DISTANCE FROM THE GUTTER LINE TO THE OUTSIDE EDGE OF THE SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPES 1 THROUGH 4.
6. DIMENSIONS SHOWN ON THE TABLES ARE FOR 4, 6, OR 8 INCH CURB HEIGHTS, WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF RAMPS WILL HAVE TO BE CALCULATED BASED ON THE CROSS SLOPE SLOPES.
7. ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

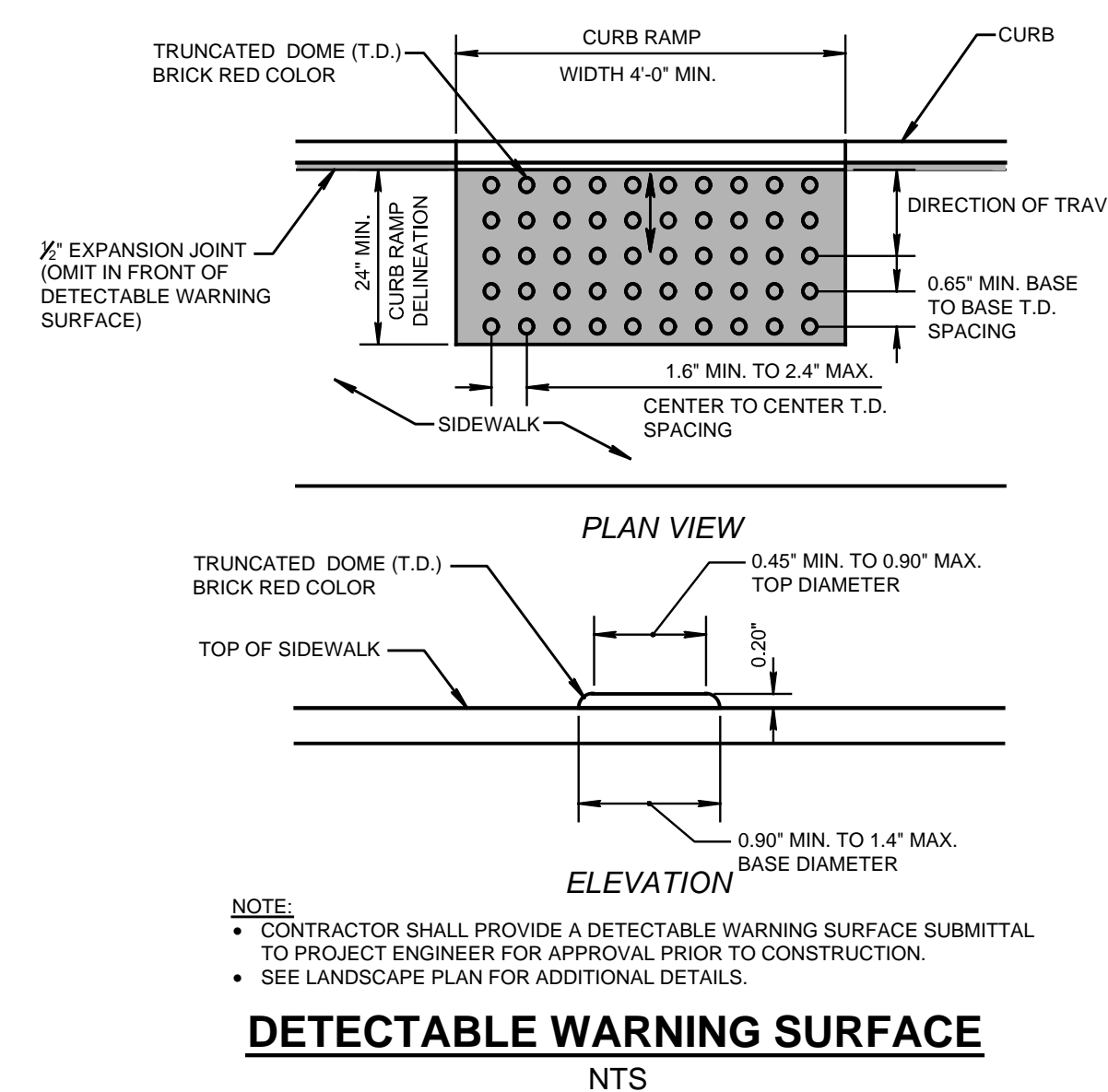
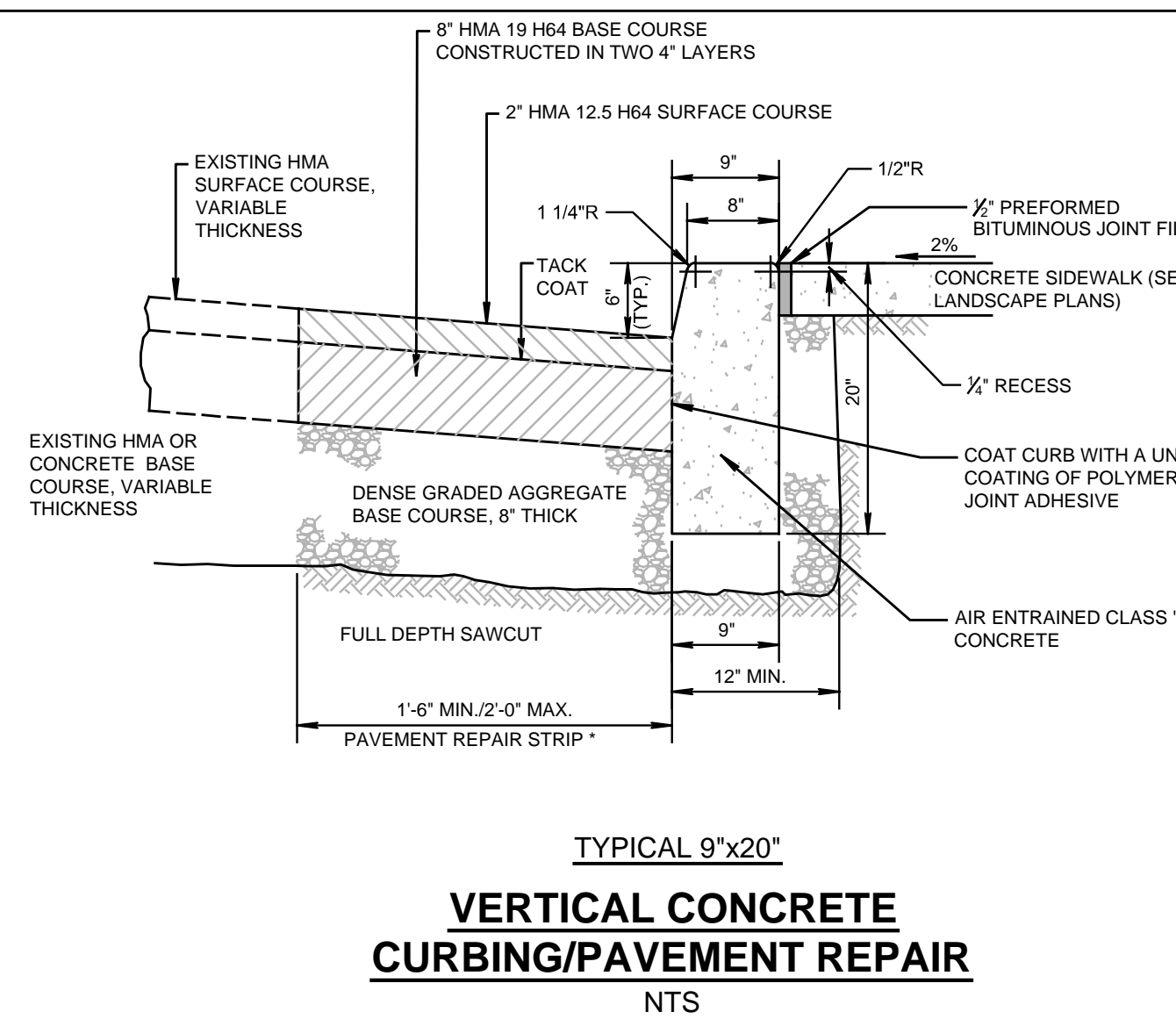
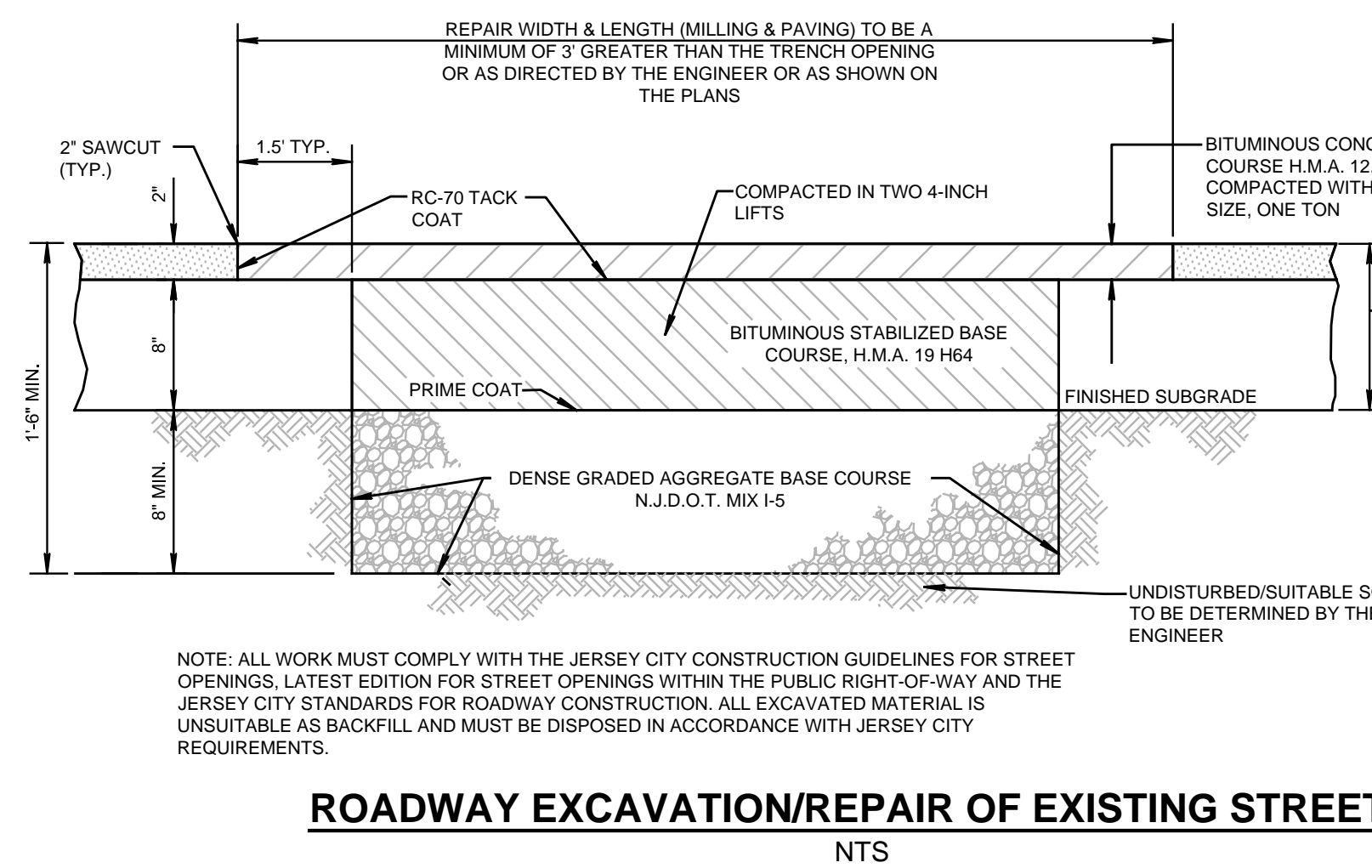
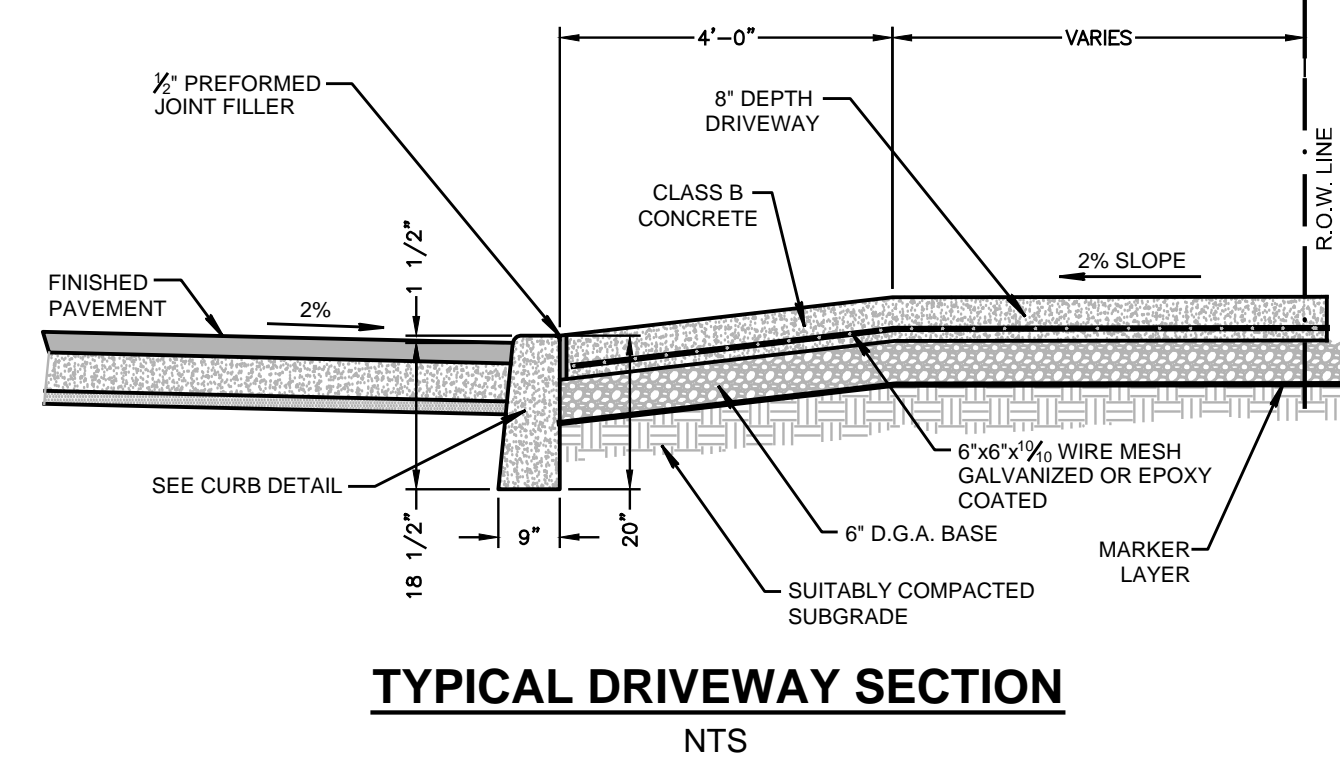
The drawing consists of two parts: a cross-section (SECTION A-A) and a plan view (PLAN).

**SECTION A-A:** This view shows the vertical profile of the sidewalk. From left to right, it includes the road pavement, a preformed joint filler (TYP.), a 9"x20" vertical concrete curb, a sidewalk with a 2% (1/4" per foot) slope, and a rigid structure. The sidewalk is composed of 18" concrete with air entrained glass (see landscape plans). There are 4" minimum clean fill layers above and below the sidewalk. A 1/2" preformed joint filler (TYP.) is shown at the bottom right.

**PLAN:** This view shows the top-down layout of the sidewalk. It features a grid of 9"x20" concrete slabs. The slabs are separated by 1/2" preformed joint filler in the curb @ 10'-0" max. spacing (offset from sidewalk exp. joints). The plan view also shows the sidewalk's width, a 4' typical dimension, and a 9"x20" curb. A note indicates to see landscape plans for scouring pattern.

**NOTES:**

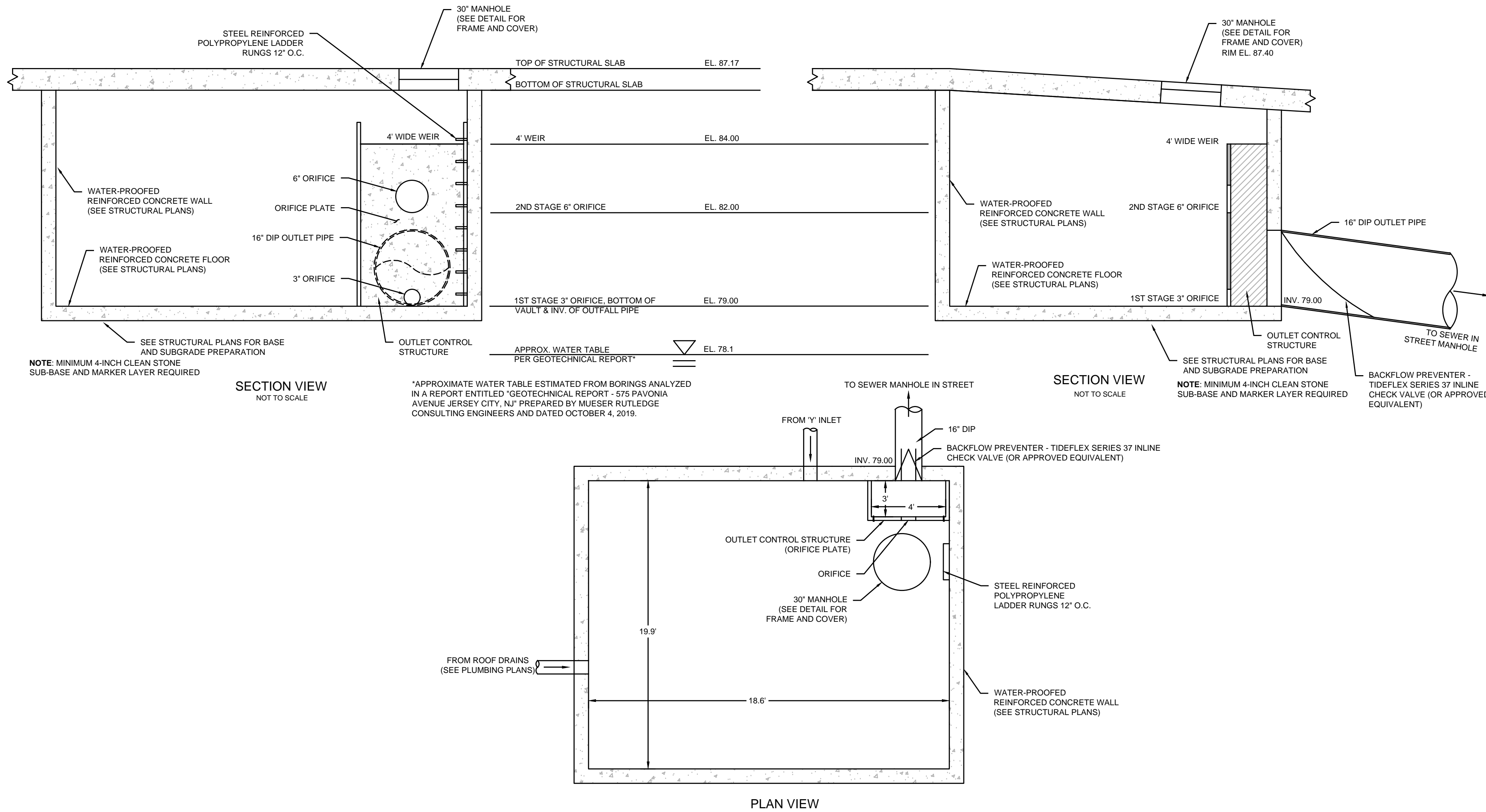
- NOTE: SEE LANDSCAPE PLANS FOR SCOURING PATTERN, COLOR TREATMENT, AND SCOURING PATTERN.



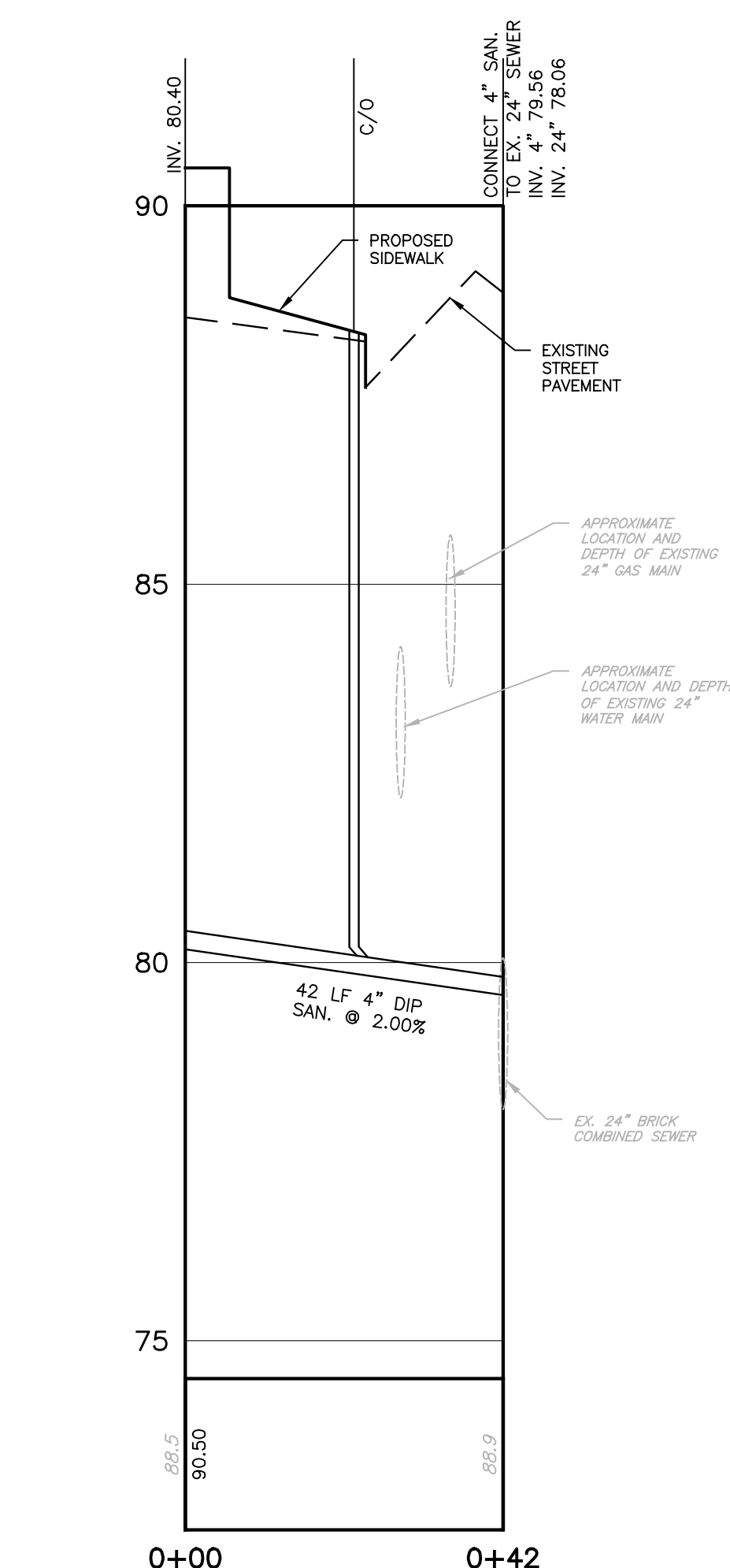


FINAL FOR SEWER DESIGN

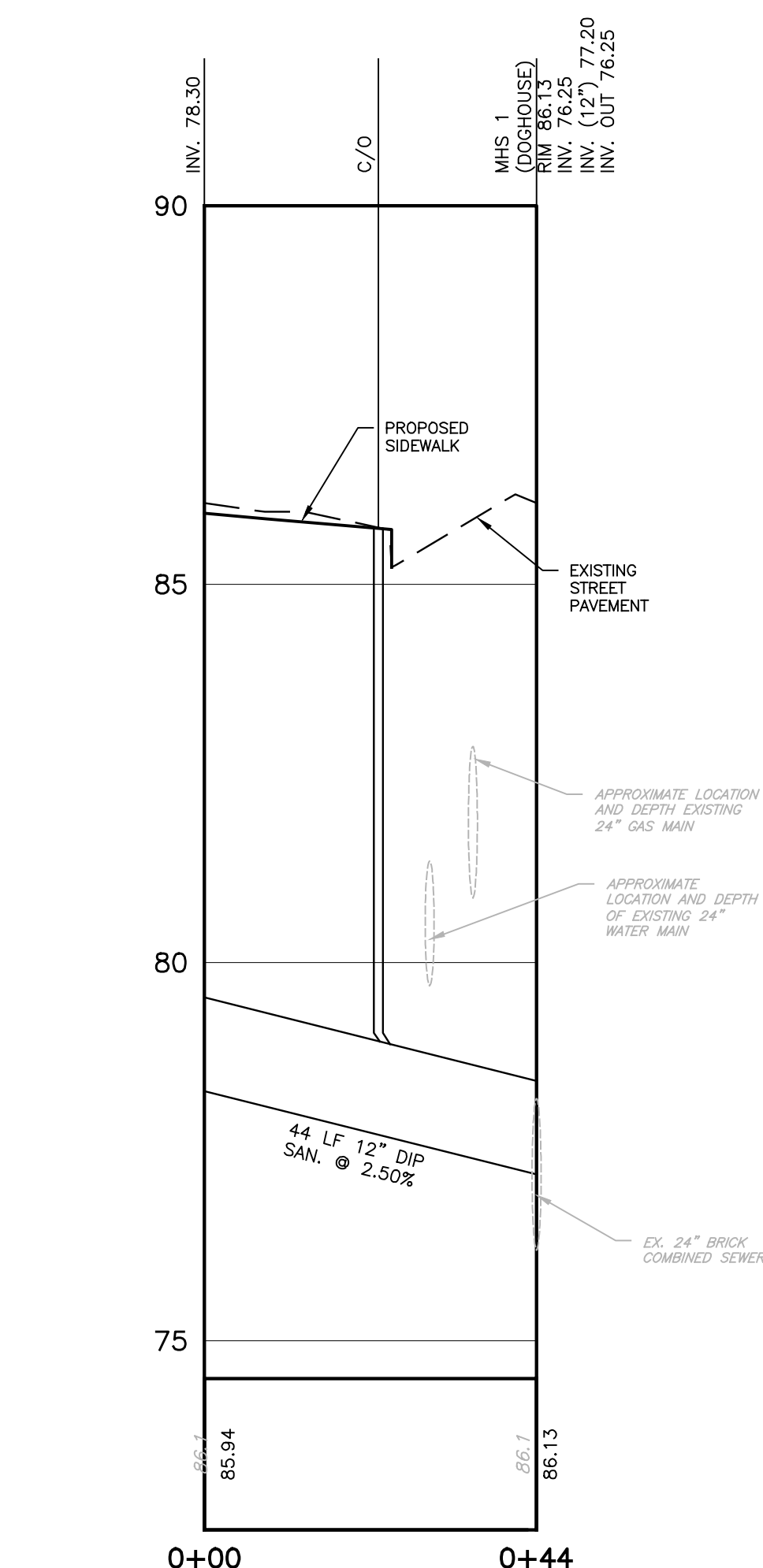




**CAST-IN-PLACE SUBSURFACE STORMWATER  
DETENTION VAULT**  
NTS



**4\"/>**



**12\"/>**

FINAL FOR SEWER DESIGN

PROJECT INFORMATION

PROJECT NAME:  
**JOURNAL  
SQUARE  
URBY**

PROJECT LOCATION:  
BLOCK 8666, LOTS 20, 32-36 (A.K.A. LOT 28.01)  
TAX MAP SHEET 606  
630 SUMMIT AVENUE  
571-525-5737 PAVONIA AVENUE  
CITY OF JERSEY CITY,  
HUDSON COUNTY, NJ

OWNER:  
**575 PAVONIA LLC**  
50 WASHINGTON STREET  
HOBOKEN, NEW JERSEY 07030

APPLICANT:  
**575 PAVONIA LLC**  
50 WASHINGTON STREET  
HOBOKEN, NEW JERSEY 07030


APPLICANT'S PROFESSIONALS

ARCHITECT:  
**HLW ARCHITECTS, LLC**  
5 FENWICK PLAZA  
NEW YORK, NY 10001

SURVEYOR:  
**INSITE SURVEYING, LLC**  
1955 ROUTE 34, SUITE 1A  
WALL, NJ 07719

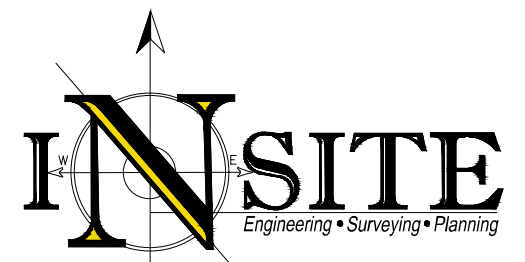
ATTORNEY:  
**CONNELL FOLEY LLP**  
HARBORSIDE 5  
185 HUDSON STREET, SUITE 2510  
JERSEY CITY, NJ 07311

LANDSCAPE ARCHITECT:  
**MELLO & BAUER ASSOCIATES, INC.**  
200 UNION AVENUE  
BRIELLE, NJ 08730



CALL BEFORE YOU DIG!  
NJ ONE CALL...800-272-1000  
(or call 1-800-272-1000 for more info)

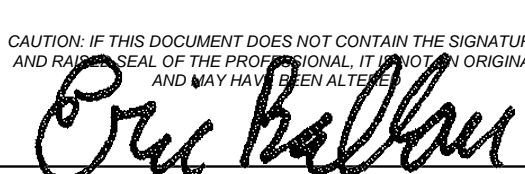
UTILITY	TYPE	DEPTH
ELC (ELECTRIC)	UNDERGROUND	8\"/>
COMMUNICATIONS (CABLE)	UNDERGROUND	8\"/>
WATER	UNDERGROUND	8\"/>
SEWER	UNDERGROUND	8\"/>
TEMP. SENSING MARKERS	UNDERGROUND	8\"/>
PROPOSED EXCAVATION	UNDERGROUND	8\"/>



InSite Engineering, LLC  
CERTIFICATE OF AUTHORIZATION: 24GA28083200  
1955 ROUTE 34, SUITE 1A, WALL, NJ 07719  
732-531-7100 (PH) 732-531-7344 (FAX)  
InSite@InSiteEng.net www.InSiteEng.net

LICENSED IN: NEW JERSEY, NEW YORK, PENNSYLVANIA, DELAWARE, CONNECTICUT, NORTH CAROLINA, COLORADO, & DISTRICT OF COLUMBIA

CAUTION: IF THIS DOCUMENT DOES NOT CONTAIN THE SIGNATURE AND SEAL OF THE PROFESSIONAL, IT IS NOT A VALID ORIGINAL AND MAY BE A COPY.

  
**ERIC R. BALLOU, PE**  
N.J. LIC. NO. 42827

REVISIONS

REV.	DATE	DESCRIPTION
1	8/12/19	GENERAL REVISIONS THIS SHEET ADDED

SCALE: AS SHOWN	DESIGNED BY: JWB
DATE: 8/12/19	DRAWN BY: GRS
JOB #: 19-543-09	CHECKED BY: LRF
CAD ID: 19-543-09r4	
<input checked="" type="checkbox"/> NOT FOR CONSTRUCTION	
APPROVED BY:	
FOR CONSTRUCTION	
PLAN INFORMATION	
DRAWING TITLE: <b>PRELIMINARY &amp; FINAL MAJOR SITE PLAN</b>	
SHEET TITLE: <b>CONSTRUCTION DETAILS</b>	
SHEET NO.: <b>C802</b>	



\_\_\_\_\_



