

PROPOSED DWELLING UNIT. INTERIOR ALTERATION AND CHANGE OF USE OF THE EXISTING COMMERCIAL TENANT SPACE

436 CENTRAL AVE
JERSEY CITY, HUDSON COUNTY, NJ
BLOCK: 2202 | LOT: 3

PROJECT DESCRIPTION:
THE PROJECT IS AN INTERIOR ALTERATION TO AN EXISTING COMMERCIAL TENANT SPACE. THE SPACE WILL BE DIVIDED AND A NEW RESIDENTIAL DWELLING UNIT WILL BE CREATED AT THE REAR OF THE BUILDING. WORK IS LIMITED TO THE REAR OF THE FIRST FLOOR ONLY. THE EXISTING COMMON AREAS, RESIDENTIAL DWELLING UNITS ABOVE WILL REMAIN UNMODIFIED. NO CHANGES ARE PROPOSED TO THE BUILDING EGRESS, STRUCTURAL SYSTEMS AND NO ADDITION IS PLANNED FOR THE BUILDING. WORK INCLUDES ELECTRICAL, PLUMBING, HVAC AND SPRINKLER WORK.

TOTAL ALTERATION SQUARE FOOTAGE: 789.8 S.F.

TOTAL ALTERATION VOLUME: 7,898 CU. FT.

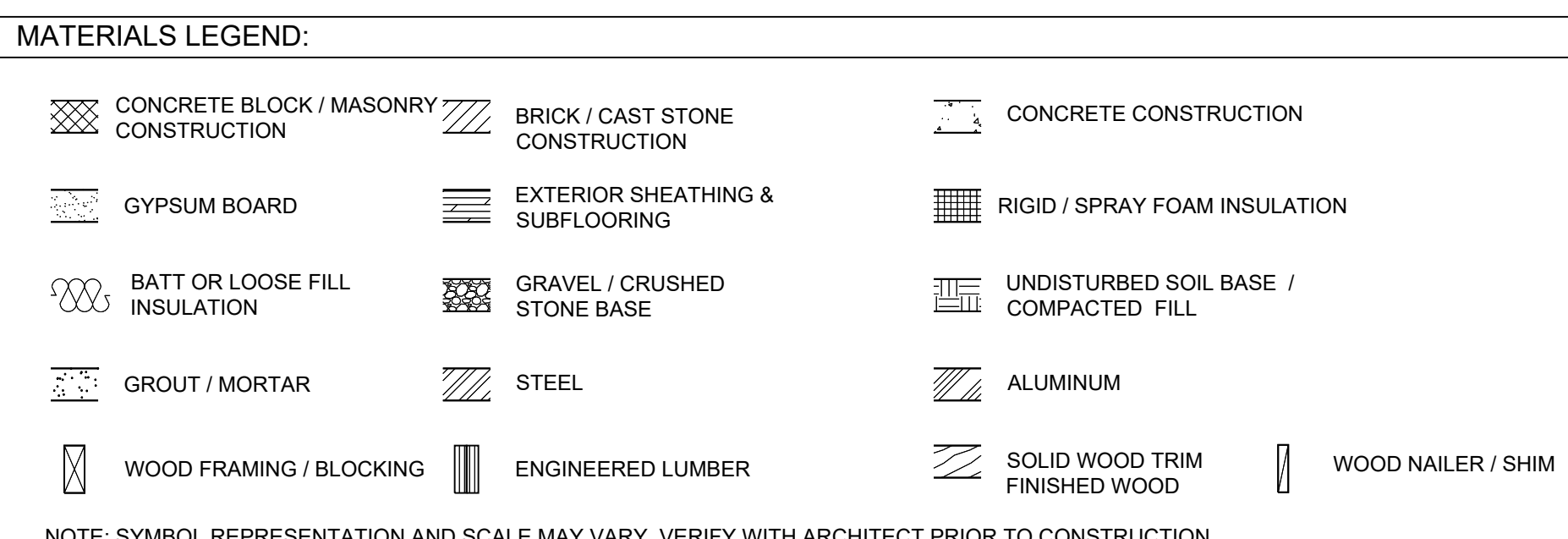
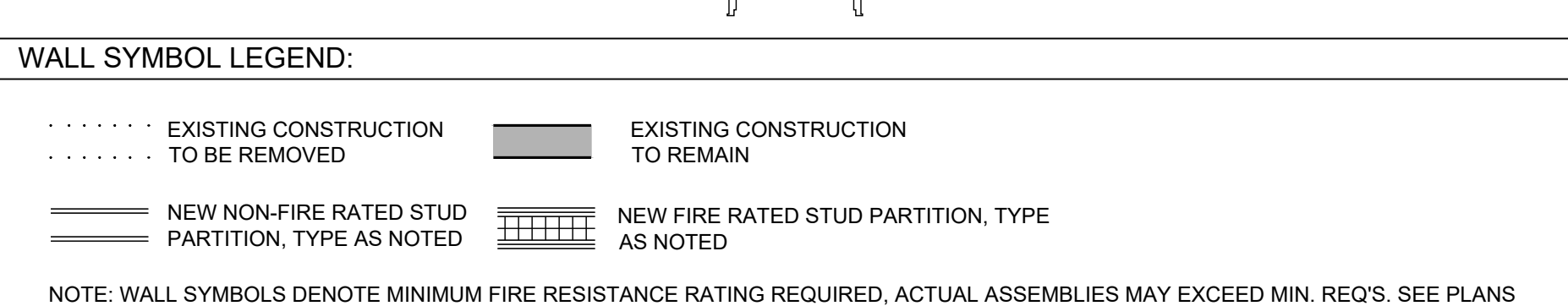
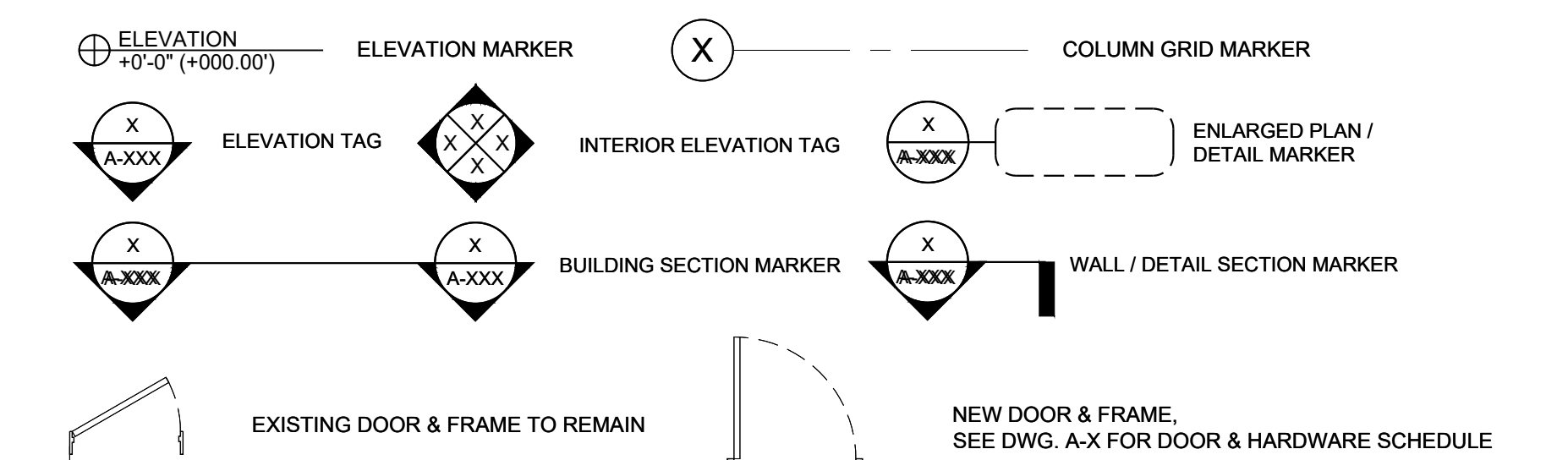
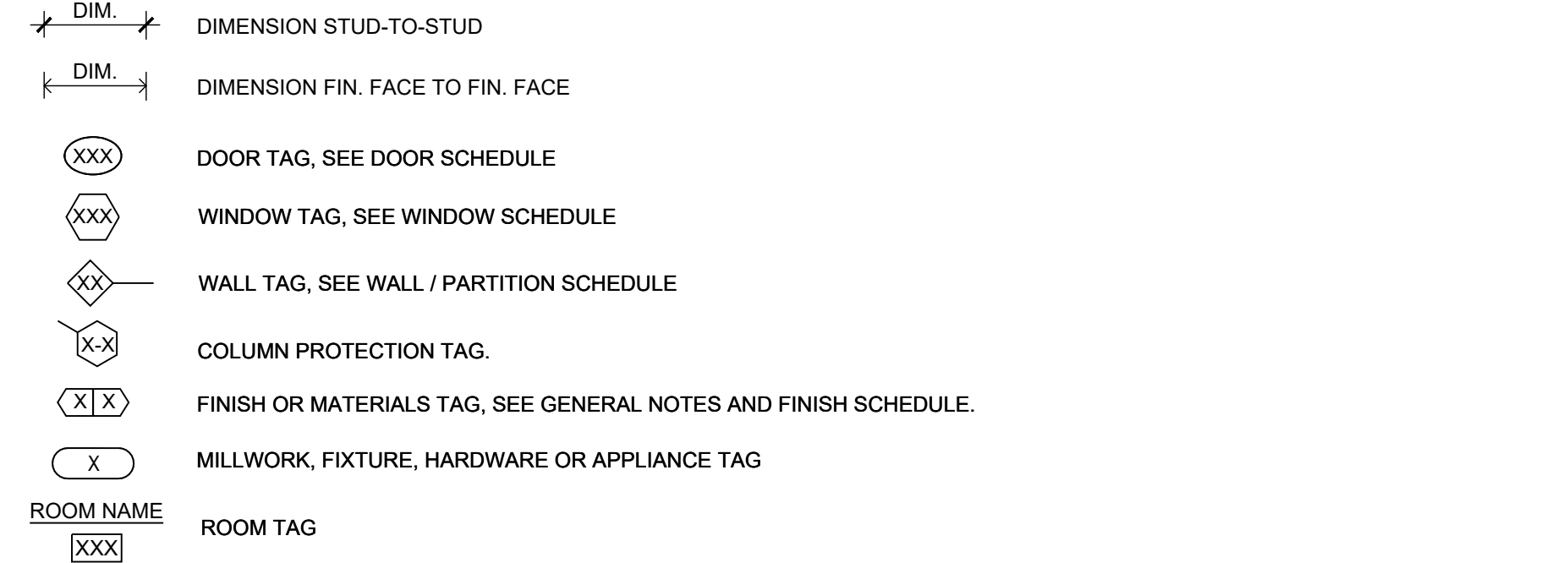
ZONE DISTRICT: NC - NEIGHBORHOOD COMMERCIAL.

BUILDING HEIGHT: 3 STORIES (NO CHANGE)

USE AND OCCUPANCY: MIXED-USE - B & R-2 - (NO CHANGE)

CONSTRUCTION CLASSIFICATION: V8 - IBC TABLE 601. (NO CHANGE)

DRAFTING SYMBOLS LEGEND



ZONING TABULATION CHART - NC: NEIGHBORHOOD COMMERCIAL ZONE

ORDINANCE	REQUIREMENT	EXISTING	PROPOSED	VARIANCE REQ'D
PERMITTED PRINCIPAL USE	RETAIL, OFFICE, RES. APTS ABOVE 1ST FLR.	MIXED-USE	MIXED-USE WITH GROUND FLR. RES	NO, CONDITIONAL USE
CONDITIONAL USES	GROUND FLOOR RESIDENTIAL WHEN COMMERCIAL USES ARE PROPOSED: - RES. USES LIMITED TO 40% OF FIRST FLOOR - COMMERCIAL USE SHALL BE 40% OF 1ST FLR. - THE BUILDING DOES NOT HAVE AN ELEVATOR	GROUND FLOOR COMMERCIAL	GROUND FLOOR RESIDENTIAL WHEN COMMERCIAL USES ARE PROPOSED: - 37% 1ST FLR. RES USE - 34% 1ST FLR. COMMERCIAL USE - NO ELEVATOR PROVIDED	NO NO NO

BULK STANDARDS
INTERIOR ALTERATION: NO CHANGES ARE PROPOSED TO THE EXIST. LOT SIZE, SETBACKS, YARDS, HEIGHT, LOT/BUILDING COVERAGES

*NOTE: NEWLY CREATED RESIDENTIAL USE WILL NOT FRONT ON CENTRAL AVENUE. UNIT WILL BE LOCATED AT THE REAR OF THE BUILDING. THE EXISTING GROUND FLOOR STREETScape AND COMMERCIAL FRONTAGE WILL REMAIN UNAFFECTED BY PROPOSED ALTERATION

GENERAL PROJECT REQUIREMENTS:

- CONTRACTORS RESPONSIBLE FOR FURNISHING WORK FOR THE COMPLETION OF THIS PROJECT SHALL DO SO IN STRICT CONFORMANCE WITH THE WORKING DRAWINGS AND SPECIFICATIONS. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR THE CONTRACTOR'S FAILURE TO PERFORM THE WORK IN ACCORDANCE WITH THE REQUIREMENTS OF THE CONTRACT DOCUMENTS.
- ARCHITECT HAS NO SUPERVISION ON JOB. CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND SHALL BE TOTALLY RESPONSIBLE FOR CONSTRUCTION METHODS, TECHNIQUES, SEQUENCES AND PROCEDURES AND FOR COORDINATING ALL PORTIONS OF THE WORK UNDER THIS CONTRACT AND COORDINATION WITH WORK BEING INSTALLED BY OTHERS. THE CONTRACTOR SHALL BE TOTALLY RESPONSIBLE FOR THE SAFETY OF THE WORK AREA, ADJACENT AREAS AND BUILDING OCCUPANTS THAT ARE LIKELY TO BE AFFECTED BY THE WORK UNDER THIS CONTRACT. ARCHITECT HAS NO CONTRACT ADMINISTRATION ON JOB UNLESS OTHERWISE DIRECTED BY OWNER.
- THERE ARE NO SEPARATE WRITTEN SPECIFICATIONS FOR THIS PROJECT.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR & SUB-CONTRACTORS SHALL BE LICENSED & INSURED AND APPROVED BY OWNER. THE CONTRACTOR SHALL PROVIDE A CERTIFICATE OF GENERAL LIABILITY COVERAGE AS WELL AS WORKERS COMPENSATION AND EMPLOYER'S LIABILITY INSURANCE. ALL POLICIES SHALL NAME THE OWNERS & WECKENMANN ARCHITECTURE, LLC, AS ADDITIONAL INSURED. INSURANCE CERTIFICATES SHALL BE PROVIDED WITH CONSTRUCTION ASSOCIATION PRIOR TO START OF WORK.
- CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED PERMITS, OWNER AND MUNICIPAL APPROVALS AND PAYING ALL FEES.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VISITING THE PROJECT SITE AND VERIFYING ALL DIMENSIONS, MEASUREMENTS, EXISTING CONDITIONS AND SHALL BE RESPONSIBLE FOR MEETING ALL CONDITIONS AT THE BUILDING AND SITE. EXISTING CONDITIONS MAY VARY SUBSTANTIALLY FROM THESE PLANS AND THE DRAWINGS INDICATING THE GENERAL EXISTING CONDITIONS. THESE DRAWINGS, BY THEIR NATURE, CANNOT REVEAL ALL CONDITIONS THAT EXIST ON THE SITE. CONTRACTOR SHALL NOTE ALL EXISTING CONDITIONS AS WELL AS ALL CONDITIONS TO BE MET. WHERE EXISTING CONDITIONS DIFFER FROM THOSE INDICATED ON THE DRAWINGS IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO REPORT SUCH DISCREPANCIES TO BOTH THE OWNER AND THE ARCHITECT BEFORE PROCEEDING WITH WORK IN THE AREA IN QUESTION. LACK OF THOROUGH UNDERSTANDING SHALL NOT CONSTITUTE AN EXCUSE FOR ERRORS OR OMISSION, NOR REQUEST FOR EXTRA COMPENSATION.
- CONTRACTOR SHALL SUPPLY AND INSTALL ALL MATERIALS AND LABOR REQUIRED AND INFERRED BY DRAWINGS TO PRODUCE A COMPLETE FINISHED JOB.
- NO SPECIFIED MATERIALS, EQUIPMENT, FIXTURES OR FINISHES MAY BE SUBSTITUTED WITHOUT ARCHITECT'S AND OWNER'S WRITTEN APPROVAL.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH THE BUILDING OWNER / MANAGEMENT AND SCHEDULE HIS ACTIVITIES AND WORKING HOURS IN ACCORDANCE WITH THE CITY AND BUILDING REQUIREMENT.
- PROJECT REQUIREMENTS ARE SUBJECT TO FIELD INSPECTION BY CONSTRUCTION CODE OFFICIALS.
- MINOR DETAILS NOT USUALLY SHOWN OR SPECIFIED, BUT REQUIRED FOR PROPER CONSTRUCTION OF ANY PART OF THE WORK SHALL BE INCLUDED AS IF THEY WERE INDICATED ON THE DRAWINGS.
- ALL CLARIFICATIONS, SUPPLEMENTAL INFORMATION, AND MODIFICATIONS TO BID DOCUMENTS SHALL BE MADE BY THE ARCHITECT ONLY, IN WRITING.
- ALTERATIONS OR MODIFICATIONS TO EXISTING BUILDING STRUCTURAL ELEMENTS (FLOORING, FRAMING, EXTERIOR AND DEMISING WALLS) ARE PROHIBITED.
- IF HAZARDOUS MATERIAL IS IDENTIFIED BY THE DEMOLITION/GENERAL CONTRACTOR OR IF THERE IS A QUESTION AS TO THE PRESENCE OF HAZARDOUS MATERIAL, THE DEMOLITION/GENERAL CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ARCHITECT. CLEANUP AND REMEDIATION IS THE RESPONSIBILITY OF THE OWNER. THE GENERAL CONTRACTOR SHALL ASSIST THE OWNER IN OBTAINING PROPOSALS FOR TESTING AND REMEDIATION, IF NECESSARY. THE ARCHITECT IS NOT IN ANY WAY RESPONSIBLE FOR IDENTIFYING, LOCATING AND REMEDIATING HAZARDOUS MATERIAL. ABATEMENT PROCEDURES. NO DEMOLITION IS TO BE DONE UNTIL THE HAZARDOUS MATERIAL ABATEMENT HAS BEEN COMPLETED & APPROVED BY THE AUTHORITY HAVING JURISDICTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR READING AND UNDERSTANDING ALL OF THE PROJECT REQUIREMENTS AND GENERAL NOTES. THE CONTRACTOR SHALL NOT UNDERTAKE ANY WORK AT THE PROJECT SITE WITHOUT PROPER UNDERSTANDING OF THESE DRAWINGS, SPECIFICATIONS AND BUILDING CODE REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LOCAL CODES AND REGULATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, FLOOR & ROOF JOISTS, BEARING WALLS, SHEAR WALLS AND BRACING, AND ENSURING THAT THEIR INTEGRITY IS NOT COMPROMISED AS A RESULT OF THE DEMOLITION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS WITHIN THE PROJECT SITE. REPORT ANY DISCREPANCIES FOUND TO THE ARCHITECT FOR CLARIFICATION.
- IF DURING THE COURSE OF SITE DEMOLITION AND EXCAVATION, EXISTING AND OTHERWISE UNKNOWN UTILITIES ARE ENCOUNTERED, WORK IN THAT AREA IS TO BE HALTED UNTIL THE STATUS OF THE UTILITIES HAS BEEN ASCERTAINED BY THE ENGINEER AND/OR UTILITY COMPANY HAVING AUTHORITY. AUTHORIZATION TO PROCEED SHALL BE GIVEN BY THE ENGINEER / UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ANY EXISTING SITE AREAS DESIGNATED TO REMAIN AND ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE AND BE UNDISTURBED.
- ALL BUILDING SYSTEMS AND/OR UTILITIES NOT REQUIRED TO FUNCTION AS PART OF THE FINAL SYSTEM, SHALL BE REMOVED IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATION & DEMOLITION MATERIAL, UNLESS DESIGNATED FOR SALVAGE, WHICH SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, LOCAL CODES AND REGULATIONS. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING SITE EQUIPMENT, PIPING, CONTROLS, ETC. NOT REQUIRED TO FUNCTION UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND CLEANUP OF ALL DEBRIS ASSOCIATED WITH THESE ITEMS.
- WHERE IT BECOMES NECESSARY TO TEMPORARILY DISTURB SYSTEMS TO PERMIT THE EXECUTION OF THE DEMOLITION AND EXCAVATION PROCESS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE OWNER AND/OR ALL AFFECTED PARTIES TO SCHEDULE A SHUTDOWN. THE CONTRACTOR SHALL PROVIDE ENOUGH NOTICE SO AS NOT TO CAUSE ANY DELAYS OR AFFECT ON THE CONTRACT PRICE / TIME.

UCC: REPAIR 5-23-6.4:
"REPAIR" MEANS THE RESTORATION TO A GOOD OR SOUND CONDITION OF MATERIALS, SYSTEMS AND / OR COMPONENTS THAT ARE WORN, DETERIORATED OR BROKEN USING MATERIALS OR COMPONENTS IDENTICAL TO OR CLOSELY SIMILAR TO THE EXISTING.

UCC: ALTERATION 5-23-6.6:
"ALTERATION" MEANS THE REARRANGEMENT OF ANY SPACE BY THE CONSTRUCTION OF WALLS OR PARTITIONS OR BY A CHANGE IN CEILING HEIGHT, THE ADDITION OR ELIMINATION OF ANY DOOR OR WINDOW, THE EXTENSION OR REARRANGEMENT OF ANY SYSTEM, THE INSTALLATION OF ANY ADDITIONAL EQUIPMENT OR FIXTURES AND ANY WORK WHICH REDUCES THE LOADBEARING CAPACITY OF OR WHICH IMPOSES ADDITIONAL LOADS ON A PRIMARY STRUCTURAL COMPONENT

UCC: CHANGE OF USE 5-23-6.31:
"CHANGE OF USE MEANS A CHANGE FROM ONE USE TO ANOTHER USE IN A BUILDING OR TENANCY OR PORTION THEREOF. SEE A-100 FOR CHANGE OF USE NOTES

BUILDING CODE NOTES:

- THE BUILDING SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE FOLLOWING ADOPTED CODES AND STANDARDS:
BUILDING SUBCODE: INTERNATIONAL BUILDING CODE / 2018, NJ ED.
PLUMBING SUBCODE: NATIONAL STANDARD PLUMBING CODE / 2018, NJ ED.
ELECTRICAL SUBCODE: NATIONAL ELECTRICAL CODE (NFPA 70) / 2017
ENERGY SUBCODE: ASHRAE 90.1-2016
MECHANICAL SUBCODE: INTERNATIONAL MECHANICAL CODE / 2018
FUEL GAS SUBCODE: INTERNATIONAL FUEL GAS CODE / 2018
BARRIER FREE SUBCODE: 11 of 802018 & NJAC 5:23-7, ICC/ANSI A117.1-2009
NU UNIFORM CONSTRUCTION CODE: NJAC 5:23 SUBCHAPTER 6, REHABILITATION SUBCODE
- USE AND OCCUPANCY CLASSIFICATION:
A. FIRST FLOOR: B - BUSINESS USE, AND R-2 APARTMENT HOUSES (304.1, 310.3)
B. SECOND - THIRD FLOORS: (310.3), R-2 - APARTMENT HOUSES
- SPECIAL DETAILED REQUIREMENTS GROUP R2 (420):
A. SEPARATION WALLS (420.2): WALLS SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED AS FIRE PARTITIONS MINIMUM(708).
B. HORIZONTAL SEPARATION (420.3): FLOOR ASSEMBLIES SEPARATING DWELLING UNITS SHALL BE CONSTRUCTED AS HORIZONTAL ASSEMBLIES (711).
- REQUIRED SEPARATION OF OCCUPANCIES (7508.4): (NOT SPRINKLERED)
A. GROUP R-2 AND BIM USES - MIN. 2 HOURS REQUIRED, 2 HOURS R2 PROVIDED (SEE WALL TYPES)
- CONSTRUCTION CLASSIFICATION (7602): 5B (NO CHANGE)
- MINIMUM FIRE RESISTANCE RATING REQUIREMENTS - TYPE V8 CONSTRUCTION (7601, 7602):
PRIMARY STRUCTURAL MEMBERS: 0 HOURS
BEARING WALLS (EXTERIOR): 0 HOURS
BEARING WALLS (INTERIOR): 0 HOURS
NONBEARING WALLS (INTERIOR): 0 HOURS
FLOOR CONSTRUCTION ON HORIZONTAL ASSEMBLIES: 0 HOURS
ROOF CONSTRUCTION: 0 HOURS
EXTERIOR WALLS (NON-BEARING) X<5': 1 HOUR
EXTERIOR WALLS (NON-BEARING) 5'X<10': 1 HOUR
EXTERIOR WALLS (NON-BEARING) 10'X<30': 0 HOUR
EXTERIOR WALL HEADERS (1703.3): 0 HOURS
8. ALLOWABLE BUILDING HEIGHT ABOVE GRADE PLANE (7504.3): (S) AUTOMATIC SPRINKLER SYSTEM PROVIDED THROUGHOUT IN ACCORD. W/ 903.3.1.1
A. S.M. R-2 OCCUPANCY, TYPE 1A CONSTRUCTION - UNLIMITED, 13'-9" PROVIDED
B. R-2 OCCUPANCY, TYPE VA CONSTRUCTION - 70 FEET MAX ALLOWABLE, 55'-7" PROVIDED
9. ALLOWABLE NUMBER OF STORIES ABOVE GRADE PLANE (7504.4): 3 STORIES, TYPE VA CONSTRUCTION (EXISTING, NO CHANGE PROPOSED)
10. FIRE BARRIERS (1703.3): 0 HOURS, R2 OCCUPANCIES: 2 HOURS MINIMUM, 2 HOURS PROVIDED
11. CORRIDOR WALLS (708.3, 11020.2) 1 HOUR PROVIDED
12. PENETRATIONS AND JOINTS (714): ALL PENETRATIONS THROUGH FIRE RESISTANCE RATED CONSTRUCTION / ASSEMBLIES AND JOINTS BETWEEN COMPONENTS SHALL COMPLY WITH 714 & 715 AND BE INSTALLED SUCH THAT FIRE RESIST. RATINGS OF THE ASSEMBLY SHALL NOT BE REDUCED. CONTRACTOR TO CONSULT BUILDING CODE FOR ALL PENETRATION REQUIREMENTS. ANY PENETRATION THROUGH FIRE SHALL BE PROVIDED WITH A LISTED AND APPROVED JOINT / FIRESTOP ASSEMBLY.
13. DUCTS AND TRANSFER OPENINGS (717.1, 717.2): DUCTS AND AIR TRANSFER OPENINGS SHALL COMPLY WITH THE REQUIREMENTS OF 717.1-717.7. ALL DUCTWORK SHALL BE RUN BELOW / ADJACENT FIRE RESISTANCE RATED CONSTRUCTION WHERE FEASIBLE. GWB SHALL BE CONTINUOUS BEHIND/ABOVE DUCTWORK. PENETRATIONS THROUGH FIRE RESISTANCE RATED CONSTRUCTION SHALL BE PROTECTED WITH RATED SMOKE AND FIRE DAMPERS COMPLYING WITH SECTION 717 AND AT THE FOLLOWING LOCATIONS: F
A. IN EACH SLEEPING ROOM 1.5 HOURS
B. 3 HOUR OR GREATER 3 HOURS
14. FIRELOCKING (718.2): FIRELOCKING CONSISTING OF APPROVED MATERIALS (SEE 718.2.1 FOR FULL LIST OF APPROVED MAT'S) SHALL BE INSTALLED IN ACCORDANCE W/ 718.2. FIRELOCKING SHALL BE INSTALLED TO CUT OFF CONCEALED DRAFT OPENINGS AND SHALL FORM A BARRIER BETWEEN FLOORS, BETWEEN A TOP STORY AND A ROOF AND SHALL BE INSTALLED AS FOLLOWS. (SEE 718 FOR FURTHER DETAILS)
A. VERTICALLY AT THE CEILING AND FLOOR LEVELS OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES
B. HORIZONTALLY AT INTERVALS NOT EXCEEDING 10 FEET OF STUD WALLS AND PARTITIONS, INCLUDING FURRED SPACES
C. INTERCONNECTING BETWEEN CONCEALED VERTICAL STUD WALL OR PARTITION SPACES AND HORIZONTAL SPACES SUCH AS AT SOFFITS, DROP CEILING ETC.
D. CONCEALED SPACES BETWEEN SPRINKLERS AT THE TOP AND BOTTOM OF THE RUN
E. ANNULAR SPACES AROUND VENTS, PIPES, DUCTS, CHIMNEYS AND FIREPLACES AT CEILING AND FLOOR LEVELS.
F. CONCEALED SPACES OF EXTERIOR WALL COVERINGS AND OTHER EXTERIOR ELEMENTS AT MAX. INTERVAL OF 20 FT. SO NO CONCEALED SPACE EXCEEDS 100 S.F.
G. CONCEALED SLEEPER SPACES SUCH THAT THERE WILL BE NO OPEN SPACES UNDER THE FLOORING THAT WILL EXCEED 100 SQUARE FEET
- DRAFTSTOPPING (718.3.2): REQUIRED IN SLEEPING UNIT AND DWELLING UNIT SEPARATION WALLS SHALL BE CONT.
16. AUTOMATIC SPRINKLER SYSTEM (5-23-6.31 (g) 1, ITEM I): REQUIRED - WHEN A PORTION OF A BUILDING IS CHANGED TO A HIGHER HAZARD CATEGORY AND THE PROPOSED USE IS SEPARATED FROM THE EXISTING USE BY A FIRE BARRIER, AN AUTOMATIC SPRINKLER SYSTEM SHALL BE INSTALLED ONLY IN THE PORTION CHANGED. A FIRE ALARM SYSTEM SHALL BE INSTALLED AND MAINTAINED AS REQ'D BY SECTION 907.2.10 OF THE BUILDING SUBCODE. SPRINKLER AND FIRE ALARM ENGINEERING AND DESIGN BY OTHERS.
17. EXEMPT LOCATIONS (903.3.1.1, 1.2): AUTOMATIC SPRINKLER SYSTEMS NOT REQUIRED IN THE FOLLOWING AREAS:
A. BATHROOMS IN R-2 OCCUPANCIES NOT EXCEEDING 55 S.F. IN AREA & LOCATED IN INDV. DWELLING UNITS.
18. SINGLE AND MULTIPLE STATION ALARMS: REQUIRED (907.2.11.2) AND IN ACCORDANCE WITH NFPA 72 & UL 217. ALARMS WITHIN DWELLING UNITS SHALL BE INTERCONNECTED (907.210.5). SHALL BE HARDWIRED WITH BATTERY BACKUP (907.2.10.6) AND SHALL BE INSTALLED AT THE FOLLOWING REQUIRED LOCATIONS:
A. IN EACH SLEEPING ROOM 1.5 HOURS
B. ON THE CEILING OR WALL OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF BEDROOMS
C. IN EACH STORY WITHIN A DWELLING UNIT.
D. IONIZATION SMOKE ALARMS SHALL NOT BE INSTALLED LESS THAN 20 FEET FROM A COOKING APPLIANCE
E. IONIZATION ALARMS WITH A LAMBDA-SIGNALING SWITCH SHALL NOT BE INSTALLED LESS THAN 10 FEET FROM A COOKING APPLIANCE
F. PHOTOELECTRIC ALARMS SHALL NOT BE INSTALLED LESS THAN 6 FEET FROM A COOKING APPLIANCE
19. CARBON MONOXIDE DETECTION: REQUIRED, PROVIDE IN ACCORDANCE WITH 915 AT THE FOLLOWING LOCATIONS:
A. OUTSIDE EACH SEPARATE SLEEPING AREA IN THE IMMEDIATE VICINITY OF THE BEDROOMS. COMBINATION CO / SMOKE ALARMS SHALL BE PERMITTED. CO ALARMS SHALL BE HARDWIRED, INTERCONNECTED WITH BATTERY BACKUP. ALARMS SHALL BE LISTED IN ACCORDANCE WITH UL 2076 AND UL 286A.
20. PORTABLE FIRE EXTINGUISHERS (906.1): REQUIRED, PROVIDE IN ACCORDANCE W/ SECTION 906, NFPA 10 AND LOCAL FIRE OFFICIALS. PROVIDE 1 EXTINGUISHER PER DWELLING UNIT
21. MAXIMUM OCCUPANT LOAD (T1004.1.2)
A. FIRST FLOOR BUSINESS USE: 150 S.F. / OCCUPANT GROSS - 1,076.0 S.F. - 7.2 OR 7 OCCUPANTS
B. FIRST FLOOR R-2 USE: 200 S.F. / OCCUPANT GROSS: 726.5 S.F. - 3.6 OR 3 OCCUPANTS
22. MINIMUM WIDTH OF NEWLY CREATED EGRESS COMPONENTS:
A. CORRIDORS WITHIN DWELLING UNITS: 36 INCHES
B. CORRIDORS WITH OCCUPANT LOAD <50: 36"
C. DOORS (1010): 32 INCHES CLEAR WHEN OPEN 90 DEGREES.
23. SPACES WITH ONE EXIT (T1008.2.1)
A. B OCCUPANCY: PERMITTED TRAVEL DISTANCE DOES NOT EXCEED 75 FEET, OCCUPANCY DOES NOT EXCEED 49.
B. R-2 OCCUPANCY: PERMITTED - NEWLY CREATED DWELLING UNIT IS SPRINKLERED, TRAVEL DIST. DOES NOT EXCEED 125 FEET

BUILDING CODE NOTES CONTINUED:

- MINIMUM FIRE RESISTANCE RATINGS OF EGRESS COMPONENTS: SEE FIRE RESISTANCE RATING NOTES, WALL TYPES.
- CORRIDORS: (T2020.1) 0.5 HOURS REQUIRED, 1 HOUR PROVIDED
- MEANS OF EGRESS ILLUMINATION (1008): PROVIDE AT ALL PUBLIC / COMMON AREAS. NOT REQUIRED AT INDIVIDUAL DWELLING UNITS (1008.2). ILLUM. LEVEL OF NOT LESS THAN 1FC AT WALKING SURFACE W/ 90 MINUTE EMERGENCY POWER BACKUP
- EXIT SIGNS (1013): REQUIRED AT EXITS AND EXIT ACCESS DOORS AND LOCATIONS WHERE EXIT OR PATH OF EGRESS TRAVEL IS NOT VISIBLE.
A. CORRIDORS & EXIT PASSAGEWAYS: PLACE AT INTERVALS OF 100' MAX. (1013.1)
B. NOT REQUIRED AT ROOMS OR AREAS WITH ONE EXIT OR INDIVIDUAL DWELLING UNITS (1013.1)
C. INTERNALLY OR EXTERNALLY ILLUMINATED IN ACCORDANCE W/ 1013.5.6
D. CHARACTERS SHALL COMPLY WITH 1013.4 AND ICC A117.1-2009
E. 90 MINUTE BATTERY BACKUP OR EMERGENCY GENERATOR REQUIRED.
- DOORS (1010): MEANS OF EGRESS DOORS SHALL COMPLY WITH THE FOLLOWING AND THE FULL REQUIREMENTS OF IBC 1010.
A. MIN. CLEAR WIDTH: 32" CLEAR WIDTH READ AT ALL EGRESS DOORS. 32" NOT READ AT INTERIOR DWELLING UNIT DOORS NOT ON MEANS OF EGRESS.
B. DOOR SWINGS (1010.1.3.3): ALL DOORS SHALL SWING IN THE DIRECTION OF TRAVEL. UNIT ENTRY DOORS AND RETAIL DOORS ARE EXEMPT (ICC - <50).
C. OPENING FORCE: SHALL COMPLY WITH 1010.1.3
D. HARDWARE: HEIGHT (1010.1.9.1): 34"-48" INSTALLED AT A.F. LATCH TYPE BARRIER-FREE ACCESSIBLE HARDWARE REQUIRED. ARCH SUBCOMMITTEE REQUIRED.
E. THRESHOLDS (1010.1.7): 1/4" OR 1/2" MAX HEIGHT IN ACCORDANCE W/ ICCA117.1-2009
- HAZARDOUS GLAZING LOCATIONS (2406.4): SEE IBC CHAPTER 24 FOR FULL LIST OF LOCATIONS AND REQUIREMENTS.
A. GLAZING SHALL BE SAFETY GLAZING IN SWINGING DOORS, FIXED AND SLIDING PANELS OF SLIDING DOOR ASSEMBLIES, STORM DOORS, UNFRAMED SWINGING DOORS, IN PANELS ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24" ARC OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60" ABOVE THE FLOOR OR WALKING SURFACE
B. GLAZING SHALL BE SAFETY GLAZING WHERE THE PANEL MEETS ALL THE FOLLOWING CONDITIONS: IS > 9 SQ. FT., BOTTOM EDGE < 18" ABOVE THE FLOOR, TOP EDGE > 36" ABOVE THE FLOOR AND THERE IS A WALKING SURFACE WITHIN 36" HORIZONTALLY OF THE PANEL.
C. GLAZING SHALL BE SAFETY GLAZING IN GUARDS AND RAILINGS REGARDLESS OF AREA OR HEIGHT ABOVE A WORKING SURFACE.
D. GLAZING SHALL BE SAFETY GLAZING ADJACENT TO STAIRWAYS, LANDINGS AND RAMPS WITHIN 36 INCHES HORIZONTALLY OF A WALKING SURFACE: WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE PLANE OF THE ADJACENT WALKING SURFACE.
E. GLAZING SHALL BE SAFETY GLAZING ADJACENT TO STAIRWAYS WITHIN 60 INCHES HORIZONTAL OF THE BOTTOM TREAD OF A STAIRWAY IN ANY DIRECTION WHEN THE EXPOSED SURFACE OF THE GLASS IS LESS THAN 60 INCHES ABOVE THE NOSE OF THE TREAD. EXCEPTION THE GLASS IS SEPARATED FROM THE STAIRWAY BY A CODE COMPLIANT GUARDRAIL AND IS MORE THAN 18 INCHES FROM THE RAILING
- INTERIOR ENVIRONMENT: ALL WALLS, PARTITIONS AND OR FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR FROM PUBLIC AREAS SHALL HAVE A MINIMUM SOUND TRANSMISSION CLASS OF NOT LESS THAN 50 AND AN IMPACT INSULATION CLASS RATING OF NOT LESS THAN 50. FILL ALL EXPOSED CAVITIES OF CEILINGS AND DEMISING WALLS WITH FULL THICKNESS NON-COMBUSTIBLE ACOUSTIC BATT INSULATION.

ENERGY SUBCODE COMPLIANCE:

- ALL WORK SHALL COMPLY WITH THE 2018 INTERNATIONAL ENERGY CONSERVATION CODE, 2018 TABLE R402.1.2. COMPLIANCE SHALL BE WITH THE PRESCRIPTIVE PACKAGE, INSULATION AND FENESTRATION REQUIREMENTS BY COMPONENT.
- THE BUILDING IS AN EXISTING MIXED-USE BUILDING LOCATED IN CLIMATE ZONE 4A

COMPONENT	REQUIREMENT	PROVIDED	COMPONENT	REQUIREMENT	PROVIDED
Fenestration U-Factor	0.35	0.35	Floor R-Value	30	30
Skylight U-Factor	0.55	N/A	Basement Wall R-Value	10/13	N/A
Ceiling R-Value	49	N/A	Slab R-Value & Depth	10, 2 Feet	N/A
Wood Frame Wall R-Value	20 or 13+5	21	Crawl Space Wall R-Value	10/13	N/A

DEMOLITION / EXCAVATION NOTES:

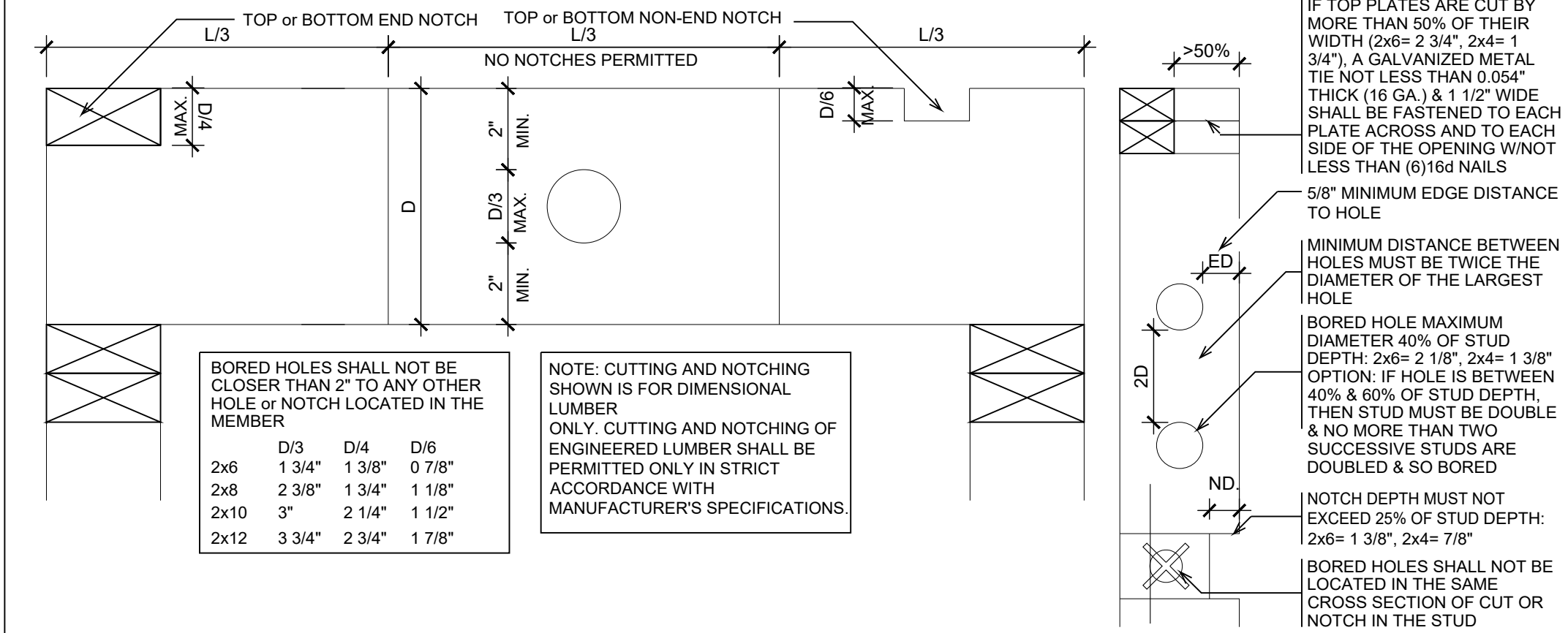
- ALL DEMOLITION WORK PERFORMED ON THIS BUILDING SHALL BE IN COMPLIANCE WITH ALL PERTINENT CODES, RULES, ORDINANCES AND REGULATIONS OF THE CITY OF JERSEY CITY AS WELL AS ALL LOCAL AND STATE GOVERNING AUTHORITIES.
- THE CONTRACTOR SHALL DISPOSE OF ALL DEMOLITION AND/OR WASTE MATERIALS IN AN OFF-SITE AND LEGAL MANNER. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED DEMOLITION PERMITS, INSPECTIONS AND OWNER & MUNICIPAL APPROVALS. ALL WORK SHALL BE DONE IN A WORKMANLIKE MANNER.
- THE DRAWINGS, BY THEIR NATURE, CANNOT REVEAL ALL CONDITIONS THAT EXIST ON THE SITE AND DO NOT REPRESENT A COMPLETE FIELD VERIFIED LAYOUT. SHOULD THE BUILDING CONDITIONS BE FOUND TO VARY SUBSTANTIALLY FROM THESE PLANS, CHANGES IN THE WORK WILL BE MADE WITH RESULTING CREDITS OR EXPENDITURES TO THE CONTRACT SUM ACCRUING TO THE OWNER. THE ARCHITECT SHALL NOT BE RESPONSIBLE FOR COST CHANGES IN THE WORK DUE TO UNSEEN / CONCEALED CONDITIONS OR WORK NOT INCLUDED BY THE CONTRACTOR IN THE ORIGINAL BID. THESE DRAWINGS INDICATE THE GENERAL EXISTING CONDITIONS AND DO NOT NECESSARILY REPRESENT A COMPLETE FIELD VERIFIED LAYOUT. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS WITHIN THE DEMOLITION AREAS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR IDENTIFYING ALL STRUCTURAL ELEMENTS, INCLUDING BUT NOT LIMITED TO COLUMNS, BEAMS, FLOOR & ROOF JOISTS, BEARING WALLS, SHEAR WALLS AND BRACING, AND ENSURING THAT THEIR INTEGRITY IS NOT COMPROMISED AS A RESULT OF THE DEMOLITION.
- THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS WITHIN THE PROJECT SITE. REPORT ANY DISCREPANCIES FOUND TO THE ARCHITECT FOR CLARIFICATION.
- IF DURING THE COURSE OF SITE DEMOLITION AND EXCAVATION, EXISTING AND OTHERWISE UNKNOWN UTILITIES ARE ENCOUNTERED, WORK IN THAT AREA IS TO BE HALTED UNTIL THE STATUS OF THE UTILITIES HAS BEEN ASCERTAINED BY THE ENGINEER AND/OR UTILITY COMPANY HAVING AUTHORITY. AUTHORIZATION TO PROCEED SHALL BE GIVEN BY THE ENGINEER / UTILITY COMPANY.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ANY EXISTING SITE AREAS DESIGNATED TO REMAIN AND ADJOINING PROPERTY SHALL BE PROTECTED FROM DAMAGE AND BE UNDISTURBED.
- ALL BUILDING SYSTEMS AND/OR UTILITIES NOT REQUIRED TO FUNCTION AS PART OF THE FINAL SYSTEM, SHALL BE REMOVED IN THEIR ENTIRETY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL OF ALL EXCAVATION & DEMOLITION MATERIAL, UNLESS DESIGNATED FOR SALVAGE, WHICH SHALL BE IMMEDIATELY REMOVED FROM THE SITE AND DISPOSED OF IN ACCORDANCE WITH ALL FEDERAL, STATE, LOCAL CODES AND REGULATIONS. THE CONTRACTOR SHALL DISCONNECT AND REMOVE ALL EXISTING SITE EQUIPMENT, PIPING, CONTROLS, ETC. NOT REQUIRED TO FUNCTION UNDER THIS CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND CLEANUP OF ALL DEBRIS ASSOCIATED WITH THESE ITEMS.
- WHERE IT BECOMES NECESSARY TO TEMPORARILY DISTURB SYSTEMS TO PERMIT THE EXECUTION OF THE DEMOLITION AND EXCAVATION PROCESS, IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO CONTACT THE OWNER AND/OR ALL AFFECTED PARTIES TO SCHEDULE A SHUTDOWN. THE CONTRACTOR SHALL PROVIDE ENOUGH NOTICE SO AS NOT TO CAUSE ANY DELAYS OR AFFECT ON THE CONTRACT PRICE / TIME.

PROTECTION OF ADJOINING PROPERTIES:

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING ANY EXISTING SITE AREAS, ADJACENT NEIGHBORING BUILDINGS AND PROPERTY, PUBLIC AREAS, STRUCTURES DESIGNATED TO REMAIN SHALL BE PROTECTED FROM DAMAGE AND REMAIN UNDISTURBED FOR THE ENTIRE DURATION OF CONSTRUCTION IN STRICT CONFORMANCE WITH THE REQUIREMENTS OF NJ UNIFORM CONSTRUCTION CODE REQUIREMENTS.
- WHERE THE WORK AREA IS ADJOINING PROPERTIES, OR HAS THE POTENTIAL TO DAMAGE ADJOINING PROPERTIES THE CONTRACTOR SHALL DELIVER WRITTEN NOTICE OF SUCH INTENT TO THE OWNERS OF THE AFFECTED PROPERTIES. THE NOTICE SHALL REQUEST WRITTEN PERMISSION TO ENTER THE ADJOINING PROPERTIES TO DETERMINE THE MEASURES THAT MUST BE TAKEN TO SAFEGUARD THE PROPERTIES FROM DAMAGE. WRITTEN CONSENT FROM THE OWNERS OF THE ADJOINING PROPERTIES MUST BE OBTAINED PRIOR TO ENTERING THE PROPERTIES. WHERE OWNERS OF ADJOINING PROPERTIES REFUSE ACCESS, WORK SHALL NOT PROCEED UNLESS ACCESS IS GRANTED BY THE COURTS.
- MEASURES TO BE TAKEN TO SAFEGUARD ADJOINING PROPERTIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR AND SHALL BE SUBMITTED AT THE TIME OF BIDDING. SUCH MEASURES SHALL BE SUBJECT TO REVIEW AND APPROVAL BY THE CONSTRUCTION OFFICIAL.
- UPON APPROVAL OF THE MEASURES TO SAFEGUARD THE ADJOINING PROPERTIES, THE OWNER / CONTRACTOR SHALL PROVIDE A COPY OF THE MEASURES TO THE OWNERS OF ADJOINING PROPERTIES AND SHALL REQUEST WRITTEN PERMISSION TO IMPLEMENT THE MEASURES PRIOR TO THE START OF WORK.

WOOD:

- WOOD FRAMING CALCULATIONS BASED ON LUMBER WITH A MINIMUM ALLOWABLE BASE FIBER STRESS FB= 850 PSI SUCH AS DOUGLAS FIR/LARCH 2x4. REFERENCED HEREIN AS "D.F.N. No. 2". SYP LUMBER IS NOT ACCEPTABLE FOR USE AS STRUCTURAL MEMBERS. ENGINEERED LUMBER IS PERMITTED, CONTRACTOR TO STATE SUBST. IN BID.
- DOUBLE JOISTS PARALLEL W/PARTITION ABOVE, DOUBLE ALL JOISTS BELOW BATHTUBS.
- NON-BEARING HEADERS: <6" 2x2 X 4, <8" 2x2 X 6, <10" 2x2 X 8
- ANY HEADER AT A BEARING CONDITION NOT SHOWN ON PLANS SHALL BE AS APPROVED BY ARCHITECT (2x2X12 MIN. FOR COST PURPOSES ONLY).
- ALL METAL FASTENERS (JOIST HANGERS, ETC) SHALL BE GALV. G90 BETTER SHALL BE BY SIMPSON'S & LOAD RATED FOR THEIR INTENDED USE.
- ANY PENETRATION WIDER THAN TWICE THE MEMBER SPACING SHALL BE FRAMED W/ DOUBLED MEMBERS ON ALL SIDES.
- FIREBLOCKING: SEE BUILDING CODE NOTES.
- DRAFTSTOPPING: DRAFTSTOPPING SHALL BE INSTALLED IN COMBUSTIBLE CONSTRUCTION TO SUBDIVIDE FLOOR / CEILING ASSEMBLIES. DRAFTSTOPPING CONSISTING OF ANY APPROVED MATERIAL LISTED IN 708 SHALL BE INSTALLED SO THAT HORIZONTAL FLOOR AREAS DO NOT EXCEED 1,000 S.F.
- CUTTING AND NOTCHING OF STRUCTURAL SAWN MEMBERS:
A. WHERE PLATES ARE CUT MORE THAN 1/2 THEIR WIDTH, A METAL TIE NOT LESS THAN 16 GA. X 1 1/2" WIDE SHALL BE FASTENED TO THE PLATE ACROSS AND TO EACH SIDE OF THE OPENING WITH NOT LESS THAN (6) 16D NAILS.
B. NOTCHES IN THE TOP OR BOTTOM OF JOISTS SHALL NOT EXCEED ONE-SIXTH THE DEPTH OF THE JOIST AND SHALL NOT BE LOCATED IN THE MIDDLE THIRD OF THE SPAN. WHERE JOISTS ARE NOTCHED ON THE ENDS, THE NOTCH SHALL NOT EXCEED ONE-FOURTH THE JOIST DEPTH. CANTILEVERED PORTIONS LESS THAN 4 INCHES WIDE SHALL NOT BE NOTCHED UNLESS THE REDUCED SECTION MEMBERS AND LUMBER DEFECTS ARE CONSIDERED IN THE DESIGN.
C. HOLES BORED IN JOISTS SHALL NOT BE WITHIN 2 INCHES OF THE TOP AND BOTTOM OF JOISTS AND THEIR DIAMETER SHALL NOT EXCEED ONE-THIRD THE DEPTH OF THE JOIST.
D. CUTTING AND NOTCHING OF ENGINEERED LUMBER IF PERMITTED BY THE MANUFACTURER SHALL BE IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS.
- ALL WALL HEADERS SHALL BE IN-FILLED WITH FULL DEPTH AND LENGTH PLYWOOD AS REQUIRED TO MATCH WALL STUD DEPTH.
- ALL STRUCTURAL MEMBERS SHALL BE FASTENED IN ACCORDANCE WITH TABLE R602.3(1) FASTENING SCHEDULE. EXTERIOR FASTENERS SHALL BE HOT DIPPED GALVANIZED OR BETTER.
- ALL LUMBER IN DIRECT CONTACT WITH MASONRY OR CONCRETE SHALL BE PRESSURE TREATED SYP #41 CBA-A OR APPROVED EQUAL. MOISTURE CONTENT SHALL BE 19% MAXIMUM.
- ALL EXTERIOR FRAMING LUMBER SHALL BE PRESSURE TREATED SYP #41 CBA-A OR APPROVED EQUAL. EXPOSURE 1 RATED FOR FLOOR CONSTRUCTION.
- THE NON-CANTILEVERED END OF CANTILEVERED JOISTS OR BEAMS SHALL BE ADDITIONALLY SECURED WITH AN INVERTED JOIST HANGER AT FLUSH GIRDBARS AND 16 GA STEEL SADDLE SADDLE AT DROPPED GIRDBARS.
- LEDGERS SHALL BE BOLTED TO WALLS WITH 5/8" DIA. BOLTS OR MASONRY ANCHORS AT 16" O.C. MAX. STAGGERED AT TOP & BOT.
- ALL EXTERIOR FRAMING LUMBER SHALL BE PRESSURE TREATED SYP #41 CBA-A OR APPROVED EQUAL. EXPOSURE 1 RATED FOR FLOOR CONSTRUCTION.
- ALL SUB-FLOOR PLYWOOD SHALL BE 3/4" THICK APA RATED STURD-FLOOR SHEATHING, NAILED & GLUED TO EACH JOIST. INSTAL PER MANUF. SPECS.
- APA RATED AND TRADE-MARKED ORIENTED STRAND BOARD MAY BE SUBSTITUTED FOR PLYWOOD AT WALLS ONLY.
- LEDGERS SHALL BE BOLTED TO WALLS WITH 1/2" DIA. BOLTS AT 24" O.C. MAXIMUM STAGGERED AT TOP AND BOTTOM.
- MULTIPLE MEMBER TOP LOADED LV. BEAMS SHALL BE FASTENED TOGETHER AS FOLLOWS:
A. 3 1/2" WIDE X UP TO 12" DEEP: TWO ROWS OF 16D NAILS ON (1) SIDE AT 12" ON CENTER.
B. 3 1/2" WIDE X UP TO 18" DEEP: THREE ROWS OF 16D NAILS ON (1) SIDE AT 12" ON CENTER.
C. 3 1/2" WIDE X UP TO 24" DEEP: FOUR ROWS OF 16D NAILS ON (1) SIDE AT 12" ON CENTER.
D. 5 1/2" WIDE X UP TO 12" DEEP: TWO ROWS OF 16D NAILS ON (2) SIDES AT 12" ON CENTER.
E. 5 1/2" WIDE X UP TO 18" DEEP: THREE ROWS OF 16D NAILS ON (2) SIDES AT 12" ON CENTER.
F. 5 1/2" WIDE X UP TO 24" DEEP: FOUR ROWS OF 16D NAILS ON (2) SIDES AT 12" ON CENTER.
TOP AND BOTTOM ROWS OF FASTENERS SHALL BE 2" FROM EDGE. MIDDLE ROWS OF FASTENERS SHALL BE CENTERED BETWEEN THE TOP AND BOTTOM ROWS.
- MULTIPLE MEMBER SUB LOADED LV. BEAMS SHALL BE FASTENED TOGETHER AS DETAILED ON THE PLANS.



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William J Weckenmann, RA

NJ LIC.: 21A102029300
NY LIC.: 038403

PROJECT NO.: 21040

PROPOSED DWELLING UNIT. INTERIOR ALTERATION AND CHANGE OF USE TO THE EXISTING COMMERCIAL TENANT SPACE

436 CENTRAL AVE
JERSEY CITY
HUDSON COUNTY, NJ
BLOCK: 2202 | LOT: 3

ISSUE: DATE: 10.28.21 ISSUED FOR: PERMITS

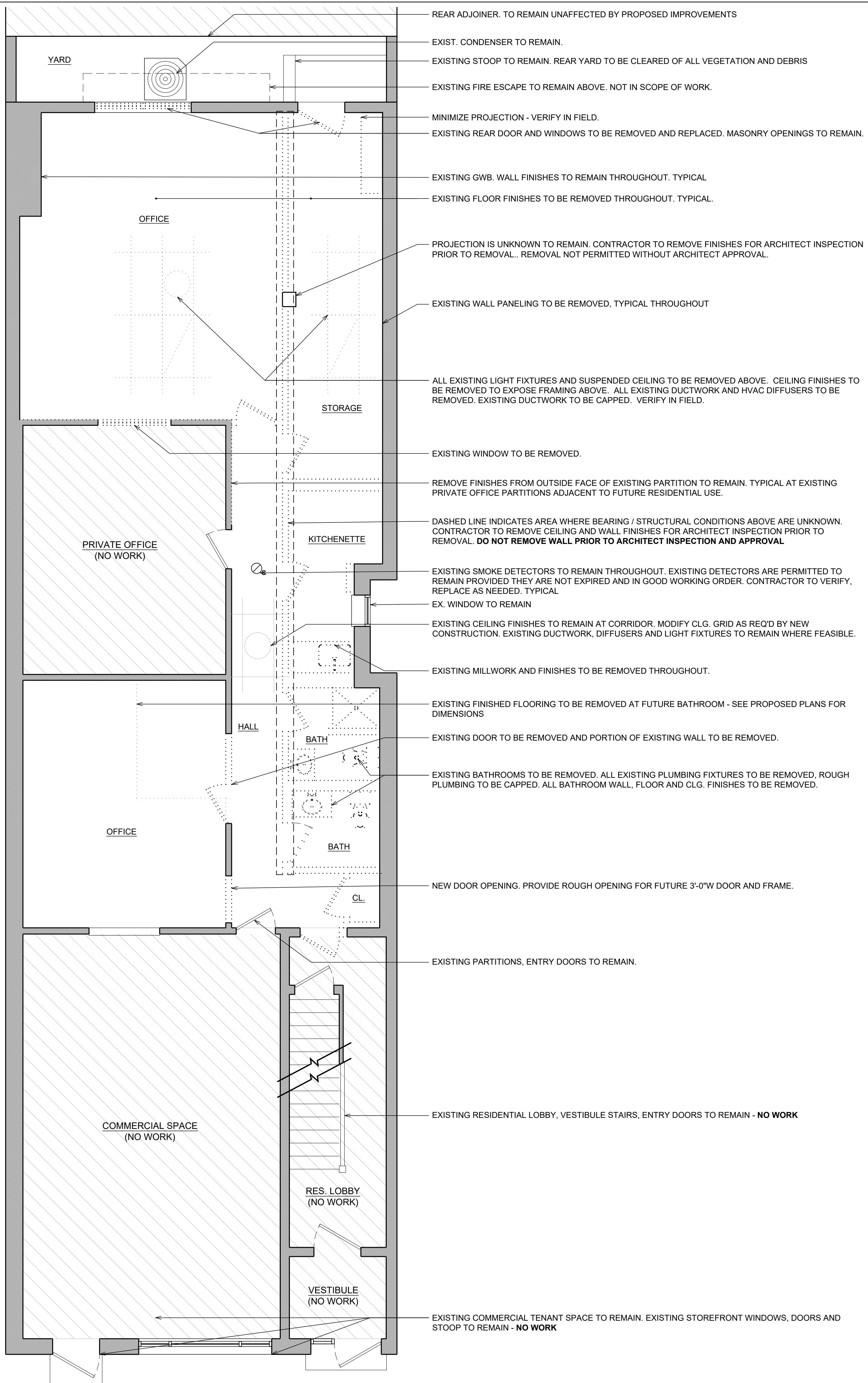
REVISION: No.: DATE: NOTES:

CONSULTANTS:

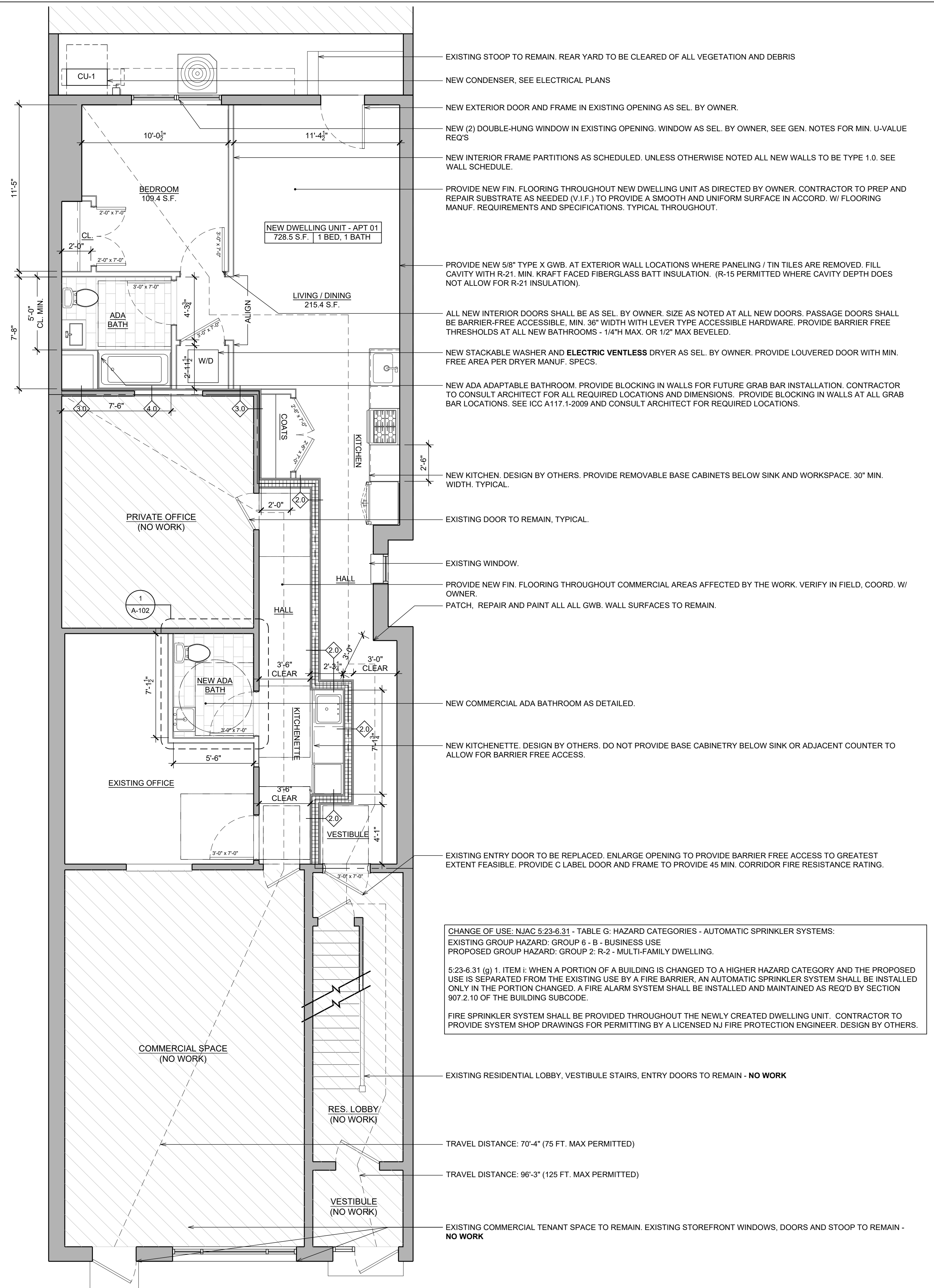
GENERAL NOTES, PROJECT REQUIREMENTS

SHEET NUMBER: G-100

SCALE: AS SHOWN



1 FIRST FLOOR DEMOLITION PLAN
SCALE: 1/4" = 1'-0"
PLAN NORTH



2 FIRST FLOOR PLAN
SCALE: 1/4" = 1'-0"
PLAN NORTH

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CONSULTANTS:

FLOOR PLAN OPTIONS

SHEET NUMBER:

A-100

SCALE: AS SHOWN

BUILDING CODE NOTES CONTINUED:

67. INTERIOR ENVIRONMENT:
 A. ATTIC VENTILATION: SEE A-300 SERIES DRAWINGS FOR DETAILS.
 B. NATURAL VENTILATION: SEE A-203.5.F. NATURAL VENTILATION SHALL BE PROVIDED WITH OPENINGS TO THE OUTDOORS OF NOT LESS THAN 4% OF THE FLOOR AREA BEING VENTILATED. BATHROOMS SHALL BE MECHANICALLY VENTILATED WITH THE INTERNATIONAL MECHANICAL CODE, WHERE ROOMS AND SPACES WITHOUT OPENINGS TO THE OUTDOORS ARE VENTILATED THROUGH AN ADJOINING ROOM. THE OPENING SHALL BE UNOBSTRUCTED AND SHALL HAVE AN AREA OF NOT LESS THAN 8% OF THE FLOOR AREA OF THE INTERIOR ROOM OR 25% F. THE OPENABLE AREA TO THE OUTDOORS SHALL BE BASED UPON THE TOTAL FLOOR AREA BEING VENTILATED.
 C. LIGHTING (1205): SEE PLANS & E-SERIES DRAWINGS. EVERY SPACE INTENDED FOR HUMAN OCCUPANCY SHALL BE PROVIDED WITH NATURAL LIGHT BY MEANS OF EXTERIOR GLAZED OPENINGS OF AREA NOT LESS THAN 8% OF THE FLOOR AREA BEING SERVED OR ARTIFICIAL LIGHT WITH AN AVERAGE ILLUMINATION OF 10 F.C. OVER THE ROOM AT A HEIGHT OF 3'0" ABOVE FLOOR LEVEL.
 D. SOUND TRANSMISSION: AIR - BORNE-SOUND (1207.2): WALLS, PARTITIONS AND FLOOR/CEILING ASSEMBLIES SEPARATING DWELLING UNITS FROM EACH OTHER OR PUBLIC AREAS SHALL HAVE AN STC OF NOT LESS THAN 50 (45 IF FIELD TESTED) FOR AIR-BORNE SOUND (ASTM E 90). ALL PENETRATIONS OR OPENINGS IN CONSTRUCTION ASSEMBLIES INCLUDING, BUT NOT LIMITED TO, PIPING, ELECTRICAL DEVICES, HVAC DUCTWORK & VENTS SHALL BE SEALED, LINED, INSULATED OR OTHERWISE TREATED TO MAINTAIN THE REQUIRED RATINGS NOT INC. DWELLING UNIT DOORS.
 E. SOUND TRANSMISSION - STRUCTURE-BORNE SOUND (1207.3): FLOOR/CEILING ASSEMBLIES BETWEEN DWELLING UNITS OR BETWEEN A DWELLING UNIT AND A PUBLIC OR SERVICE AREA SHALL HAVE AN IIC RATING OF NOT LESS THAN 50 (45 IF FIELD TESTED, ASTM E492)
 F. INTERIOR SPACE DIMENSIONS (1208):
 1. MINIMUM ROOM WIDTH: 7 FEET. KITCHENS SHALL HAVE A CLEAR PATH OF NOT LESS THAN 3 FT.
 2. MINIMUM CEILING HEIGHT: HABITABLE SPACES & CORRIDORS: 7'-6". BATHROOMS, KITCHENS, STORAGE & LAUNDRY ROOMS: 7 FT.
 3. ROOM AREA: MIN. 1 ROOM OR NOT LESS THAN 120 S.F., OTHER HABITABLE ROOMS: 70 S.F. MIN., KITCHENS: 50 S.F. MIN.
 4. PARKING GARAGE CLEAR HEIGHT (406.2.2): 7'-0" MIN. VAN SPACES, ACCESS AISLES AND VEHICULAR ROUTES: 9'8" MIN. (ANSI A117.1 502.6)

THERMAL AND MOISTURE PROTECTION

1. INSULATION: SHALL BE INSTALLED AS DETAILED.
 A. BATT INSULATION: KNAUF ECOBATT, UNEXPOSED; KRAFT & UNFACED FIBERGLASS AS DETAILED. EXPOSED: FSK-25 FACED FIBERGLASS.
 B. APARTMENT DEMISING WALLS: MINERAL WOOL, "JOHN'S MANVILLE", OR APPROVED EQUAL. MINERAL WOOL SOUND & FIRE BLOCK BATT.
 C. THROUGH WALL FLASHING: YORK MULTI-FLASH 500, 7 OZ. LAMINATED COPPER 1-800-551-2828 OR APPROVED EQUAL. NEW WINDOW / DOOR FLASHING SHALL BE PER MANUF. SPECIFICATIONS.
 3. SEALANT & BACKER RODS: CLOSED CELL POLYETHYLENE FOAM AS MANUFACTURED BY "BACKER ROD MFG. INC" OR AS REQUIRED BY MANUFACTURER. SIZE VARIES BY LOCATION. ALL JOINT SEALANTS & CAULKING SHALL BE AS REQUIRED BY SPECIFIC APPLICATION.
 4. WEATHER BARRIER: (IF REQUIRED) DUPONT TYVEK COMMERCIAL WRAP OR WEATHER BARRIER SYSTEM OR ARCHITECT APPROVED EQUAL. PROVIDE ALL COMPONENTS FOR A COMPLETE INSTALLATION INCLUDING BUT NOT LIMITED TO DUPONT THRU-WALL FLASHING, DUPONT FLEXWRAP, DUPONT STRAIGHTFLASH, DUPONT STRAIGHTFLASH V, DUPONT TYVEK TAPE AND DUPONT TYVEK WRAP CAPS AND ALL FASTENERS REQUIRED FOR INSTALLATION OVER BOTH WOOD SHEATHING AND CONCRETE BLOCK SUBSTRATE. REFER TO MANUFACTURER'S WRITTEN SPECIFICATIONS AND TYVEK FIELD REPRESENTATIVES FOR ALL INSTALLATION REQUIREMENTS.
 5. SHOWER WATERPROOFING: (IF REQUIRED) DUPONT TYVEK COMMERCIAL WRAP OR WEATHER BARRIER SYSTEMS SHALL BE CONSTRUCTED OF KERDI SHOWER KIT, ALL AS MANUFACTURED BY SCHLUTER SYSTEMS. PREPARE SUBSTRATES AND INSTALL IN CONFORMANCE WITH MANUFACTURER'S SPECIFICATIONS, UTILIZING ALL RECOMMENDED ACCESSORIES, SEALANTS, AND ADHESIVES. FINISH AND CONFIGURATION OF ALL VISIBLE COMPONENTS SHALL BE AS SELECTED BY ARCHITECT FROM MANUFACTURER'S STANDARD. PERFORM 24-HOUR WATER RETENTION TEST AT SHOWERS PRIOR TO INSTALLATION OF TILE.

FINISH AND MATERIALS NOTES:

1. ALL ITEMS SHALL BE SUPPLIED AND INSTALLED BY CONTRACTOR UNLESS NOTED OTHERWISE. ALL ITEMS NOTED "AS SELECTED BY OWNER OR ARCHITECT" SHALL BE SUPPLIED AND INSTALLED BY CONTRACTOR. CONTRACTOR SHALL FURNISH ALL DOCUMENTATION AND SAMPLES THAT SHALL BE REQUIRED BY OWNER TO MAKE SELECTIONS. MATERIAL OR FINISH SUBSTITUTIONS SHALL NOT BE PERMITTED WITHOUT ARCHITECT'S WRITTEN APPROVAL.
 2. ALL FINISHES AND MATERIALS SHALL BE SUPPLIED WITH ALL COMPONENTS, ACCESSORIES AND EQUIPMENT INFERRED BY THESE DRAWINGS AND SPECIFICATIONS TO PRODUCE A COMPLETE AND FINISHED JOB.
 3. THE CONTRACTOR SHALL INSTALL ALL ITEMS IN STRICT ACCORDANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS & DOCUMENTATION, STANDARD DETAILS, INSTALLATION INSTRUCTIONS, SHOP DRAWINGS AND BEST PRACTICES AND IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY FOR OBTAINING ALL RELEVANT DATA PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. LACK OF THOROUGH UNDERSTANDING OR FAILURE TO MEET MANUFACTURER'S SPECIFICATIONS AND INSTALLATION REQUIREMENTS SHALL NOT CONSTITUTE AN EXCUSE FOR ERRORS OR OMISSION, NOR REQUEST FOR EXTRA COMPENSATION.
 4. IN THE EVENT THAT ANY DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND GENERAL NOTES & SPECIFICATIONS OR THE MANUFACTURER'S WRITTEN SPECIFICATIONS, THE CONTRACTOR SHALL INFORM THE ARCHITECT AND AWAIT INSTRUCTION. FAILURE TO DO SO SHALL NOT CONSTITUTE AN EXCUSE FOR ERRORS OR OMISSION, OR REQUEST FOR EXTRA COMPENSATION.
 5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING ALL OF THE WORK BETWEEN THE VARIOUS SUBCONTRACTORS AND SHALL MEET ALL OF THE REQUIRED CONDITIONS OF THE JOB SITE AS REQUIRED BY THOSE ITEMS TO WHICH THEY APPLY (MANUFACTURER'S INSTALLER OR OWNERS FORCES).
 6. ALL FLOOR, WALL AND CEILING FINISHES SHALL BE SELECTED BY OWNER. FINISH IS ANY MATERIAL (PAINT, GYPSUM BOARD, TILE, HARDWOOD FLOORING, ETC.) APPLIED OVER ROUGH WORK (STUDS, FURRING, SLAB, ETC.).
 7. ALL FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUF. WRITTEN SPECIFICATIONS AND BEST PRACTICES. ALL NON-FACTORY FINISHED SURFACES WITH THE INT & EXT. WORK AREA TO BE FIN. BY CONTRACTOR.
 8. INTERIOR TRIM INCLUDING WINDOW CASINGS, DOOR CASINGS, BASEBOARDS AND SHOE MOLDINGS SHALL BE AS SCHEDULED OR AS SELECTED BY OWNER. ALL DOOR CASING AND TRIM SHALL BE PAINT GRADE #4X4 PINE, MDF OR POPLAR. BASE TRIM SHALL BE #4X8 PINE, MDF OR POPLAR FOR BID PURPOSES.
 9. ALL SURFACES TO BE PAINTED SHALL BE PAINTED WITH (2) COATS OF LATEX ACRYLIC PAINT UNLESS DIRECTED OTHERWISE BY THE DESIGNER. UNLESS OTHERWISE NOTED, BID FOR INTERIOR SHALL BE ONE COLOR FOR WALLS, ANOTHER COLOR FOR CEILINGS AND ANOTHER COLOR FOR CASING/TRIM FOR EACH ROOM. CONTRACTOR SHALL PROVIDE PAINT SAMPLES OF ALL INTERIOR FINISHES FOR ARCHITECT APPROVAL PRIOR TO APPLICATION. PAINTING MATERIALS SHALL BE NO. 100 / LOW V.O.C.
 10. ALL INTERIOR SURFACES TO BE STAINED SHALL BE STAINED TO ACHIEVE DESIRED TONE & SEALED WITH WATER BASED POLYURETHANE. No. OF COATS AS RECOMMENDED BY MANUFACTURER. SHEEN AS SEL. BY OWNER.
 11. ALL GYPSUM BOARD SHALL BE INSTALLED W/SCREWS AT THE MANUFACTURER'S RECOMMENDED SPACING, COVER ALL SCREW HEADS WITH JOINT COMPOUND, TAPE ALL JOINTS AND COVER WITH (3) COATS OF JOINT COMPOUND AND INSTALL METAL CORNER BEAD AT ALL OUTSIDE CORNER LOCATIONS.
 12. DRYWALL ACCESSORIES SHALL BE PVC AS MANUFACTURED BY PLASTIC COMPONENTS OR APPROVED EQUAL.
 13. GYPSUM WALL BOARD: ALL NEW GYPSUM BRAND FIRECODE CORE (TYPE X) PANELS OR ARCHITECT APPROVED EQUAL - 5/8" THICK WITH BEVELED OR SQUARE EDGES (IBC T722.6.2.1 - 40 MIN. RATED). AT WET/DAMP LOCATIONS. PROVIDE USG SHEETROCK BRAND MOLD TOUGH PANELS (FIRECODE X).
 14. CEMENT BOARD: AT INTERIOR PARTITIONS TO RECEIVE TILE FINISHES AT WET AREAS, REPLACE GYPSUM WALL BOARD WITH 5/8" TH. USG DUROCK BRAND CEMENT BOARD WITH EDGE GUARD (UL TYPE DCB AT RATED WALLS).
 15. ALL GYPSUM BOARD AND CEMENT BOARD SHALL BE INSTALLED W/SCREWS AT THE MANUFACTURER'S RECOMMENDED SPACING OR PER UL LISTING REQUIREMENTS, COVER ALL SCREW HEADS WITH JOINT COMPOUND, TAPE ALL JOINTS AND COVER WITH (3) COATS OF JOINT COMPOUND AND INSTALL METAL CORNER BEAD AT ALL OUTSIDE CORNERS. FINISH IN ACCORDANCE WITH UL LISTING REQUIREMENTS TO MAINTAIN REQUIRED FIRE RESISTANCE RATINGS. CONTRACTOR TO OBTAIN ALL RELEVANT UL LISTINGS AND DATA SHEETS.
 16. INTERIOR MILLWORK: DESIGN BY OTHERS. SEE PLANS. CONTRACTOR SHALL BE REQUIRED TO SUBMIT SHOP DRAWINGS, FINISH SAMPLES & HARDWARE SAMPLES FOR OWNER APPROVAL PRIOR TO FABRICATION AND MILLWORK FABRICATOR SHALL BE RESPONSIBLE FOR MEETING ALL CODE REQUIRED CLEARANCES. VERIFYING ALL DIMENSIONS IN FIELD PRIOR TO FABRICATION AND UPON COMPLETION OF ALL INTERIOR FRAMING AND FINISH WORK. INDICATED MILLWORK DIMENSIONS NOTED DO NOT REPRESENT A COMPLETE FIELD-VERIFIED SURVEY AND MAY DIFFER SUBSTANTIALLY FROM AS-BUILT CONDITIONS.
 17. ALL FINISHED FLOORING SHALL BE AS SELECTED BY OWNER. AT BATHROOMS, LAUNDRY AND UTILITY CLOSETS PROVIDE PORCELAIN / CERAMIC TILE OVER SCHLUTER-DITRA UNCOUPLING AND WATERPROOFING MEMBRANE. SEE THERMAL AND MOISTURE PROTECTION NOTES. ALL FIRST FLOOR FINISHED FLOORING SHALL BE INSTALLED OVER 1 LAYER OF HOMASOTE 440 SOUND BOARD AS DETAILED TO MAINTAIN REQUIRED STICIC RATINGS. SUBSTITUTIONS NOT PERMITTED UNLESS OTHERWISE APPROVED BY ARCHITECT.
 18. PROVIDE WIRE TYPE SHELVE AT EACH CLOSET WITH INTEGRAL HANGING ROD. BY CLOSETMAID, SHELVE / ROD CONFIGURATION BY OWNER.
 19. CONTRACTOR SHALL BE RESPONSIBLE FOR PREPARATION OF ALL SUBSTRATES AND SURFACES RECEIVING FINISHED MATERIALS. CONTRACTOR SHALL COORDINATE SUBSTRATE PREPARATION REQUIREMENTS WITH SELECTED FINISH MANUF. SPECIFICATIONS, BEST PRACTICES AND INSTALLATION REQUIREMENTS.

WALL TYPES

SCALE: 1"=1'-0"

EXISTING WALLS	EXISTING WALL ASSEMBLY TO REMAIN, PATCH / REPAIR DAMAGED PLASTER / GWB, AND REPLACE WHERE NEEDED WITH MATCHING THICKNESS TYPE X GWB. SKIM EXISTING WALL SURFACES TO PROVIDE A CLEAN AND UNIFORM APPEARANCE. AT EXTERIOR WALLS, PROVIDE FULL THICKNESS KRAFT / POLYFACED FIBERGLASS BATT INSULATION AS FEASIBLE. PROVIDE NEW 5/8" TYPE X GWB AT ALL LOCATIONS WHERE TIN / WOOD PANELS ARE REMOVED. VERIFY IN FIELD.
NON-RATED INTERIOR FRAME WALLS	5/8" TH. PTD. GYPSUM BOARD 2x4 WOOD STUD FRAMING AT 16" O.C. VERTICAL 5/8" TH. PTD. GYPSUM BOARD NOTE: ALL PARTITIONS, UNLESS OTHERWISE NOTED SHALL BE TYPE 1.0
2 HOUR UL: U301 STC: 58 EST.	(2) LAYERS 5/8" TH. TYPE X GYPSUM BOARD 1/2" x 1-1/4" 25 GA. GALVANIZED STEEL RESILIENT CHANNEL AT 16" O.C. PERPENDICULAR TO STUDS 2x6 WOOD STUD FRAMING AT 16" O.C. VERTICAL FULL TH. UNFACED MINERAL WOOL ACOUSTIC BATT INSULATION (2) LAYERS 5/8" TH. TYPE X GYPSUM BOARD
2 HOUR UL: U301 STC: 58 EST.	(2) LAYERS 5/8" TH. TYPE X GYPSUM BOARD (APT SIDE) 1/2" x 1-1/4" 25 GA. GALVANIZED STEEL RESILIENT CHANNEL AT 16" O.C. PERPENDICULAR TO STUDS 2x4 WOOD STUD FRAMING AT 16" O.C. VERTICAL FULL TH. UNFACED MINERAL WOOL ACOUSTIC BATT INSULATION EXISTING GWB. TO REMAIN UNDISTURBED.
2 HOUR UL: U301 STC: 58 EST.	(2) LAYERS 5/8" TH. TYPE X GYPSUM BOARD 2x4 WOOD STUD INFILL FRAMING AT 16" O.C. VERTICAL FULL TH. UNFACED MINERAL WOOL ACOUSTIC BATT INSULATION EXISTING GWB. TO REMAIN UNDISTURBED.

PARTITION NOTES:

1. FIRE RATED STUD PARTITIONS SHALL BE FULL HEIGHT AND EXTEND FROM TOP OF SUBFLOOR / SLAB TO UNDERSIDE OF DECKING ABOVE. ALL JOINTS AND GAPS SHALL BE SEALED WITH FIRE CAULK / SEALANT.
 2. THE CONTRACTOR SHALL OBTAIN ALL SPECIFIED UL LISTINGS PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. ALL PARTITIONS SHALL BE CONSTRUCTED AND FINISHED IN STRICT ACCORDANCE WITH ALL UL REQUIREMENTS AND SPECIFICATIONS.
 3. ALL WOOD FRAMING NOTED ABOVE SHALL BE DOUGLAS FIR/LARCH (D.F.N.) No. 2 OR ARCHITECT APPROVED EQUAL.
 4. SEE MATERIAL AND FINISH NOTES FOR ADDITIONAL REQUIREMENTS.
 5. WHERE REQUIRED MODIFY GWB THICKNESS TO MATCH EXISTING ASSEMBLY THICKNESS, TYPE 1.0 WALLS ONLY.
 6. NOTE: EXISTING WALL ASSEMBLIES NOTED HAVE NOT BEEN FIELD VERIFIED BY THE ARCHITECT AND MAY VARY SUBSTANTIALLY FROM THE DRAWINGS. WHERE DISCREPANCIES ARE FOUND TO EXIST, THE CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING SUCH DISCREPANCIES TO THE ARCHITECT PRIOR TO COMMENCEMENT OF WORK IN THE AFFECTED AREA. WORK SHALL ONLY PROCEED UPON ISSUANCE OF WRITTEN AUTHORIZATION BY THE ARCHITECT.

PLUMBING NOTES:

1. ALL PLUMBING WORK SHALL BE FURNISHED AND INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF THE STATE OF NEW JERSEY UNIFORM CONSTRUCTION CODE, INTERNATIONAL BUILDING CODE, NJ EDITION, NATIONAL PLUMBING CODE 2018 NJ EDITION, INTERNATIONAL FUEL GAS CODE 2018 EDITION.
 2. CONTRACTOR SHALL FURNISH AND INSTALL ALL MATERIALS, LABOR AND EQUIPMENT INDICATED ON DRAWINGS AND AS REQUIRED FOR A COMPLETE INSTALLATION WHETHER OR NOT EQUIPMENT AND MATERIALS IS SPECIFICALLY SHOWN ON PLANS. ALL FIXTURES AND FITTINGS SHALL BE SUPPLIED AND INSTALLED BY THE CONTRACTOR.
 3. CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFICATION OF ALL MANUFACTURER SPECIFICATIONS, INSTALLATION INSTRUCTIONS AND BEST PRACTICES AND FOR PROVIDING ALL REQUIRED ACCESSORIES AND MATERIALS.
 4. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND PAYING FOR ALL PERMITS, FEES AND INSPECTIONS.
 5. CONTRACTOR TO PROVIDE 1 YEAR WARRANTY FROM HE DATE OF ACCEPTANCE OF WORK BY OWNER FOR ALL PLUMBING MATERIALS AND EQUIPMENT.
 6. COORDINATE ALL PLUMBING PIPING LOCATIONS, ROUGH-IN LOCATIONS AND EQUIPMENT LOCATIONS WITH OTHER TRADES TO AVOID CONFLICTS AND INTERFERENCES. FINAL PIPING AND EQUIPMENT LOCATIONS SHALL BE CODE COMPLIANT AND IN ACCORDANCE WITH MANUF. REQ'S.
 7. ALL EXISTING PIPING SIZES AND LOCATIONS SHALL BE VERIFIED IN FIELD BY THE CONTRACTOR. LOCATIONS OF EXISTING WASTE, SUPPLY AND GAS SERVICE LOCATIONS IS UNKNOWN. PROVIDE ALLOWANCES FOR ADJUSTMENTS PENDING DEMOLITION AND FIELD INSPECTION. CONTRACTOR SHALL BE RESPONSIBLE FOR REPORTING ANY DISCREPANCIES AND R PROBLEMS TO THE ARCHITECT BEFORE CONTINUING WITH WORK IN THE AFFECTED AREAS.
 8. WHERE DISCREPANCIES EXIST BETWEEN THE DRAWINGS AND MANUF. SPECS. THE MORE STRINGENT SHALL APPLY. CONTACT ARCH. FOR CLARIFICATION.
 9. CUT WALLS AS REQUIRED FOR INSTALLATION. CUTTING SHALL BE HELD TO A MINIMUM. PATCH SURFACES TO MATCH ADJOINING. CUTTING, ALTERING OR TRENCHING OF CONCRETE SLABS OR MODIFYING COMMON PLUMBING ELEMENTS IS STRICTLY PROHIBITED.
 10. PLUMBING AND PIPING SHALL RUN CONCEALED. PROVIDE ACCESS DOORS FOR VALVES, WATER HAMMER ARRESTORS, TRAP PRIMERS AND CLEANOUTS AS REQUIRED BY CODE AND FOR MAINTENANCE PURPOSES. 11. PLUMBING SHALL NOT BE INSTALLED IN AREAS SUBJECT TO FREEZING. INSTALL ON CONDITIONED SIDE OF INSULATION AT EXTERIOR WALLS.
 12. PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING DISSIMILAR METALS.
 13. ATTACH ALL HANGERS TO STRUCTURE, NOT TO DECK. PROPERLY SUPPORT AND BRACE VERT. & HORIZ. ALL PIPING, APARATUS, EQUIPMENT, ETC. IN ACCORDANCE WITH APPLICABLE CODES TO PREVENT EXCESSIVE MOVEMENT OR DAMAGE.
 14. CONTRACTOR SHALL MAKE ALL REQUIRED FINAL CONNECTIONS TO EQUIPMENT FURNISHED BY OWNER.
 15. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS IN THE FIELD AND COORDINATE HIS WORK WITH ALL OTHER TRADES.
 16. ALL PIPING SHALL BE TESTED BEFORE INSULATION OR CONCEALMENT.
 17. VACUUM BREAKERS SHALL BE FURNISHED AND INSTALLED ON EACH WATER PIPING CONNECTION TO EQUIPMENT WITH SUBMERGED INLETS. VACUUM BREAKERS SHALL BE LOCATED A MIN. OF 4" ABOVE FLOOD LEVEL RIM OF EQUIPMENT.
 18. PLUMBING FIXTURES AND FITTINGS SHALL BE AS NOTED OR AS SELECTED BY OWNER AND INSTALLED IN STRICT CONFORMANCE WITH THE MANUFACTURER'S WRITTEN SPECIFICATIONS.
 19. ANY PIPING EXPOSED IN FINISHED SPACES SHALL BE FINISHED TO MATCH ADJACENT FIXTURE FITTINGS.
 20. CONDITION OF EXISTING CONCEALED PLUMBING HAS NOT BEEN VERIFIED. REPLACE ANY DAMAGED / DETERIORATED PLUMBING DESIGNATED TO REMAIN AS REQ'D. VERIFY IN FIELD.
 21. FIRESTOP ALL PENETRATIONS BY PIPING OR CONDUIT OF FIRE RATED WALLS, FLOORS AND PARTITIONS. PROVIDE DEVICES OR SYSTEMS WHICH HAVE BEEN TESTED NO LISTED AS COMPLYING WITH ASTM E-814 AND INSTALL IN ACCORDANCE WITH THE CONDITIONS OF THEIR LISTING. DEVICES OR SYSTEMS SHALL BE EQUAL TO THE RATING OF THE ASSEMBLY BEING PENETRATED.

DOMESTIC WATER PIPING:

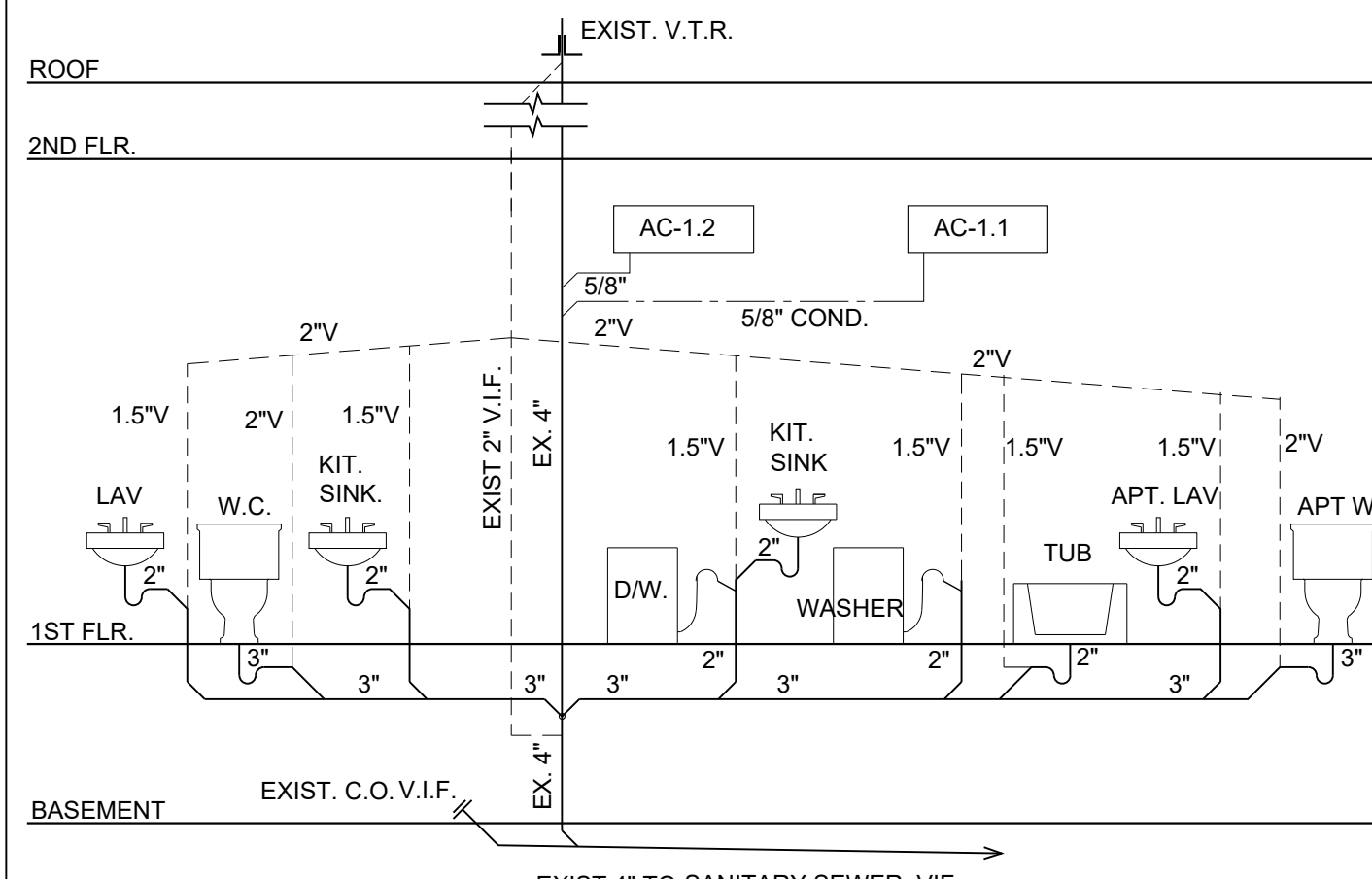
1. DOMESTIC HOT WATER AND COLD WATER PIPING SHALL BE TYPE "L" HARD DRAWN COPPER TUBING WITH WROUGHT COPPER OR CAST BRASS FITTINGS OR PEX 150 LB. WATER WORKING PRESSURE UNLESS APPROVED OTHERWISE BY OWNER.
 2. STERILIZE THE DOMESTIC WATER SYSTEM IN ACCORDANCE WITH THE AMERICAN WATER WORKS ASSOCIATIONS SPECIFICATIONS AND LOCAL HEALTH DEPT REGULATIONS.
 3. SEE SAN. WASTE PIPING FOR FLAME SPREAD AND SMOKE DEVELOPED INDEX REQUIREMENTS.
 4. PROTECT COPPER PIPING AGAINST CONTACT WITH OTHER METALS AND MASONRY. PROVIDE ELECTROLYTIC ISOLATION MATERIALS, ASPHALTIC ENAMEL OR ASPHALT FELT AS REQ'D BETWEEN COPPER AND MASONRY OR DISSIMILAR METALS.
 5. DOMESTIC WATER PIPING SHALL BE SLOPED FOR DRAINAGE W/ VALVES INSTALLED AT LOW POINTS.

SANITARY WASTE PIPING:

1. SOIL, WASTE AND VENT PIPING SHALL BE APPROVED SCHED. 40 PVC OR NO-HUB CAST IRON PIPE AND FITTINGS WITH COMPRESSION JOINTS AND NEOPRENE GASKETS. VERIFY LOCATION OF ALL EX. WASTE PIPING IN FIELD.
 2. SLOPE SANITARY WASTE PIPING AT 1/4" PER FOOT FOR PIPING 2-1/2" AND SMALLER AND 1/8" PER FOOT FOR PIPING 3" AND LARGER.
 3. PROVIDE CLEANOUTS AT BASE OF SANITARY WASTE STACKS AND AT EVERY TURN IN EXCESS OF 45 DEGREES AND NO FURTHER HAN 100'-0" APART IN LOCATIONS THAT PERMIT ACCESS FOR SERVICE.
 4. PIPING INSULATION JACKETS, COVERINGS, SEALERS AND MASTICS AND ADHESIVES ARE REQUIRED TO MEET A FLAME SPREAD RATING OF 25 OR LESS AND SMOKE DEVELOPED RATING OF 50 OR LESS TESTED BY ASTM E84.

GAS PIPING NOTES:

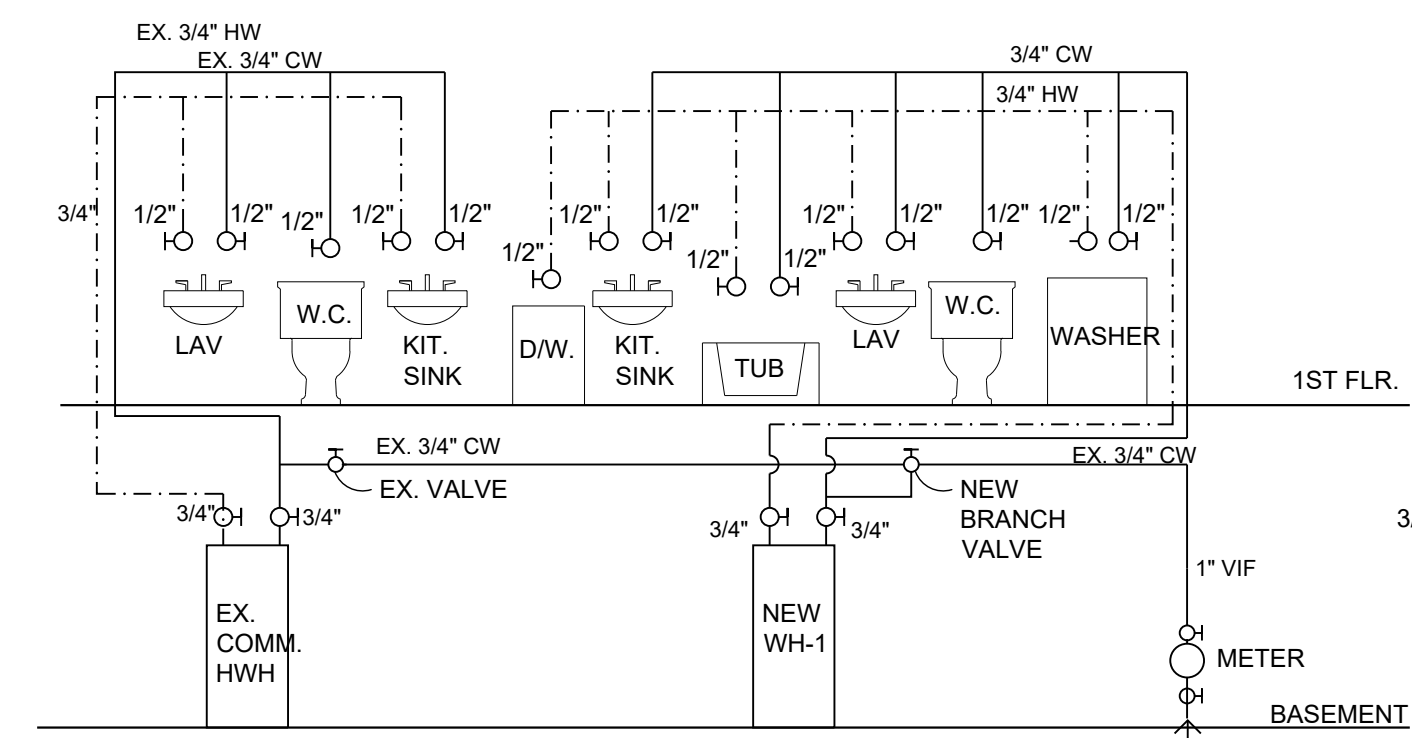
1. NATURAL GAS PIPING AND FITTINGS SHALL BE SCHED. 40 BLACK STEEL PIPING, TYPE S SEAMLESS GRADE B AND 150PSI MALLEABLE BLACK IRON FITTINGS, GRADE 32510, (ASTM B 16.3) OR FORGED STEEL WELDING TYPE FITTINGS (ASTM A234). PROVIDE THREADED JOINTS FOR PIPES 2" AND SMALLER. PROVIDE WELDED JOINTS (ASME B31.9) FOR PIPE 2-1/2" & LARGER. CONNECTIONS TO APPLIANCES SHALL BE MADE WITH CSST TUBING AND FITTINGS AS PERMITTED BY CODE. SIZE PER APPLIANCE MANUF. SPECIFICATIONS.
 2. SPACE GAS HANGING RODS 7'-0" O.C. MAX AND SPACE TRANSVERSE BRACING 20'-0" O.C. MAX. TRANSVERSE BRACING FOR ONE SECTION MAY ACT AS LONGITUDINAL BRACING FOR THE PIPE SECTION CONNECTED TO IT IF THE BRACING IS INSTALLED WITHIN 24" OF THE ELBOW OR TEE.
 3. PROVIDE ASA CERTIFIED SHUT-OFF VALVES MIN. 125 PSI RATED, NON-LUBRICATED PLUG TYPE W/ BRONZE BODY AND PLUG, STRAINERS AND REGULATORS (AS RECOMMENDED BY EQUIP. MANUF.) FOR ALL EQUIPMENT CONNECTED TO NATURAL GAS PIPING.
 4. GAS PRESSURE REGULATORS SHALL COMPLY WITH ANSI Z21.80. PRESSURE REGULATOR SHALL MAINTAIN DISCHARGE PRESSURE SETTING DOWNSTREAM AND DO NOT EXCEED 150 PERCENT OF DESIGN DISCHARGE PRESSURE AT SHUTOFF. OVERPRESSURE PROTECTION DEVICE SHALL E FACTORY MOUNTED ON REGULATOR, WHEN USING VENTLESS REGULATORS MOUNT IN A HORIZ. UPRIGHT POSITION.



1 SANITARY RISER DIAGRAM

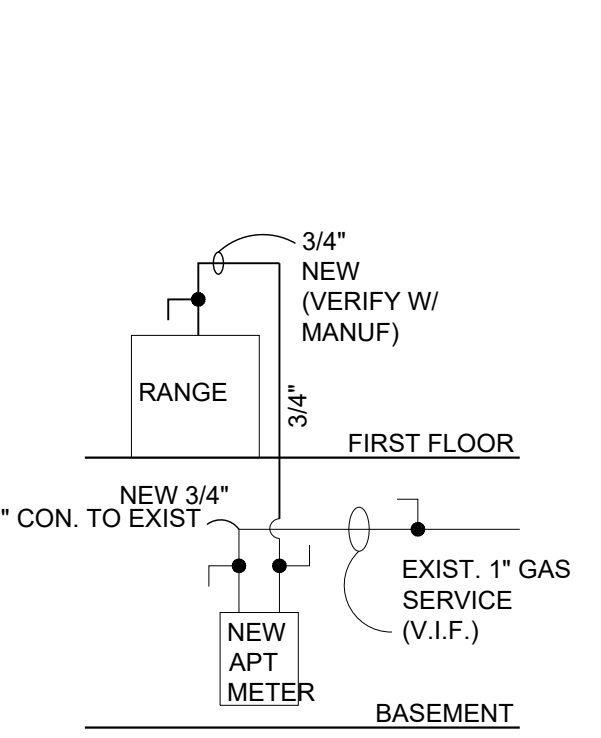
SCALE: NOT TO SCALE

PLUMBING CODE: 9.4.3c:
 AIR CONDITIONING CONDENSATE
 DISCHARGE OF AIR CONDITIONING CONDENSATE SHALL BE ONE OF THE FOLLOWING:
 - BUILDING SANITARY OR STORM DRAIN SYSTEM
 - A SUMP PIT
 WITHIN DWELLINGS, TUB WASTE, LAV, TAILPIECE OF LAUNDRY SINK.



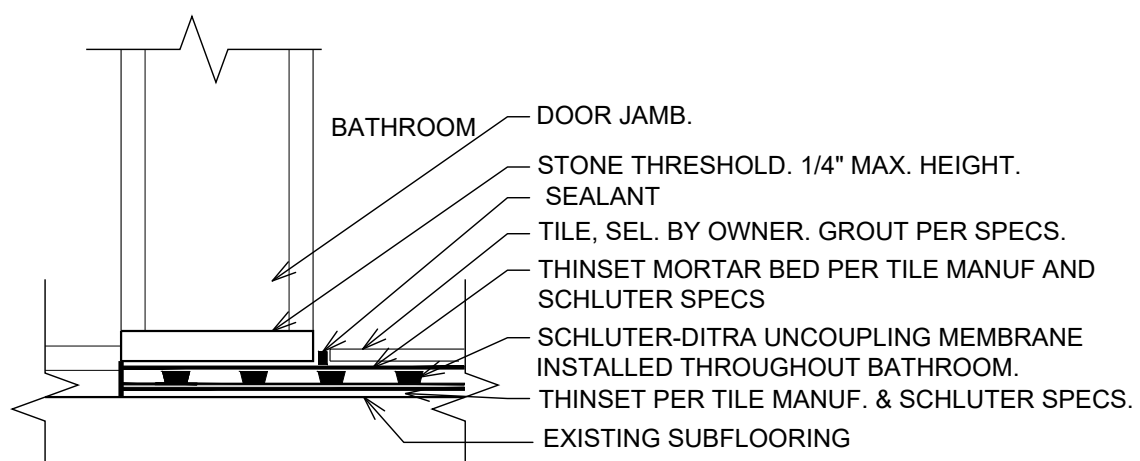
2 PLUMBING RISER DIAGRAM

SCALE: NOT TO SCALE



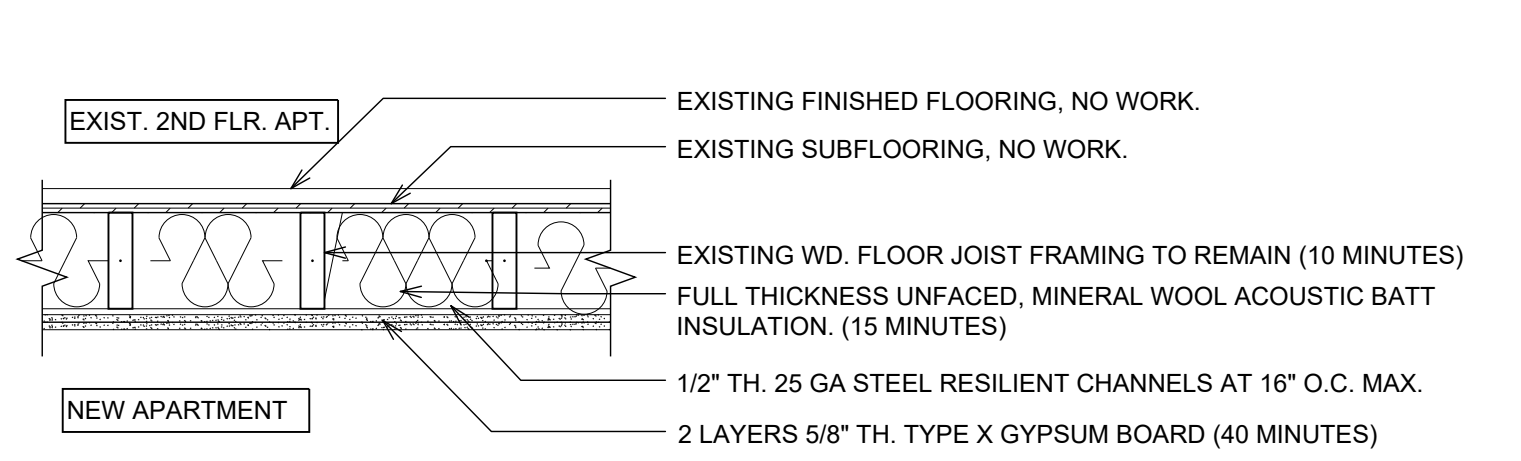
3 GAS RISER DIAGRAM

SCALE: NOT TO SCALE



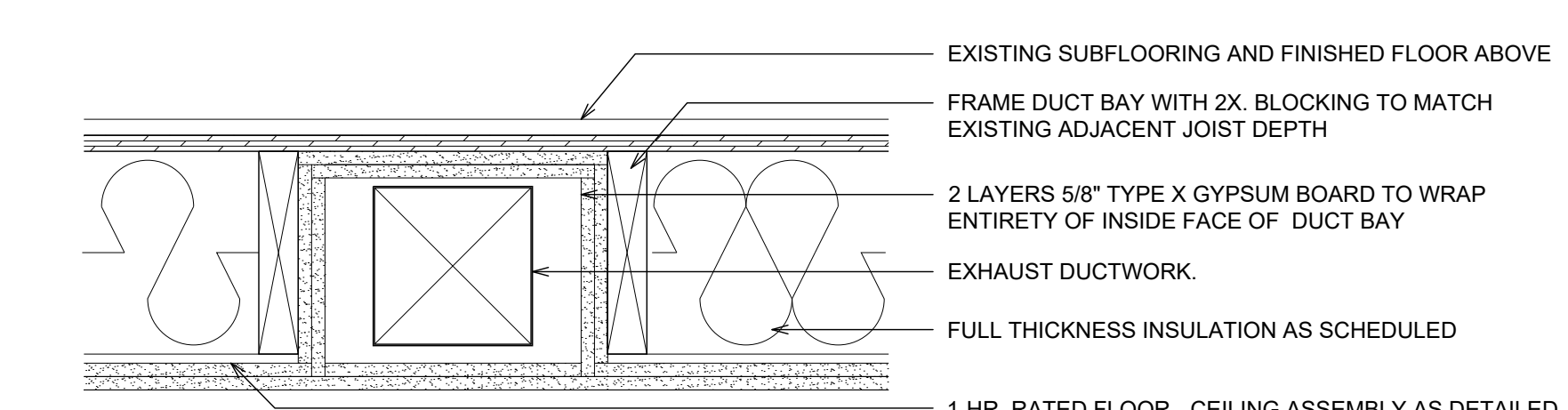
4 TYPICAL BATHROOM THRESHOLD DETAIL

SCALE: 3/4" = 1'-0"



5 TYPICAL FIRE RATED CLG. ASSEMBLY DETAIL.

SCALE: 3/4" = 1'-0"



6 FIRE RATED DUCT BAY

SCALE: 1/4" = 1'-0"

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William J Weckenmann, RA

NJ LIC.: 21AIO2029300
 NY LIC.: 038403

PROJECT NO.: 21040

PROPOSED DWELLING UNIT, INTERIOR ALTERATION AND CHANGE OF USE TO THE EXISTING COMMERCIAL TENANT SPACE

436 CENTRAL AVE
 JERSEY CITY
 HUDSON COUNTY, NJ
 BLOCK: 2202 | LOT: 3

ISSUE::

DATE: ISSUED FOR:
 10.28.21 PERMITS

REVISION:

No.: DATE: NOTES:

CONSULTANTS:

GENERAL NOTES, PLUMBING RISER DIAGRAMS, DETAILS, WALL TYPES

SHEET NUMBER:

A-101

SCALE: AS SHOWN

ELECTRICAL SYMBOLS LEGEND

INSTALLED HEIGHT OF ALL RECEPTACLES SHALL MEASURE 18" A.F.F. U.O.N.
 INSTALLED HEIGHT OF ALL ALL SWITCHES SHALL MEASURE 36"-48" A.F.F. U.O.N.

	JUNCTION BOX or DIRECT WIRE 220V U.O.N.		ELECTRICAL WIRING SURFACE MTD. IN METAL CONDUIT
	SINGLE RECEPTACLE		ELECTRICAL WIRING CONCEALED
	DUPLEX RECEPTACLE, 110 V		LINEAR LED / FLOURESCENT LIGHT FIXTURE
	220V IP RECEPTACLE		2x4 LED / FLOURESCENT LIGHT FIXTURE
	QUADPLEX RECEPTACLE, 110V		2x2 LED / FLOURESCENT LIGHT FIXTURE
	DEDICATED DUPLEX RECEPTACLE, 110V		ELECTRICAL PANEL. INSTALL AT 48" A.F.F. TO HIGHEST BREAKER
	WATERPROOF GFI RECEPTACLE		COMMUNICATION PANEL
	GROUND FAULT INTERRUPTER		EMERGENCY LIGHT FIXTURE 1-1/2 HOUR BATTERY BACKUP
	COUNTER HEIGHT RECEPTACLE. MOUNT AT 42" A.F.F.		COMBINATION EXIT SIGN / EMERGENCY LIGHT FIXTURE. 1-1/2 HOUR BATTERY BACKUP.
	COMBINATION DUPLEX / USB RECEPTACLE.		ILLUMINATED EXIT SIGN 1-1/2 HOUR BATTERY BACKUP
	SWITCHED DUPLEX RECEPTACLE. TOP RECEPTACLE ONLY, BOT. ALWAYS HOT. SPECIAL OUTLET. SEE PLANS. SEE MANUF. SPECS FOR VOLTAGE / AMPERAGE REQ'S		PHOTO SENSOR
	FLOOR RECEPTACLE		MOTION / OCCUPANCY SENSOR
	SINGLE POLE SWITCH		TIMER
	THREE-WAY SWITCH AT 48" A.F.F.		INTERCOM, SEE SPECIFICATIONS
	FOUR WAY SWITCH		WALL MOUNTED FIRE ALARM HORN/STROBE. 80"-96" INSTALL HT.
	DIMMER SWITCH		WIRED FOR FUTURE HORN STROBE. 80"-96" INSTALL HEIGHT
	3-WAY DIMMER SWITCH		KEYPAD
	FAN CONTROLLER		SOUND SYSTEM SPEAKER OUTLET
	SWITCH W/ INDICATOR LIGHT		MAGNETIC DOOR HOLD-OPEN TIED TO FIRE ALARM SYSTEM
	EXISTING SWITCH		PROGRAMMABLE THERMOSTAT W. BATTERY BACKUP INSTALL AT 48" A.F.F. MAX.
	EMERGENCY / SERVICE DISCONNECT SWITCH		DOOR CHIME BUTTON
	CABLE / DATA JACK		BELL, CHIME OR BUZZER
	TELEPHONE JACK		EXHAUST FAN-DUCT TO EXTERIOR
	LIGHT FIXTURE-SURFACE MOUNT		CLG. MTD. SMOKE DETECTOR. 110V HARD WIRED, BATTERY BACK-UP-INTERCONNECTED. 8" BELOW FIN. CLG. IF WALL MTD.
	LIGHT FIXTURE - WALL MOUNTED		CLG. MTD. COMBINATION SMOKE & CARBON MONOXIDE DETECTOR. 110V HARD WIRED, BATTERY BACK-UP-INTERCONNECTED. 8" BELOW FIN. CLG. IF WALL MTD.
	LIGHT FIXTURE-RECESSED FIXTURE		CLG. MTD. CARBON MONOXIDE DETECTOR. 110V HARD WIRED, BATTERYBACK-UP-INTERCONNECTED. 8" BELOW FIN. CLG. IF WALL MTD.
	WATERPROOF RECESSED LIGHT FIXTURE		NEMA TYPE-1 EQUIPMENT DISCONNECT SWITCH 1P
	LIGHT FIXTURE- PENDANT FIXTURE		ELECTRIC MOTOR, W/ HP
	EXTERIOR WALL MOUNTED LIGHT FIXTURE / SCONCE. SEE ELEVATIONS		ELECTRIC BASEBOARD / WALL HEATER. 48" U.O.N.
	COMBINATION FIXTURE. SEMI-RECESSED LIGHT AND EXHAUST FAN		ELECTRIC UNIT HEATER W/ DISCONNECT SWITCH
	LIGHT FIXTURE-W/ SWITCH OR PULL CHAIN		100-150A ELECTRIC METER.
	HEAT LAMP		200A ELECTRIC METER.
	FLOOD LAMP WATERPROOF		
	RED WALL MTD. EXTERIOR LIGHT AT SIAMESE CONNECTION		
	GARAGE OPEN BLINKING WARNING LIGHT		
	CEILING FAN (WITH LIGHTS) AND REMOTE CONTROL		

ELECTRICAL NOTES:

- ALL WORK SHALL COMPLY WITH THE ELECTRICAL SUBCODE (NJAC 5:23-3.16) NATIONAL ELECTRIC CODE 2017 EDITION (NFPA 70)
- ALL ELECTRICAL WORK SHALL BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF NEW JERSEY. THE ELECTRICAL CONTRACTOR SHALL OBTAIN ALL REQUIRED PERMITS, INSPECTIONS AND APPROVALS FROM LOCAL AUTHORITIES WHO HAVE JURISDICTION FOR THIS PORTION OF THE WORK
- THE CONTRACTOR SHALL PROVIDE ALL MISCELLANEOUS JUNCTION BOXES, CONDUIT, AND/OR RACEWAY EXTENSIONS AND APPURTENANCES REQUIRED REGARDLESS OF WHETHER OR NOT THEY ARE EXPLICITLY SHOWN ON THE DRAWINGS.
- ALL WIRING SHALL BE NONMETALLIC - SHEATHED CABLE, EXCEPT WHERE NOT PERMITTED BY CODE.
- ALL WIRING SHALL BE RUN CONCEALED. WIRING ON EXPOSED MASONRY SHALL BE RUN IN EXPOSED METAL CONDUIT. CONDUIT SHALL BE RUN IN A NEAT WORKMAN LIKE MANNER. MINIMIZE EXPOSED CONDUIT RUNS AND FITTINGS.
- ALL WIRING SHALL BE INSTALLED SUCH THAT WHEN COMPLETED THE SYSTEM WILL BE FREE FROM SHORT CIRCUITS & GROUNDS OTHER THAN AS PERMITTED IN ELECTRICAL SUBCODE
- ALL RECEPTACLES INSTALLED IN BATHROOMS AND WITHIN 6 FEET OF A SINK SHALL HAVE GROUND FAULT CIRCUIT-INTERRUPTER PROTECTION. ALL RECEPTACLES INSTALLED IN UNFINISHED UTILITY AREAS SHALL BE WATERPROOF, GFCI RECEPTACLES EXCEPT WHERE CONNECTED TO A SUMP AND OR EJECTOR PUMPS.
- ALL RECEPTACLES SHALL BE WHITE STANDARD COMMERCIAL GRADE. MAX. 10 GEN PURPOSE RECEPTACLES ON EACH CIRCUIT.
- ALL SWITCHES SHALL BE WHITE ROCKER STYLE SWITCHES STANDARD COMMERCIAL GRADE.
- ALL DIMMER SWITCHES SHALL BE WHITE LUTRON SKYLARK OR AS REQ'D BY LIGHT FIXTURE MANUF. SLIDE TO DIM & ROCKER ON/OFF.
- ALL LIGHT FIXTURES SHALL BE INSTALLED COMPLETE WITH MAX. WATTAGE LED LAMPS. LAMP WATTAGE MAY BE LIMITED BY DIMMER RATING
- ALL RECEPTACLES/JACKS/SWITCHES SHALL BE INSTALLED COMPLETE WITH WHITE NYLON COVER PLATES.
- FINAL LOCATION OF ALL RECEPTACLES / JACKS / SWITCHES / LIGHT FIXTURES, THERMOSTATS ETC. SHALL BE VERIFIED WITH OWNER IN FIELD BEFORE INSTALLATION. ELECTRICAL LAYOUT IS DIAGRAMMATIC ONLY.
- TELEPHONE SYSTEM SHALL BE BY OWNER. ALL WIRING SHALL BE CATEGORY 5E. (NIC)
- CABLE TELEVISION, INTERNET, PHONE AND SECURITY SYSTEMS SHALL BE BY CONTRACTOR, AS DIRECTED BY OWNER. ALL WIRING SHALL BE RG-6. (NIC). HOUSE SHALL BE PREWIRED FOR ALL CABLE/INTERNET UTILITIES. COORDINATE ALL WORK WITH OWNER'S SELECTED UTILITY COMPANY.
- CONTRACTOR SHALL COORDINATE HIS WORK WITH WORK BY OTHERS.
- ALL EQUIPMENT SHALL BE AS MANUFACTURED BY SQUARE D OR APPROVED EQUIVAL.
- "PIGGY BACK" CIRCUIT BREAKERS SHALL NOT BE ALLOWED.
- ALL LIGHT FIXTURES SHALL HAVE LED LAMPS AND SHALL BE AS SELECTED BY THE OWNER.
- LIGHT FIXTURES IN DIRECT CONTACT WITH INSULATION SHALL BE UL RATED FOR THIS TYPE OF INSTALLATION.
- ALL CONTROLS INCLUDING THERMOSTATS AND CONTROL PANELS SHALL BE LOCATED AS APPROVED BY THE OWNER.
- AS SPECIFIED IN SECTION 210.12 OF THE ELECTRICAL SUBCODE, ARC-FAULT CIRCUIT-INTERRUPTER (AFCI) PROTECTION SHALL BE REQUIRED FOR ALL NEWLY INSTALLED BRANCH CIRCUITS PROVIDED A LISTED COMBINATION TYPE ARC FAULT CIRCUIT INTERRUPTER BREAKER IS AVAILABLE.
- FURNISH & INSTALL POWER CIRCUITS AND CONTROL WIRING FOR NEW HVAC UNITS. COORDINATE LOCATION AND OTHER REQUIREMENTS WITH PLUMBING AND HVAC CONTRACTORS.
- PROVIDE ANY AND ALL ROOF PENETRATIONS IN A MANNER APPLICABLE FOR THE ROOFING SYSTEM, AND IN A MANNER THAT MAINTAINS ANY EXISTING ROOF WARRANTY.
- ALL ANNULAR SPACES AROUND EQUIPMENT PENETRATIONS SHALL BE SEALED WITH A "3M" FIRE BARRIER CP 25WB+ CAULK, OR APPROVED EQUIVALENT. PENETRATIONS SHALL BE PREPARED AND SEALED PER CAULKING MANUFACTURER'S INSTRUCTIONS TO MAINTAIN THE MAXIMUM FIRE RESISTANCE RATINGS WHERE REQUIRED.
- BEFORE ENERGIZING OR STARTING ANY DEVICE OR EQUIPMENT, VERIFY THAT IT HAS BEEN INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTRUCTIONS, GUIDELINES AND START-UP REQUIREMENTS. WIRING SHALL BE TESTED FOR CONTINUITY AND GROUNDS BEFORE BEING ENERGIZED. FAULTY WIRING SHALL BE REPLACED AT NO COST TO OWNER.
- ALL OUTDOOR EQUIPMENT ENCLOSURES AND JUNCTION BOXES SHALL BE NEMA 3R (MINIMUM) UNLESS OTHERWISE INDICATED. FINAL INSTALLATION OF ENCLOSURES AND RACEWAY INTERCONNECTIONS SHALL EFFECTIVELY MITIGATE THE MIGRATION OF MOISTURE DUE TO CONDENSATION, AND SHALL NOT DEGRADE THE LISTED/LABELLED NEMA INTEGRITY OF ANY NEW AND/OR EXISTING EQUIPMENT.
- DO NOT SCALE PLANS.
- DISCONNECT SWITCHES SHALL BE HEAVY-DUTY TYPE NEMA-1 ENCLOSURES UNLESS OTHERWISE NOTED. AS MANUF. BY SQUARE D
- ALL PENETRATIONS OF RATED ASSEMBLIES SHALL BE SEALED WITH RATED SEALING MATERIALS, DEVICES OR SYSTEMS MEETING ASTM E-814
- ALL NEW RECEPTACLES TO BE TAMPER RESISTANT IN ACCORDANCE W/ THE REQUIREMENTS OF THE NEC.
- ALL LIGHT FIXTURES SHALL HAVE LED LAMPS, 2700K OR 3000K COLOR TEMPERATURE.
- ALL EXTERIOR LIGHT FIXTURES SHALL BE UL LISTED AND RATED FOR EXTERIOR USE. ALL LIGHT FIXTURES IN BATHROOMS TO BE UL LISTED FOR DAMP LOCATIONS, WET LOCATIONS IF INSTALLED IN A SHOWER. PROVIDE SPECIFIC TRIMS WHERE REQ'D BY MANUFACTURER. CONTRACTOR TO VERIFY.
- BACK TO BACK DEVICE BOXES IN FIRE RATED WALLS SHALL BE A MINIMUM OF 2" APART.
- ALL EXISTING COMMERCIAL BRANCH CIRCUITS SHALL BE REMOVED FROM THE NEW RESIDENTIAL AREA, WHERE FEASIBLE. EXISTING COMMERCIAL TENANT BRACH CIRCUITS TO BE REUSED IN NEW KITCHENETTE AND COMMERCIAL BATH. CONTRACTOR TO VERIFY IN FIELD. CONTRACTOR TO PROVIDE NEW 100A ELECTRICAL METER AND SERVICE TO NEW RESIDENTIAL APARTMENT. EXISTING ELECTRICAL SERVICE TO REMAIN. CONTRACTOR TO VERIFY SIZE / CAPACITY OF EXISTING WIRING AND UPGRADE AS REQUIRED. COORDINATE WORK WITH UTILITY CO.

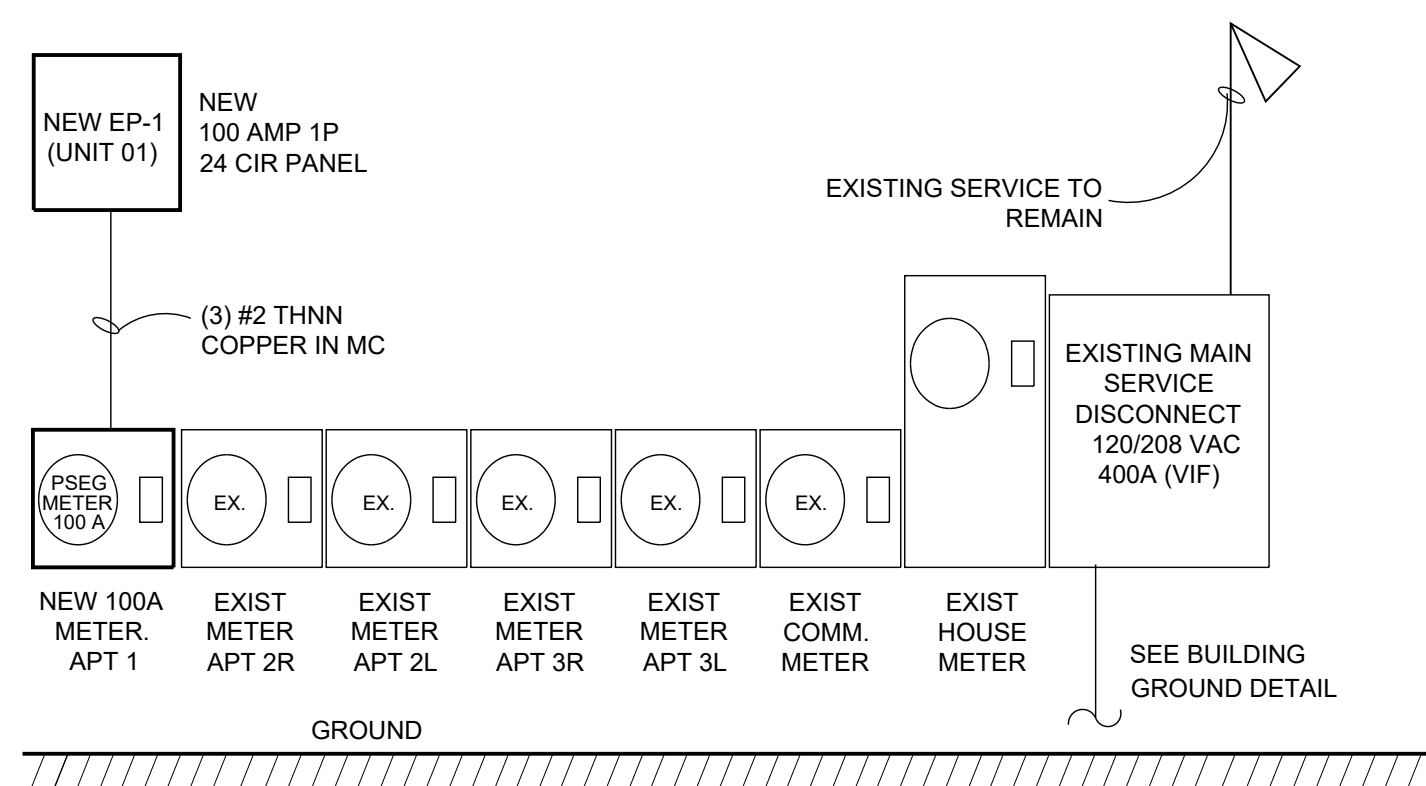
(EP-1) 24 CIRCUIT 100A 1P (MLO) - UNIT 1

BREAKER AMPERE	DESCRIPTION	CIRCUIT NUMBER	L1	L2	CIRCUIT NUMBER	DESCRIPTION	BREAKER AMPERE
20"	CONDENSER CU-1.1	1			2	ELEC. DRYER	30"
		3			4		
15"	AC-1.2	5			6	AC-1.1	15"
20"	RANGE	7			8	HWH-1	25"
20"	DISHWASHER	9			10	SMOKE / CO DETECTORS	20
20	BATHROOM GFI	11			12	KITCHEN RECEPTACLES	20
20	LIGHTING	13			14	MW / RANGE HOOD	20"
20	RECEPTACLES	15			16	REFRIGERATOR	20"
20	RECEPTACLES	17			18	LIGHTING	20
20	SPARE	19			20	SPARE	20
20	SPARE	21			22	SPARE	20
20	SPARE	23			24	SPARE	20

100 AMP 1Ø 22K AIC RATING MAIN LUGS ONLY
 120/208V; 1 PH., 60 HZ.
 * CONFIRM W/ MANUF. SPECS.

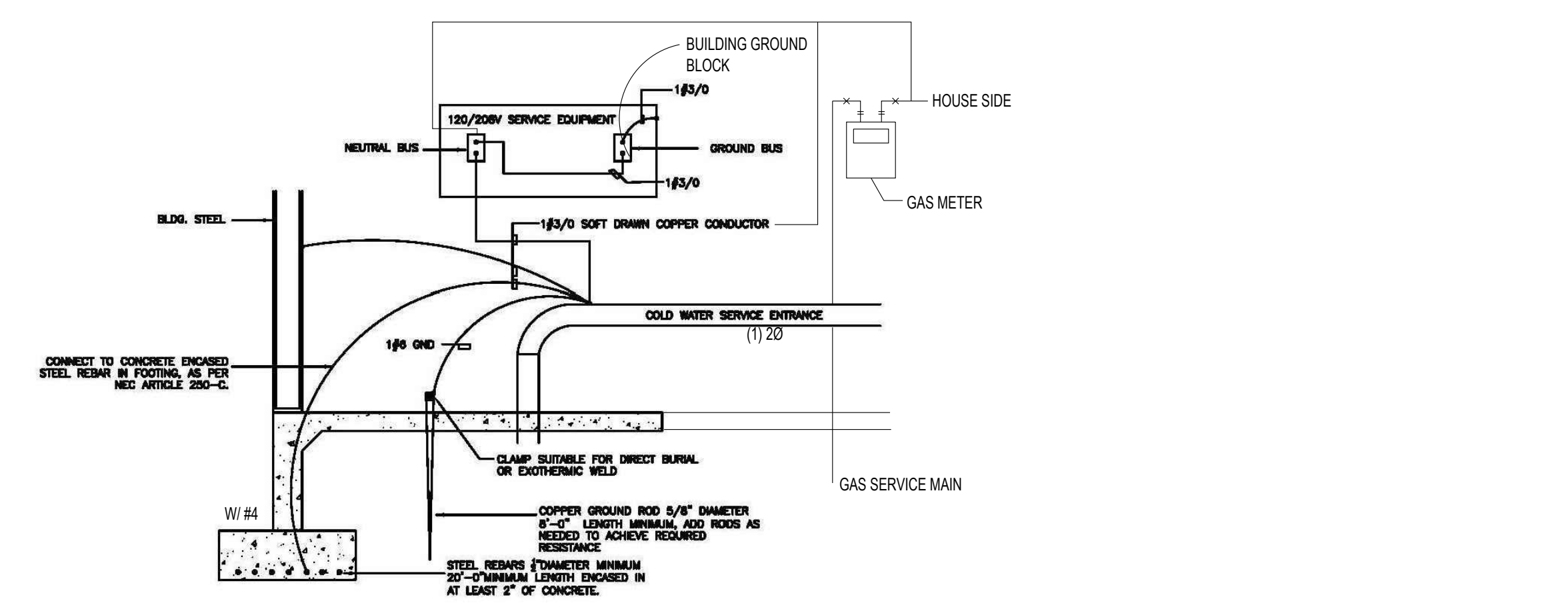
1 ELECTRICAL PANEL RISER DIAGRAM

SCALE : NOT TO SCALE



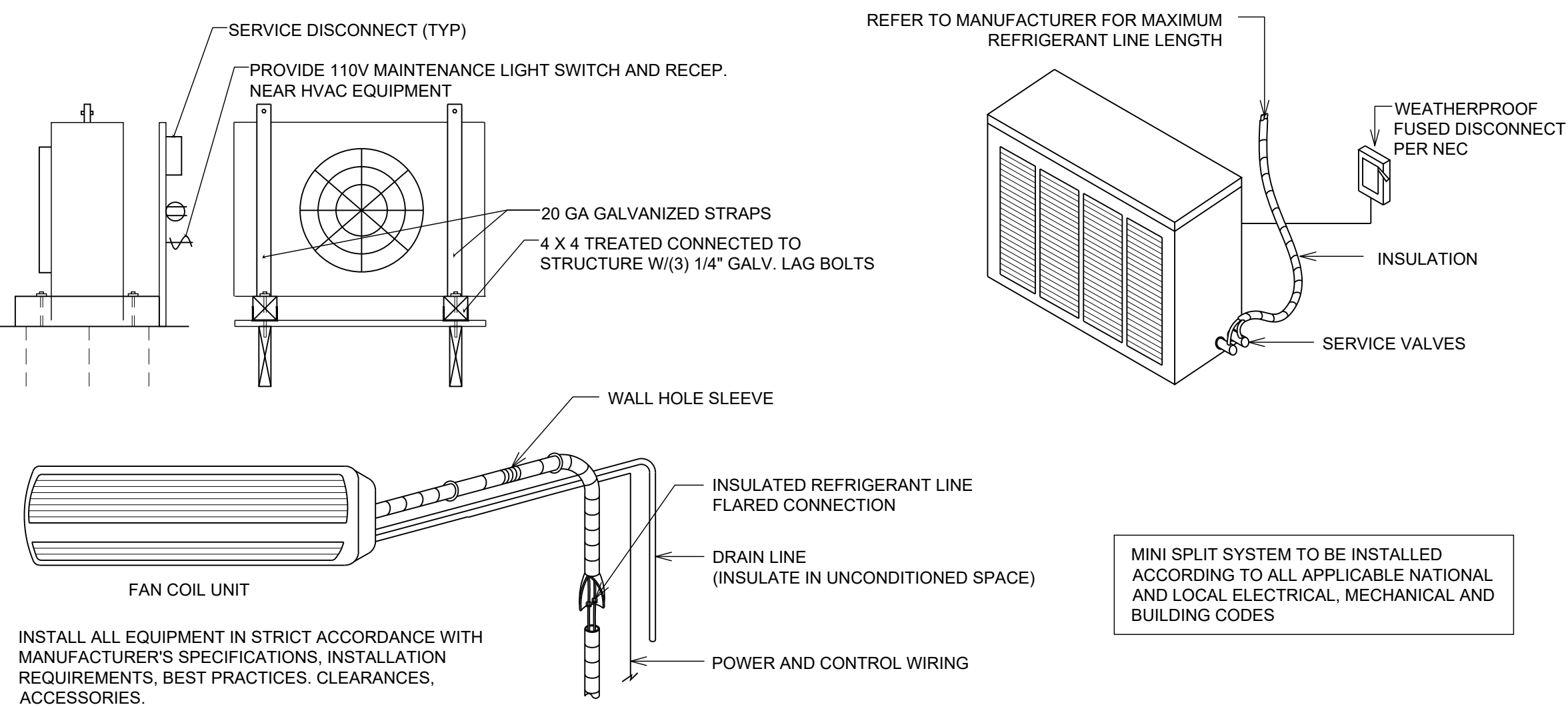
2 ELECTRICAL RISER DIAGRAM

SCALE : NOT TO SCALE



3 BUILDING GROUND DETAIL

SCALE : NOT TO SCALE



4 MINISPLIT DETAILS

SCALE : NOT TO SCALE

FAN SCHEDULE

UNIT NO.	LOCATION	FAN TYPE	MANUF.	MODEL NO.	CFM	SONE	WEIGHT (LBS)	V/HZ	NOTES:
EF-1	BATHROOMS	CEILING FAN	PANASONIC	0510VSC1 WHISPER DC	50-100	<0.3	9.0	120V/60HZ	VARIABLE SPEED FAN. DO NOT INSTALL IN SHOWER. SET FAN SPEED IN FIELD.

REMOTE OUTDOOR AIR COOLED HEAT PUMP CONDENSING UNIT SCHEDULE (SPLIT)

UNIT NO.	SERVING	MANUF.	MODEL NO.	COOLING CAPACITY (BTU/HR)	HEATING CAPACITY (BTU/HR)	SEER	ELEC. VOLTS, PH, HZ, AMPS	BREAKER SIZE	UNIT WEIGHT (LBS)	DIMENSIONS L' X D' X H'	NOTES:
CU-1	APARTMENT	MITSUBISHI	MXZ-2C20NA2-U1	18,000	22,000	20.0 SEER	208/230V, 1PH, 60HZ	20A	126 LBS	33" X 13" X 26"	2 ZONES - 6K, 12K BTU/HR.

NOTE:
 1. ALL CONDENSING UNITS SHALL COMPLY WITH THE NEW JERSEY STATE ENERGY CODE EFFICIENCY REQUIREMENTS
 2. ALL UNITS SHALL BE SIZED BY MECHANICAL CONTRACTOR. SELECTIONS NOTED ARE FOR BIDDING PURPOSES ONLY. SIZING IS BASED UPON A VERSION OF THE ACCA MANUAL J AND IS INTENDED ONLY AS A GUIDE.
 3. BUILT-IN LOW AMBIENT KIT, WINTER START CONTROL, LIQUID SOLENOID VALVE, CRANKCASE HEATER.

FAN COIL UNIT SCHEDULE

UNIT NO.	SERVING	MANUF.	MODEL	COOLING CAPACITY (BTU/HR)	HEATING CAPACITY (BTU/HR)	SEER	ELEC. VOLTS, PH, HZ.	BREAKER SIZE	DRAIN SIZE	DIMENSIONS L' X D' X H'	NOTES:
AC-1.1	BEDROOM	MITSUBISHI	MSZ-FH06NA	6,000	8,700	33.1	208/230V, 1, 60HZ	15 AMPS	5/8"	36" X 9" X 12"	FINAL SIZING BY HVAC CONTRACTOR
AC-1.2	LIVING ROOM	MITSUBISHI	MSZ-FH12NA	12,000	13,600	26.1	208/230V, 1, 60HZ	15 AMPS	5/8"	36" X 9" X 12"	FINAL SIZING BY HVAC CONTRACTOR

NOTE: VERIFY MINIMUM BREAKER AND WIRE SIZE WITH MANUF. SPECIFICATIONS. PROVIDE WIRELESS REMOTE CONTROL, LOCATION AS DIRECTED BY OWNER.

ELEC. WATER HEATER SCHEDULE

UNIT NO.	MANUF.	MODEL No.	CAPACITY	RECOVERY WATTAGE	VOLTAGE	BREAKER	DIMENSIONS HEIGHT, DIAMETER	CONNECTION SIZE	NOTES:
WH-1	RHEEM	XE40M06ST38U1	40 GAL.	4,500W, SINGLE PHASE	240V	25A	48.25", 20.25"	3/4" HW, 3/4" CW	CONFIRM ALL ELEC. REQ'S W. SELECTED MANUF.

NOTE: EQUIPMENT SUBSTITUTIONS ARE PERMITTED. CONTRACTOR SHALL BE REQUIRED TO COORDINATE ALL ELECTRICAL AND PLUMBING REQUIREMENTS WITH SELECTED MANUFACTURER.

MECHANICAL NOTES:

- ALL WORK SHALL COMPLY WITH THE NATIONAL STANDARDS PLUMBING CODE 2018, INTERNATIONAL FUEL GAS SUBCODE 2018, INTERNATIONAL MECHANICAL CODE 2018 AND INTERNATIONAL ENERGY CONSERVATION CODE 2018, OR LATEST ADOPTED EDITIONS, ASHRAE, SMACNA, NFPA, AND LOCAL INSPECTORS HAVING JURISDICTION.
- THE EXISTING NATURAL GAS SERVICE SHALL BE REMAIN. CONTRACTOR TO INSTALL NEW METER AND GAS SERVICE TO PROPOSED APARTMENT. SEE PLUMBING NOTES.
- THE CONTRACTOR SHALL PROVIDE EXHAUST VENTILATION AND AIR CONDITIONING IN THE BUILDING AREAS. CONTRACTOR SHALL FURNISH AND INSTALL ALL SPECIFIED EQUIPMENT, DUCTWORK, PLUMBING AND ACCESSORIES REQUIRED FOR A COMPLETE INSTALLATION.
- CONTRACTOR TO PROVIDE NEW HEATING AND AIR CONDITIONING UNITS(S). DESIGN, SIZING AND SYSTEM SELECTION SHALL BE BY THE CONTRACTOR. ELECTRIC AIR CONDITIONING SYSTEMS SHALL BE DETERMINED BY THE FOLLOWING CRITERIA: COOLING: OUTSIDE CONDITIONS - 95 DEGREES F, DRY BULB. INSIDE CONDITIONS - 70 DEGREES F
- EACH ZONE SHALL BE CONTROLLED BY A DIGITAL PROGRAMMABLE THERMOSTAT. LOCATION AS DIRECTED BY OWNER. ZONING SHALL BE ACHIEVED THROUGH USE OF SEPARATE UNITS.
- MICROWAVE / RANGE HOOD COMBO, AS SELECTED BY OWNER, RECIRCULATING TYPE, SHALL NOT VENT TO EXTERIOR.
- HVAC SHOP DRAWINGS, REQUIRED, SHALL BE SUBMITTED TO THE ARCHITECT FOR REVIEW AND FINAL APPROVAL PRIOR TO INSTALLATION.
- ALL PIPING AND DUCTS SHALL BE RUN CONCEALED IN FINISHED SPACES. ANY EXPOSED PIPING OR DUCTWORK IN FINISHED SPACES SHALL BE FINISHED TO MATCH ADJACENT FIXTURE FITTINGS.
- INSTALL MAXIMUM THICKNESS THERMAX RIGID INSULATION BETWEEN PIPES IN EXTERIOR WALL CAVITY AND INSIDE FACE OF SHEATHING 10. FILTERS SHALL BE ACCESSIBLE DIRECTLY FROM THE FINISHED AREAS, PROVIDE ACCESS DOORS AND MAINTAIN MANUF. REQUIRED CLEARANCES WHERE REQUIRED.
- ALL PIPING, DUCTWORK AND EQUIPMENT SHALL BE SUPPORTED, BRACED AND ANCHORED IN ACCORDANCE WITH THE REQUIREMENTS OF THE LATEST BUILDING SUBCODE AND ASCE 7.
- ALL DUCTWORK SHALL BE SEALED AS PER THE REQUIREMENTS OF THE INTERNATIONAL MECHANICAL CODE. SEAL ALL LOW PRESSURE DUCTWORK FOR POSITIVE / NEGATIVE 2" PRESSURE CLASS, SMACNA SEAL CLASS A, SMACNA LEAKAGE CLASS 12.
- ALL EQUIPMENT SHALL BEAR THE LABEL OF AN APPROVED TESTING AGENCY AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL MANUFACTURER'S WRITTEN SPECIFICATIONS, STANDARD DETAILS AND BEST PRACTICES.
- U.O.N., ALL DUCTWORK SHALL BE RIGID GALVANIZED CONSTRUCTION IN ACCORDANCE W/ ACCEPTED METHODS OF ASHRAE AND SMACNA.
- ALL DUCTS TO THE EXTERIOR SHALL BE WRAPPED WITH 2" THICK DUCTWRAP WITH VAPOR BARRIER. INSULATION SHALL HAVE A MINIMUM INSTALLED INSULATION VALUE OF R-8 AND SHALL RUN CONTINUOUS THROUGH ROUGH WALLS AND PENETRATIONS. TRANSFER DUCTS SHALL BE LINED WITH 1" THICK DUCT LINER FOR ACoustICAL PURPOSES.
- FLEXIBLE DUCTS SHALL BE ZINC COATED SPRING HELIX, BONDED TO DUCT CORE. INSULATION SHALL BE NOMINAL 1", 1.0 P.C.F. DENSITY FIBERGLASS SHEIDED, FROM AIR STREAM WITH FULL INTERIOR LINER, VAPOR BARRIER JACKET SHALL BE SEAMLESS COPOLYMER JACKET, FLEXIBLE DUCTWORK NOT PERMITTED FOR DRYER EXHAUST VENTS.
- THE MECHANICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL CONTROL DEVICES AND CONTROL WIRING. CONTROL WIRING SHALL INCLUDE ALL LOW AND LINE VOLTAGE WIRING REQUIRED FOR CONTROL DEVICES SUCH AS DAMPER AND VALVE ACTUATORS, THERMOSTATS AND CONTROL PANELS. COORDINATE ALL LINE VOLTAGE CONTROL POWER REQUIREMENTS WITH THE ELECTRICAL CONTRACTOR.
- THE MEP CONTRACTOR SHALL ALSO BE RESPONSIBLE FOR PROVIDING MOTOR STARTERS & DISCON. SWITCHES REQ'D FOR HVAC EQUIP.
- ALL DUCTWORK SHALL BE RUN AS HIGH AS POSSIBLE, TIGHT TO THE UNDERSIDE OF THE STRUCTURE ABOVE. WHERE DUCTS CROSS, THE MECHANICAL CONTRACTOR SHALL COORDINATE IN THE FIELD SO ONE DUCT IS OFFSET UP BETWEEN FRAMING MEMBERS AS REQ'D.
- EXISTING MECHANICAL EQUIPMENT SHALL BE REMOVED FROM THE COMMERCIAL TENANT SPACES. DUCTWORK LOCATIONS ARE UNKNOWN, TO BE VERIFIED IN FIELD BY HVAC CONTRACTOR PRIOR TO SUBMITTING BID. DUCTWORK SHALL BE REMOVED FROM PROPOSED RESIDENTIAL APARTMENT. RELOCATE AND CAP EXISTING DUCTWORK AS REQUIRED. NO DUCTWORK SHALL PENETRATE RATED SEPARATION WALL BETWEEN RESIDENTIAL AND COMMERCIAL TENANTS. CONTRACTOR TO VERIFY ALL DUCTWORK LOCATIONS IN FIELD & REROUTE AS REQ'D.
- THE MECHANICAL CONTRACTOR IS RESPONSIBLE FOR ALL CUTTING AND PATCHING ASSOCIATED WITH THE MECHANICAL WORK, AND FIRE STOPPING OF ALL PENETRATIONS OF FIRE RATED PARTITIONS.
- THE HVAC CONTRACTOR SHALL PROVIDE ACCESS DOORS AT ALL EQUIP. REQUIRES ACCESS FOR MAINTENANCE / INSPECTION
- COORDINATE GAS PIPING INSTALLATION WITH PLUMBING CONTRACTOR PRIOR TO INSTALLATION. COORDINATE POWER AND CONTROL WIRING WITH ELECTRICAL CONTRACTOR PRIOR TO INSTALLATION.
- CONDENSATE DRAIN PIPING SHALL BE SCHED. 40 PVC PIPE AND FITTINGS. DRAINS FROM AHU SHALL BE TRAPPED. TERMINATE INDOOR UNIT DRAINS ABOVE HUB DRAINS WITH AN AIR GAP. MIN. DRAIN PER PLUMBING CODE, 5/8" MIN.
- PROVIDE REFRIGERANT TUBING BETWEEN UNITS AND OUTDOOR UNITS. RUN TUBING CONCEALED IN WALL AND FLOOR CONSTRUCTION REFRIGERANT PIPE SHALL BE NITROGENIZED ACR COPPER TUBE. SIZE, INSULATE AND INSTALL AS PER MANUFACTURER'S SPECIFICATIONS. INSULATION SHALL RUN CONTINUOUS THROUGH PENETRATIONS. PROVIDE OUTDOOR PIPING W. OUTER ALUM. JACKET.
- ALL PIPING SHALL BE PROVIDED WITH PRE-PRINTED COLOR-CODED PIPE LABELS WITH 1.5" HIGH LETTERING INDICATING SERVICE AND FLOW DIRECTION.
- PROVIDE NON-CONDUCTING DIELECTRIC UNIONS WHENEVER CONNECTING DISSIMILAR METALS.
- ALL LOCATIONS OF ROOF AND EXTERIOR WALL PENETRATIONS AND OPENINGS SHALL BE VERIFIED WITH ARCHITECT, OWNER PRIOR TO INSTALLATION. ALL PENETRATIONS SHALL BE FLASHED AND COUNTERFLASHED IN A WATERPROOF MANNER.
- THERMOSTATS, SENSORS AND SWITCHES SHALL BE INSTALLED AT A MAX. OF 48" ABOVE FINISHED FLOOR AT LOCATION APPROVED BY OWNER. ANY DEVICE REQUIRING A THERMOSTAT SHALL BE FURNISHED WITH A THERMOSTAT WHETHER INDICATED ON PLANS OR NOT.
- EXISTING HVAC SYSTEMS SERVING THE COMMERCIAL TENANT SPACES SHALL REMAIN. DUCTWORK LOCATIONS ARE UNKNOWN, TO BE VERIFIED IN FIELD BY HVAC CONTRACTOR PRIOR TO SUBMITTING BID. DUCTWORK SHALL BE REMOVED FROM PROPOSED RESIDENTIAL APARTMENT. RELOCATE AND CAP EXISTING DUCTWORK AS REQUIRED. NO DUCTWORK SHALL PENETRATE RATED SEPARATION WALL BETWEEN RESIDENTIAL AND COMMERCIAL TENANTS. CONTRACTOR TO VERIFY ALL DUCTWORK LOCATIONS IN FIELD & REROUTE AS REQ'D.

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William J Weckenmann, RA

 NJ LIC.: 21A102029300
 NY LIC.: 038403

PROJECT NO.: 21040
 PROPOSED DWELLING UNIT. INTERIOR ALTERATION AND CHANGE OF USE TO THE EXISTING COMMERCIAL TENANT SPACE
 436 CENTRAL AVE
 JERSEY CITY
 HUDSON COUNTY, NJ
 BLOCK: 2202 | LOT: 3

ISSUE:
 DATE: ISSUED FOR:
 10.28.21 PERMITS

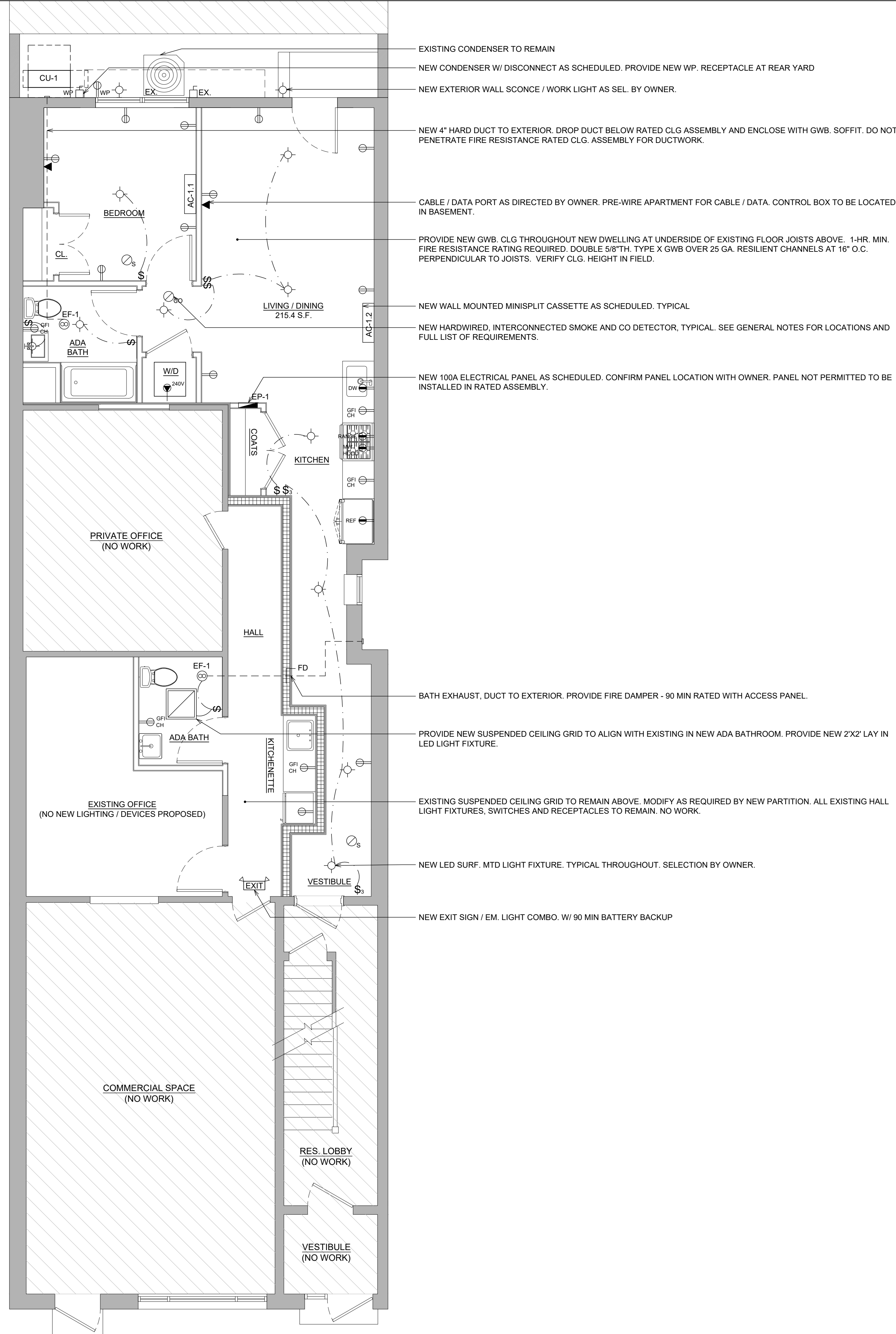
REVISION:
 No.: DATE: NOTES:

CONSULTANTS:

ELECTRICAL & MECHANICAL NOTES, SCHEDULES AND DETAILS, RISER DIAGRAMS

SHEET NUMBER:

E-100
 SCALE: AS SHOWN



1 FIRST FLOOR ELECTRICAL PLAN

SCALE: 1/4" = 1'-0"



2 FIRESTOPPING DETAILS

SCALE: NOT TO SCALE

