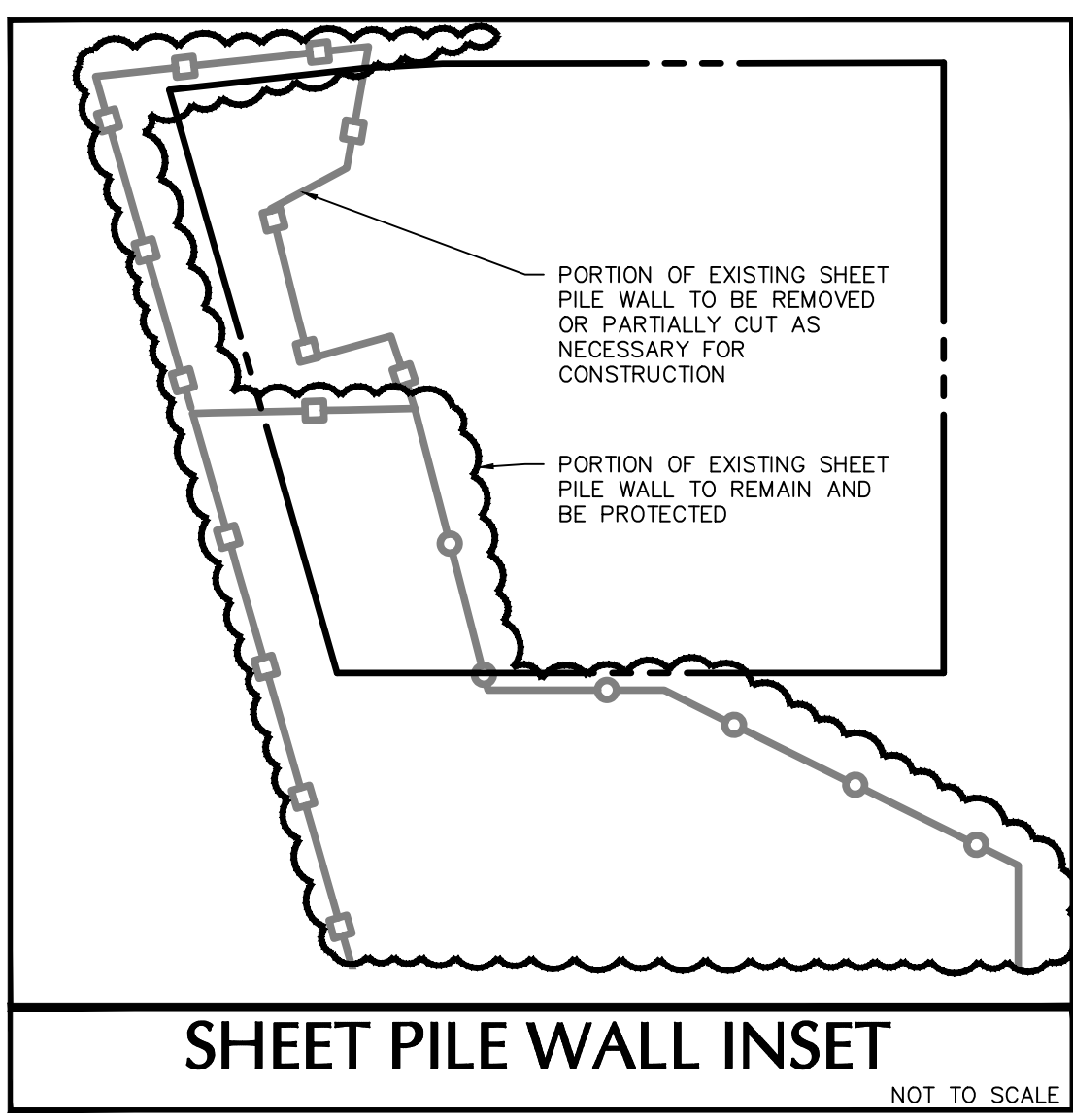
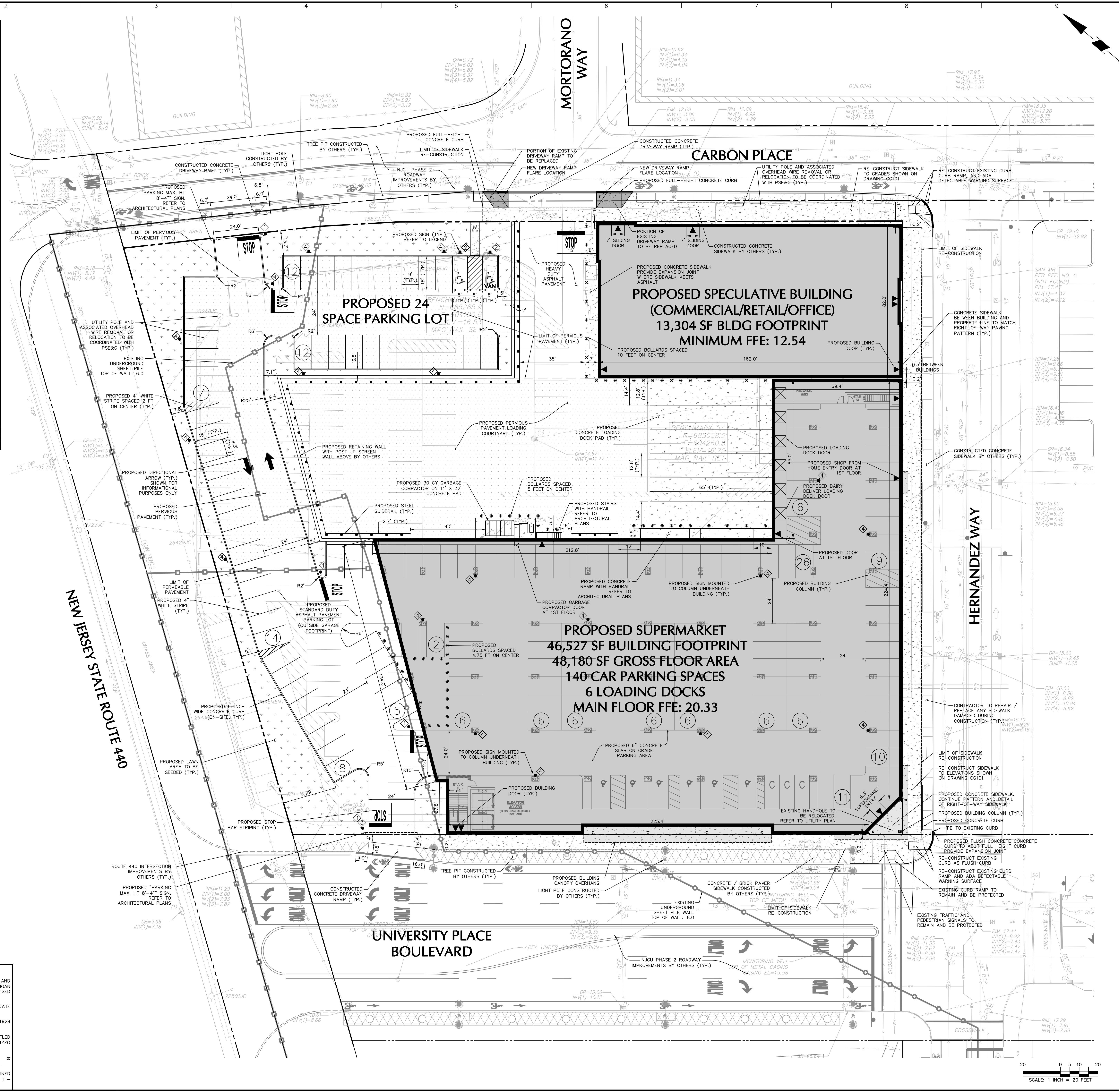


**GENERAL NOTES**

1. THESE PLANS REPRESENT OVERALL SITEWORK IMPROVEMENTS REQUIRED FOR PROJECT CONSTRUCTION. THE WORK TO BE PERFORMED IS SHOWN ON THE DRAWINGS AND IS DESCRIBED IN THE CONTRACT SPECIFICATIONS. THE CONTRACTOR IS RESPONSIBLE FOR MEANS AND METHODS OF CONSTRUCTION AS SUCH. THESE PLANS DO NOT COMPLETELY REPRESENT ALL SPECIFIC SITE DETAILS OF INSTALLATION REQUIRED FOR SITEWORK CONSTRUCTION. CONTRACTOR IS RESPONSIBLE TO PROVIDE ALL IMPROVEMENTS REQUIRED TO ACHIEVE CONSTRUCTION DEPICTED ON THESE PLANS.
2. THE CONTRACTOR SHALL ACCEPT THE SITE AS IS. THE CONTRACTOR SHALL ASSESS CONDITIONS, AND THE KIND, QUALITY AND QUANTITY OF WORK REQUIRED. THE OWNER MAKES NO GUARANTEE IN REGARD TO THE ACCURACY OF ANY AVAILABLE INFORMATION WHICH WAS OBTAINED DURING INVESTIGATIONS. THE CONTRACTOR SHALL MAKE A THOROUGH SITE INSPECTION IN ORDER TO FIELD CHECK EXISTING SITE CONDITIONS, CORRELATE CONDITIONS WITH THE DRAWINGS AND RESOLVE ANY POSSIBLE CONSTRUCTION CONFLICTS WITH THE OWNER AND ENGINEER PRIOR TO COMMENCEMENT OF WORK. THE CONTRACTOR SHALL MAKE ADDITIONAL TOPOGRAPHIC SURVEYS AS DEEMED NECESSARY. PROVIDED THEY ARE COORDINATED WITH THE OWNER. ANY CONDITIONS DETERMINED BY THE CONTRACTOR THAT DIFFER FROM THE INFORMATION SHOWN ON THE DRAWINGS THAT ARE NOT BROUGHT TO THE ATTENTION OF THE OWNER AND ENGINEER PRIOR TO THE START OF WORK SHALL NOT BE CONSIDERED GROUNDS FOR ADDITIONAL PAYMENT OR CHANGES TO THE CONTRACT DURATION, OR ANY OTHER CLAIMS AGAINST THE OWNER OR OWNER'S ENGINEER.
3. THE CONTRACTOR SHALL WHEN HE/SHE DEEMS NECESSARY, PROVIDE WRITTEN REQUESTS FOR INFORMATION (RFI) TO THE OWNER AND ENGINEER PRIOR TO THE CONSTRUCTION OF ANY SPECIFIC SITEWORK ITEM. THE RFI SHALL BE IN A FORM ACCEPTABLE TO OWNER AND ENGINEER AND SHALL ALLOW FOR A MINIMUM OF TWO WORK DAYS OR ADDITIONAL REASONABLE TIME FOR A WRITTEN REPLY. RFI SHALL BE NUMBERED CONSECUTIVELY BY DATE SUBMITTED. THE CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR SITEWORK ITEMS CONSTRUCTED DIFFERENTLY THAN INTENDED OR AS DEPICTED ON THE PLANS.
4. INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES (SUCH AS ROADWAY GRADES, INVERT ELEVATIONS, RIM ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATIONS, ETC.) MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES AND ANY INFORMATION DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING PRIOR TO CONSTRUCTION.
5. THERE ARE ADDITIONAL NOTES, SPECIFICATIONS AND REQUIREMENTS CONTAINED ON SHEETS THROUGHOUT THE PLAN SET AND AVAILABLE REFERENCES TO SPECIFICATIONS FROM APPLICABLE GOVERNING AUTHORITIES AND INDUSTRY STANDARDS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN, REVIEW AND ADHERE TO ALL APPLICABLE REQUIREMENTS.
6. CONTRACTOR IS SPECIFICALLY CAUTIONED THAT ALL CONSTRUCTION STAKEOUT FOR THIS PROJECT MUST BE COMPLETED FROM THE SITE SPECIFIC SURVEY CONTROL (HORIZONTAL AND VERTICAL) UPON WHICH THE DESIGN IS BASED. THE CONTRACTOR SHOULD NOT RELY ON OR RE-ESTABLISH SURVEY CONTROL BY GPS OR OTHER METHODS FOR USE IN CONSTRUCTION STAKEOUT OR ANY OTHER PURPOSE FOR THIS PROJECT. ANY DISCREPANCIES BETWEEN THE EXISTING HORIZONTAL OR VERTICAL DATA SHOWN ON THESE DRAWINGS AND THAT ENCOUNTERED IN THE FIELD MUST BE REPORTED TO THE DESIGN TEAM PRIOR TO CONSTRUCTION FOR RESOLUTION.
7. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR ALL DRAINAGE AND UTILITY STRUCTURES AND MANUFACTURED PRODUCTS TO THE ENGINEER OF RECORD FOR REVIEW AND APPROVAL PRIOR TO COMMENCING WITH CONSTRUCTION.
8. SEE ARCHITECTURAL DRAWINGS FOR EXACT BUILDING DIMENSIONS AND DETAILS CONTIGUOUS TO THE BUILDING, INCLUDING BUILDING ENTRANCES, STAIRWAYS, UTILITY PENETRATIONS, CONCRETE DOOR PADS, BOLLARDS, ETC.
9. SYMBOLS AND LEGENDS OF PROJECT FEATURES ARE GRAPHIC REPRESENTATIONS AND ARE NOT NECESSARILY SCALED TO THEIR ACTUAL DIMENSIONS OR LOCATIONS ON THE DRAWINGS.
10. CONTRACTOR SHALL NOT RELY SOLELY ON ELECTRONIC VERSIONS OF PLANS, SPECIFICATIONS, AND DATA FILES THAT ARE OBTAINED FROM THE DESIGNERS, BUT SHALL VERIFY LOCATION OF PROJECT FEATURES IN ACCORDANCE WITH THE PAPER COPIES OF THE PLANS AND SPECIFICATIONS THAT ARE SUPPLIED AS PART OF THE CONTRACT DOCUMENTS.
11. CONTRACTOR TO CONFIRM ALL ADA WORK IS PERFORMED IN ACCORDANCE WITH THE LATEST STANDARD AND REGULATIONS PER APPLICABLE CITY OF JERSEY CITY, HUDSON COUNTY, STATE OF NEW JERSEY AND FEDERAL CODES.



- REFERENCES**
1. BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY - NEW JERSEY CITY UNIVERSITY WEST CAMPUS", PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC., DATED 26 NOVEMBER 2019, LAST REVISED 23 NOVEMBER 2021.
  2. THE MERIDIAN OF THE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
  3. ELEVATIONS ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). TO CONVERT FROM NGVD29 TO NAVD83, SUBTRACT 1.125 FEET.
  4. PROPOSED SUPERMARKET BUILDING FOOTPRINT OBTAINED FROM A CAD FILE TITLED "NJCU MARKET & RETAIL\_BACKGROUND" PROVIDED ELECTRONICALLY BY GUZZO & GUZZO ARCHITECTS ON 28 FEBRUARY 2023.
  5. PROPOSED SPEC BUILDING OBTAINED FROM A PLAN TITLED "NJCU MARKET & RETAIL\_BACKGROUND" PREPARED BY GUZZO & GUZZO ARCHITECTS ON 28 FEBRUARY 2023.
  6. PROPOSED CARBON PLACE AND UNIVERSITY PLACE BOULEVARD ROADWAY LAYOUT OBTAINED FROM PLANS TITLED "NEW JERSEY CITY UNIVERSITY WEST CAMPUS REDEVELOPMENT PHASE II - ROADWAY INFRASTRUCTURE" DATED 26 AUGUST 2016, LAST REVISED 14 APRIL 2022.



**SIGN LEGEND**

R1-1 30"x30"	R7-8 12"x18"
R3-2 24"x24"	R7-9P 18"x9"
AREA SUBJECT TO FLOODING CUSTOM 12"x18"	SUBSEQUENT OFFENSE \$500 MIN. AND/OR UP TO 90 DAYS COMMUNITY SERVICE TOW-AWAY ZONE
	R7-9P 12"x12"

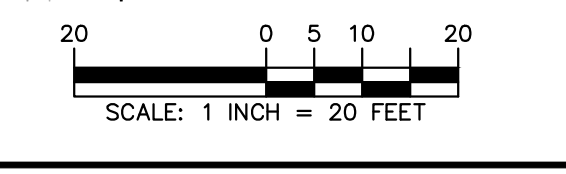
**NOTES**

1. UNLESS OTHERWISE NOTED, ALL PROPOSED SIGNAGE TO CONFORM TO THE CURRENT EDITION OF THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES (MUTCD) FOR SIZE, LEGEND, AND PLACEMENT.
2. REFER TO ARCHITECTURAL PLANS FOR ALL SIGNAGE WITHIN BUILDING FOOTPRINT.
3. "VAN ACCESSIBLE" SIGNAGE TO BE PLACED AT PARKING SPACES DESIGNATED AS "VAN ACCESSIBLE" SPACES.

**LEGEND**

DESCRIPTION	EXISTING	PROPOSED
PROPERTY LINE		
CURB LINE		
BUILDING LINE		
CONC. SIDEWALK/PAD		
LAWN/LANDSCAPED AREA		

Date	Description	No.
REVISIONS		
SIGNATURE: LEONARD D. SAVINO, PROFESSIONAL ENGINEER NJ Lic. No. GE-39238		
<b>LANGAN</b>		
Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054		
T: 973.560.4900 F: 973.560.4901 www.langan.com NJ CERTIFICATE OF AUTHORIZATION No. 24624796460		
Project: <b>BLOCK 6 NJCU WEST CAMPUS</b>		
BLOCK No. 21902.01, LOT No. 1 CITY OF JERSEY CITY		
HUDSON COUNTY NEW JERSEY		
Drawing Title: <b>SITE PLAN</b>		
Project No.	Drawing No.	
100552201	CS101	
Date:	3/28/2023	
Drawn By:	BMW	
Checked By:	JED	



**GRADING AND DRAINAGE NOTES**

- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES, AND WHERE POSSIBLE MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE APPROPRIATE UTILITY COMPANY AT LEAST 72 HOURS BEFORE ANY EXCAVATION TO REQUEST EXACT FIELD LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS.
- SITE GRADING SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR. SEE SHEET CG101 FOR EROSION CONTROL MEASURES.
- SET PIPES AND STRUCTURES TO ELEVATIONS AND GRADES SHOWN ON THE DRAWINGS.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL PLANS FOR EXACT LOCATIONS OF ALL STORM SEWER LATERALS AND ROOF LEADERS. IN THE EVENT THAT THE ARCHITECTURAL PLANS DIFFER FROM THE EXISTING CIVIL PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND ARCHITECT IMMEDIATELY.
- ALL REQUIRED STORM LATERALS SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING LATERAL ENTRANCE LOCATION BASED ON THE INVERTS NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF LATERALS TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR.
- MINIMUM DEPTH OF COVER FOR ALL STORM SEWER PIPES IS 2 FEET OR AS SPECIFIED BY MANUFACTURER.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL ACCOMMODATE HEAVY-DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- CLEANOUTS SHALL BE PROVIDED FLUSH TO GRADE AT ALL LOCATIONS OF ROOF DRAIN INTERSECTIONS, BENDS, AND UPSTREAM ENDS.
- CONTRACTOR SHALL PROVIDE 24"x24"x8" THICK CONCRETE APRON AT ALL CLEANOUTS OUTSIDE OF BUILDING UNLESS MUNICIPAL REQUIREMENTS DICTATE OTHERWISE.
- THE CONTRACTOR SHALL FLUSH AND CLEAN ALL EXISTING ON-SITE STORM PIPING AND STRUCTURES THAT ARE TO REMAIN WITHIN THE LIMITS OF WORK OR AS INDICATED ON THE PLANS.
- COMPACTION CRITERIA FOR FILL PLACED IN THE FOLLOWING AREAS SHALL MEET OR EXCEED THE FOLLOWING MINIMUM PERCENTAGE OF MAXIMUM MODIFIED PROCTOR DRY DENSITY AS DETERMINED BY ASTM D-1557 USED ON REPRESENTATIVE SOIL SAMPLES, UNLESS MORE STRINGENT CRITERIA IS GIVEN ELSEWHERE (INCLUDING GEOTECHNICAL REPORT):
 

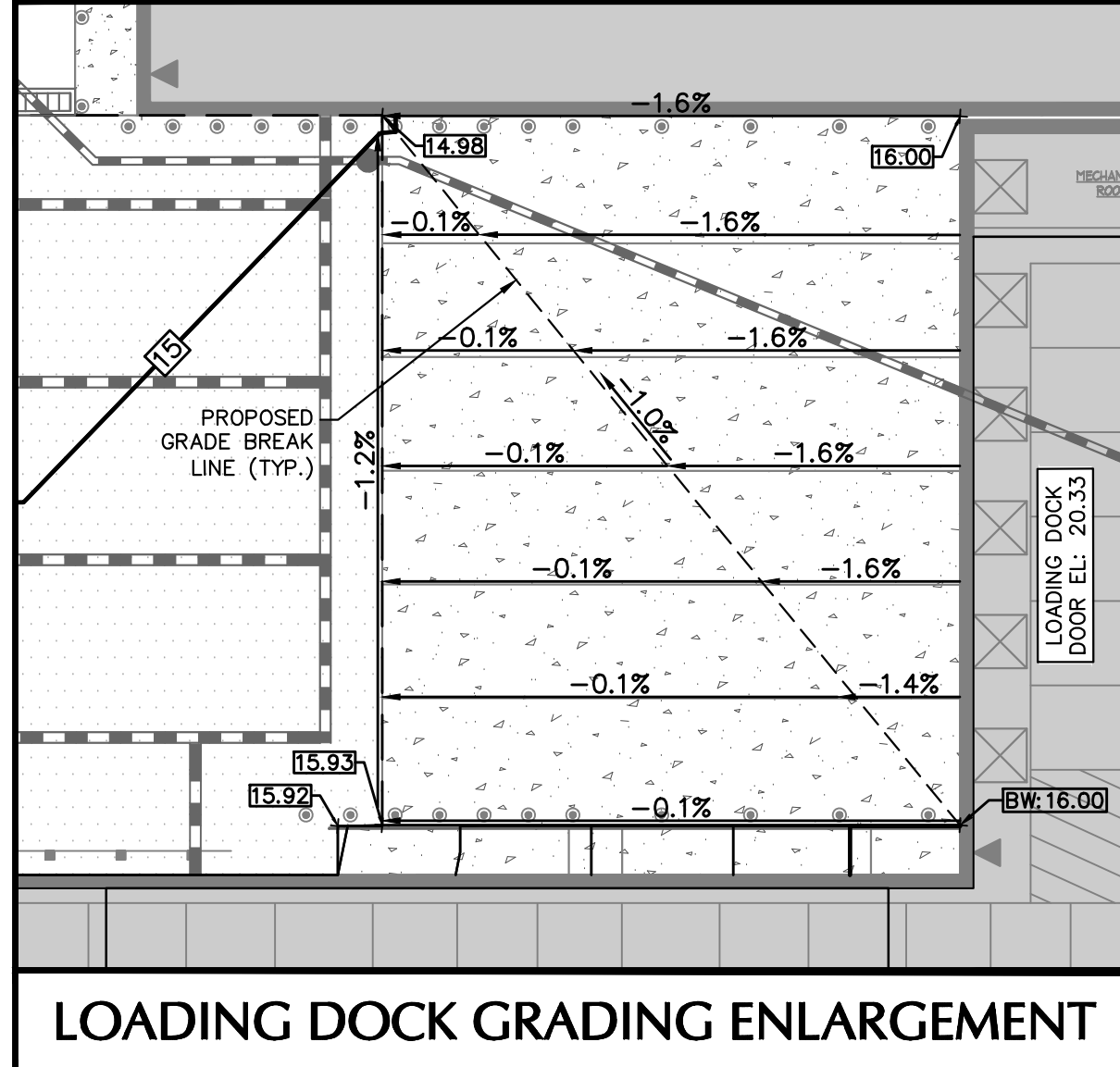
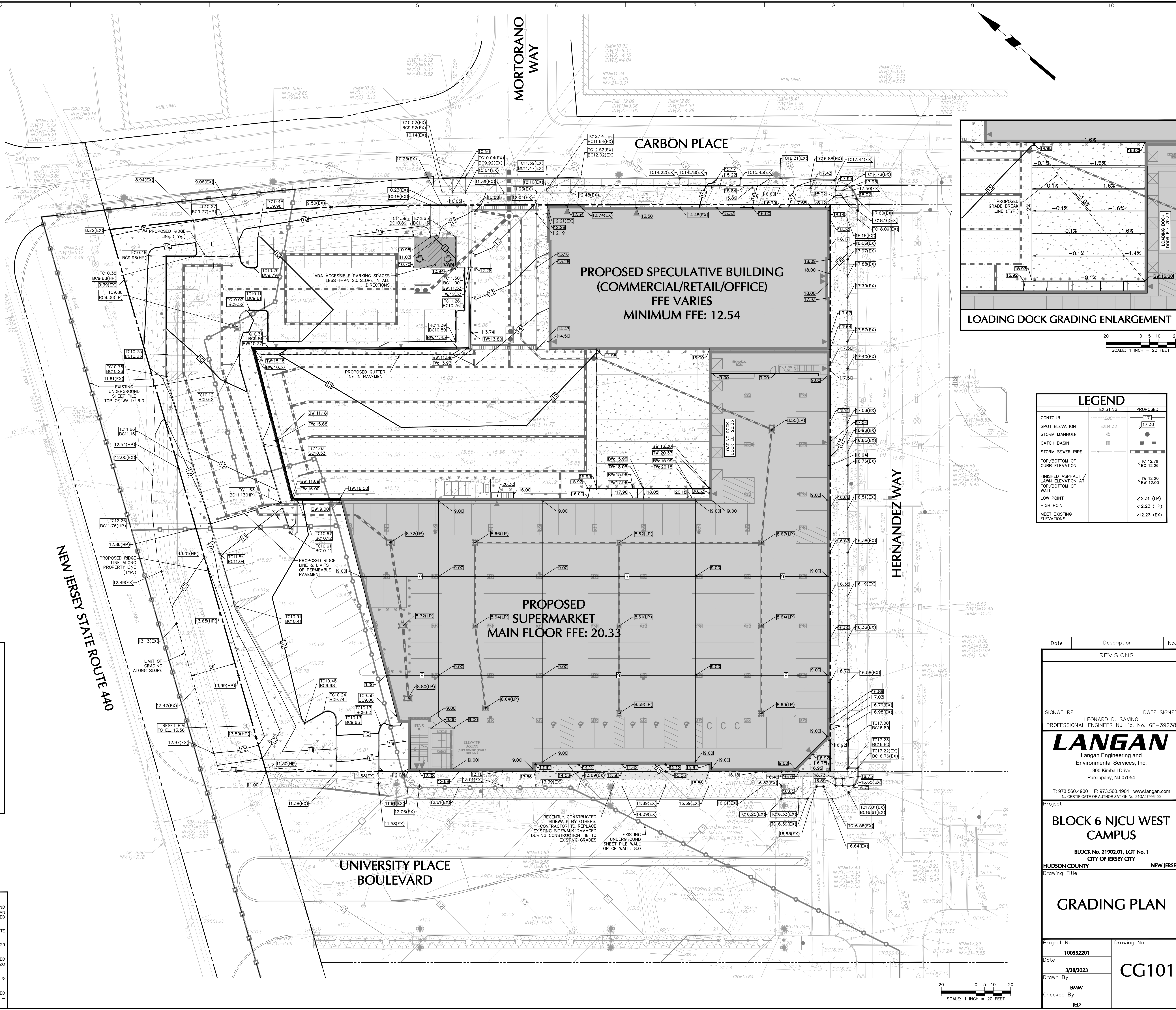
FILL AREA	% OF MAXIMUM MODIFIED PROCTOR DRY DENSITY
BUILDING FOOTINGS	95%
BUILDING FOOTPRINT PAVEMENT, SIDEWALKS, AND ROADWAYS	95%
LANDSCAPED AREAS	92%
TRENCH BACKFILL	95%
- PROTECT SUBGRADE FROM EXCESSIVE WHEEL LOADING DURING CONSTRUCTION. REMOVE CONCRETE TRUCKS AND DUMP TRUCKS.
- REMOVE AREAS OF FINISHED SUBGRADE FOUND TO BE UNSATISFACTORY BY OWNER'S ENGINEER AND REPLACE IN A MANNER THAT WILL COMPLY WITH COMPACTION REQUIREMENTS BY USE OF MATERIAL EQUAL TO OR BETTER THAN BEST SUBGRADE MATERIAL ON SITE. SURFACE OF SUBGRADE AFTER COMPACTION SHALL BE HARD, UNIFORM, SMOOTH, STABLE, AND TRUE TO GRADE, AND CROSS-SECTION AND SHALL NOT RUT OR WEAVE WHEN LOADED WITH A FULL DUMP TRUCK.
- STORMWATER PIPES CONFLICTING WITH THE PROPOSED SITE IMPROVEMENTS SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR.
- ALL CONCRETE DRAINAGE STRUCTURES SHALL BE PRECAST IN ACCORDANCE WITH NJDOT SPECIFICATIONS.
- ALL DRAINAGE STRUCTURES AND STORM SEWER PIPES SHALL MEET HEAVY DUTY TRAFFIC (H20) LOADING AND BE INSTALLED ACCORDINGLY.
- ALL DRAINAGE STRUCTURES SHALL HAVE NO SUMP AND PLACED ON 6 INCHES OF COURSE ASPHALT.
- CATCH BASIN AND MANHOLE STRUCTURES ARE NOT SHOWN TO SCALE.
- ALL PROPOSED STORM DRAINAGE TO BE INSTALLED UNDERGROUND UNLESS OTHERWISE NOTED.
- PIPE LENGTHS SHOWN REPRESENT PLANAR LENGTHS MEASURED FROM CENTER-OF-STRUCTURE TO CENTER-OF-STRUCTURE.
- PIPE INVERT ELEVATION AT A STRUCTURE REPRESENTS THE PIPE INVERT PROJECTED TO THE CENTER OF THAT STRUCTURE.
- PLAN AND PROFILE STRUCTURES ARE SYMBOLS THAT ARE PROVIDED FOR REFERENCE, AND ARE NOT TO BE USED AS THE BASIS FOR CONSTRUCTION. CONTRACTOR SHALL PROVIDE SHOP DRAWINGS OF ALL DRAINAGE, SANITARY, AND UTILITY STRUCTURES TO ENGINEER.
- HDPE PIPING SHALL CONFORM TO AASHTO M 294 AND IS TYPE S (SMOOTH INTERIOR WITH ANNUAL CORRUGATIONS) WITH GASKETED SLT-TIGHT JOINTS.
- ABBREVIATIONS:  
 BC = BOTTOM OF CURB ELEVATION  
 BW = FINISHED GRADE AT BOTTOM OF WALL  
 GR = GRATE ELEVATION  
 RM = RIM ELEVATION  
 TC = TOP OF CURB ELEVATION  
 TW = FINISHED GRADE AT TOP OF WALL

**GRADING NOTES:**

- PROPOSED SPOT ELEVATIONS WITHIN BUILDING FOOTPRINTS REPRESENT INTERIOR PARKING AREA ELEVATIONS BENEATH FIRST FLOOR.
- SPOT ELEVATIONS OUTSIDE OF BUILDING FOOTPRINTS REPRESENT EXTERIOR ELEVATIONS.
- EXISTING PERIMETER ELEVATIONS BASED ON NJCU PHASE 2 ROADWAY DESIGN DRAWINGS.

**REFERENCES:**

- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY - NEW JERSEY CITY UNIVERSITY WEST CAMPUS", PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC., DATED 26 NOVEMBER 2019, LAST REVISED 23 NOVEMBER 2021.
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**LEGEND**

	EXISTING	PROPOSED
CONTOUR	-200	[17]
SPOT ELEVATION	284.32	[17.30]
STORM MANHOLE	[Symbol]	[Symbol]
CATCH BASIN	[Symbol]	[Symbol]
STORM SEWER PIPE	[Symbol]	[Symbol]
TOP/BOTTOM OF CURB ELEVATION		TC 12.76 BC 12.28
FINISHED ASPHALT / LAWN ELEVATION AT TOP/BOTTOM OF WALL		TW 12.00 BW 12.00
LOW POINT		x12.31 (LP)
HIGH POINT		x12.23 (HP)
MEET EXISTING ELEVATIONS		x12.23 (EX)

Date	Description	No.
REVISIONS		

SIGNATURE: LEONARD D. SAVINO DATE SIGNED: \_\_\_\_\_  
 PROFESSIONAL ENGINEER NJ Lic. No. GE-39238

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 NJ CERTIFICATE OF AUTHORIZATION No. 24624796460

**BLOCK 6 NJCU WEST CAMPUS**  
 BLOCK No. 21902.01, LOT No. 1  
 CITY OF JERSEY CITY  
 HUDSON COUNTY NEW JERSEY

**GRADING PLAN**

Project No.	100552201
Date	3/28/2023
Drawn By	BMW
Checked By	JED
Drawing No.	CG101





**UTILITY NOTES**

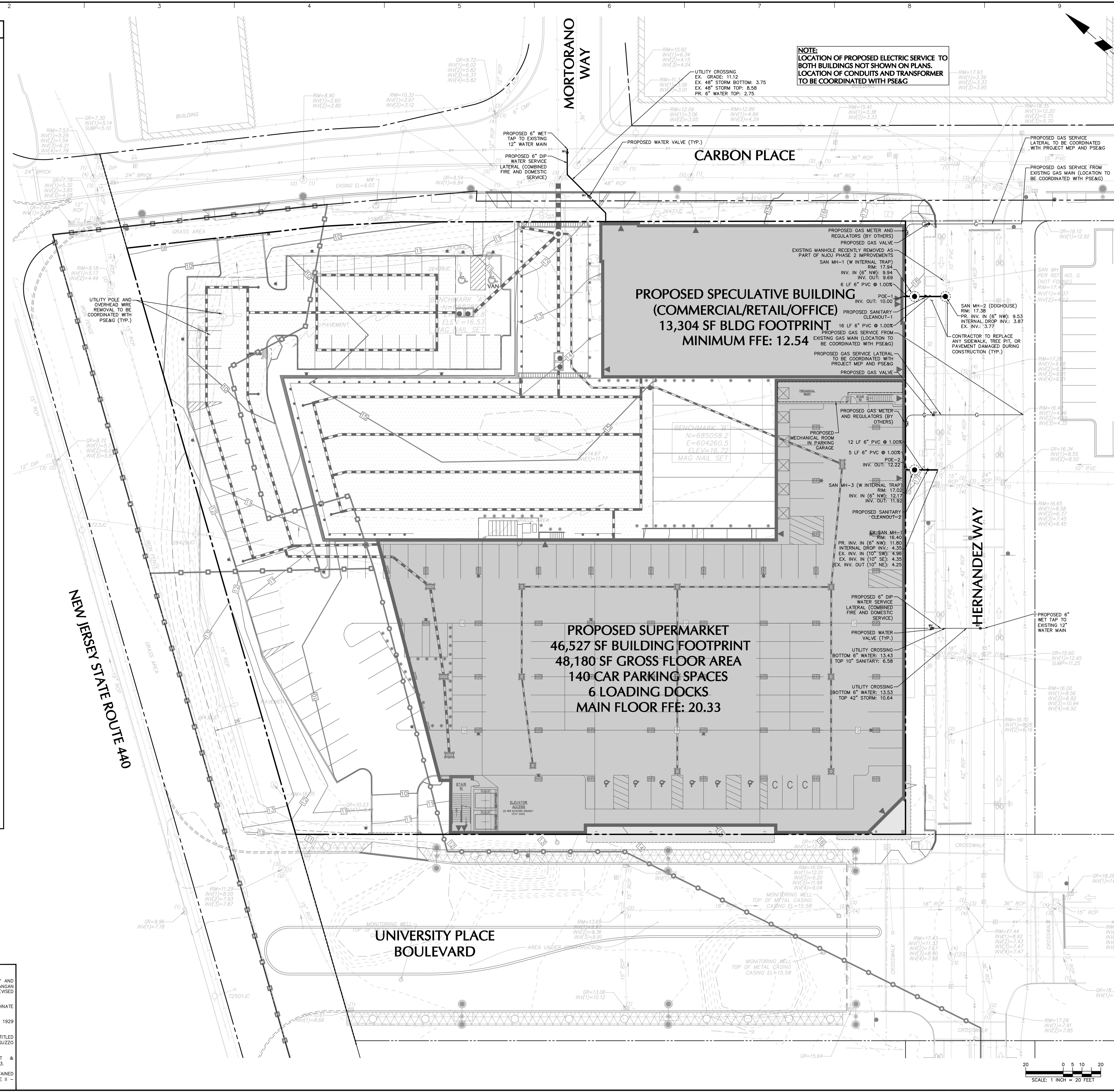
- SEE ARCHITECTURAL & MEP DRAWINGS FOR SERVICE LATERAL SIZING AND CONNECTION.
- ALL SITE UTILITY CONSTRUCTION SHALL BE COORDINATED WITH STORMWATER AND ROOF LEADER DRAINAGE CONSTRUCTION (REFER TO DRAWING C0102). RESOLUTION OF ANY POTENTIAL UTILITY CONFLICTS TO BE DETERMINED IN THE FIELD.
- ALL UTILITY CONSTRUCTION TO BE COORDINATED WITH THE APPROPRIATE UTILITY COMPANIES AND SHALL CONFORM WITH THEIR REQUIREMENTS.
- CONCRETE ENCASMENT WILL BE REQUIRED AT UTILITY CROSSINGS WHERE VERTICAL AND/OR HORIZONTAL SEPARATION DOES NOT MEET APPLICABLE STANDARDS.
- SANITARY AND WATER LATERALS SHALL HAVE A MINIMUM HORIZONTAL SPACING OF 10 FEET.
- IT IS SPECIFICALLY NOTED THAT INFORMATION RELATED TO ELEVATIONS AND PROPOSED UTILITIES SUCH AS ROADWAY GRADES, ROADWAY ELEVATIONS, RIM ELEVATIONS, GRADE ELEVATIONS, BUILDING FINISHED FLOOR ELEVATION, ETC. MAY BE FOUND IN MORE THAN ONE LOCATION ON THE DRAWINGS. CONTRACTOR SHALL SPECIFICALLY REVIEW ALL PLANS, PROFILES, AND ANY INFORMATION DATA TABLES FOR CONSISTENCY PRIOR TO CONSTRUCTION. ANY INCONSISTENCIES OR DISCREPANCIES THAT ARE FOUND SHALL IMMEDIATELY BE BROUGHT TO THE ATTENTION OF THE OWNER'S ENGINEER IN WRITING REQUESTING CLARIFICATION PRIOR TO CONSTRUCTION.
- SITE DISTURBANCE SHALL NOT PROCEED UNTIL EROSION CONTROL MEASURES HAVE BEEN INSTALLED AND ALL GOVERNING AGENCIES HAVE BEEN NOTIFIED BY THE CONTRACTOR.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES AS SHOWN ON THESE PLANS IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED ON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL NEW JERSEY ONE-CALL AND THE APPROPRIATE UTILITY COMPANIES TO REQUEST EXACT FIELD-LOCATION OF UTILITIES. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES WHICH CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THE PLANS IN A MANNER WHICH WILL NOT NEGATIVELY AFFECT ANY EXISTING USERS OF THESE UTILITIES.
- THE CONTRACTOR SHALL FIELD-VERIFY ALL EXISTING CONDITIONS, UTILITY LOCATIONS, AND INVERTS PRIOR TO CONSTRUCTION. ANY CONDITIONS FOUND TO DIFFER FROM THOSE SHOWN ON THE DRAWINGS SHALL BE IMMEDIATELY BROUGHT TO THE ATTENTION OF THE ENGINEER.
- CONTRACTOR SHALL REFER TO ARCHITECTURAL & MEP PLANS AND SPECIFICATIONS FOR ACTUAL LOCATIONS OF ALL UTILITY ENTRY POINTS, INCLUDING SANITARY SEWER LATERALS, DOMESTIC WATER, AND FIRE PROTECTION WATER SERVICE, ROOF LEADERS, ELECTRICAL, TELEPHONE, AND GAS SERVICE. CONTRACTOR SHALL COORDINATE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO AVOID CONFLICTS AND ASSURE PROPER DEPTHS ARE ACHIEVED AS WELL AS COORDINATING WITH THE REGULATORY AGENCY AS TO LOCATION AND SCHEDULING OF CONNECTIONS TO THEIR FACILITIES.
- ALL REQUIRED UTILITIES SERVING THE BUILDINGS SHALL BE COORDINATED AND CONSTRUCTED TO WITHIN FIVE FEET OF EACH BUILDING UTILITY ENTRANCE AND FLAGGED AND MARKED UNLESS OTHERWISE NOTED. ANY NECESSARY EXTENSIONS, RELOCATIONS, OR CORRECTIONS WITHIN FIVE FEET OF THE BUILDING NECESSARY TO COMPLETE CONNECTION OF UTILITIES TO THE BUILDINGS SHALL BE MADE BY THE BUILDING CONTRACTOR. THE BUILDING CONTRACTOR SHALL MAKE THE FINAL CONNECTION BETWEEN THE BUILDING SYSTEMS AND THE SITE LATERALS.
- THE CONTRACTOR MUST NOTIFY THE CITY OF JERSEY CITY A MINIMUM OF 72 HOURS PRIOR TO CONSTRUCTION, UNLESS FURTHER ADVANCE NOTICE IS REQUIRED BY THE CITY.
- ALL ON-SITE UTILITIES SHALL BE UNDERGROUND UNLESS NOTED OTHERWISE.
- ALL ABANDONED UTILITY LINES AND STRUCTURES SHALL BE COMPLETELY REMOVED AND CAPPED/PLUGGED AT THE MAIN IN ACCORDANCE WITH THE UTILITY COMPANY OR LOCAL AUTHORITY REQUIREMENTS.
- TRENCH DEPTH REQUIREMENTS MEASURED FROM FINISHED GRADE OR PAVED SURFACE SHALL MEET THE FOLLOWING REQUIREMENTS WHEN NOT SPECIFIED BY GOVERNING CODES, ORDINANCES, OR AUTHORITIES.
  - A. WATER MAINS: 48 INCHES TO TOP OF PIPE BARREL OR 6 INCHES BELOW THE FROST LINE (ESTABLISHED BY THE LOCAL BUILDING OFFICIAL OR WATER COMPANY).
  - B. SANITARY SEWERS: DEPTHS, ELEVATIONS, AND GRADES AS INDICATED ON DRAWINGS.
  - C. ELECTRICAL CONDUITS: 24 INCHES MINIMUM TO TOP OF CONDUIT OR AS SPECIFIED BY THE UTILITY COMPANY REQUIREMENTS.
  - D. TV CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
  - E. TELEPHONE CONDUITS: 18 INCHES MINIMUM TO TOP OF CONDUIT OR AS REQUIRED BY THE UTILITY COMPANY.
  - F. GAS MAINS AND SERVICE: 30 INCHES MINIMUM TO TOP OF PIPE, OR AS REQUIRED BY THE UTILITY COMPANY.

- WATER UTILITY NOTES:**
- ALL WATER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL GOVERNING AUTHORITY.
  - ALL EXISTING WATER LATERALS WITHIN THE SITE FROM FORMER BUILDINGS SHALL BE TERMINATED AT THE MAIN AND CURB SHUT-OFFS SHALL BE REMOVED. EXISTING WATER SERVICE LINES SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR SHALL NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY WATER LINE.
  - THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING WATER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
  - ALL WATER MAINS SHALL BE CLASS 52, CEMENT-LINED DUCTILE IRON PIPE WITH RUBBER RING JOINT BELL AND SPIGOT TYPE.
  - ALL FITTINGS UP TO AND INCLUDING 12-INCH DIAMETER SHALL BE RATED FOR 250 PSI OR GREATER.
  - THE MINIMUM HORIZONTAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER MAIN IS TEN FEET (10'). THE MINIMUM VERTICAL SEPARATION BETWEEN THE CLOSEST TWO POINTS OF THE WATER AND SEWER LINE IS EIGHTEEN INCHES (18'). CONCRETE PIPE ENCASMENTS WILL BE REQUIRED WHERE THE MINIMUM SEPARATION CANNOT BE ACHIEVED. LATERAL SEPARATION SHALL BE AS REQUIRED BY LOCAL CODE.
  - THROUGH BLOCKS SHALL BE PROVIDED AT ALL BENDS, TEES, ELBOWS, PLUGS, AND FIRE HYDRANTS.
  - ALL FIRE HYDRANTS SHALL BE PROVIDED WITH AN APPROVED GATE VALVE A MAXIMUM OF 5'-0" FROM HYDRANT, AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - ALL GATE VALVES SHALL OPEN BY TURNING IN A COUNTERCLOCKWISE DIRECTION AND SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - ALL TRENCHING, PIPE LAYING, AND BACKFILLING SHALL BE IN ACCORDANCE WITH FEDERAL OSHA REGULATIONS.
  - BACKFLOW PREVENTION DEVICES FOR DOMESTIC AND FIRE SERVICE CONNECTIONS SHALL CONFORM TO THE REQUIREMENTS OF THE LOCAL AUTHORITY.
  - ALL NEW WATER LINES SHALL BE PRESSURE TESTED AND LEAKAGE TESTED IN ACCORDANCE WITH THE LATEST EDITION OF AWWA STANDARD C600, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
  - ALL NEW WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651, OR LOCAL REQUIREMENTS, WHICHEVER IS MORE RESTRICTIVE.
  - CONTRACTOR SHALL NOTIFY THE APPROPRIATE GOVERNING AUTHORITY AT LEAST 48 HOURS PRIOR TO WET TAP INSTALLATION.
  - CONTRACTOR SHALL REFER TO SPECIFICATION SECTION 331000 (WATER DISTRIBUTION SYSTEM) FOR ADDITIONAL CONSTRUCTION INFORMATION PERTAINING TO FIRE WATER SERVICE LINES AND APPURTENANCES.

- SANITARY SEWER UTILITY NOTES:**
- ALL SEWER CONSTRUCTION SHALL BE COMPLETED IN ACCORDANCE WITH THE LOCAL AUTHORITY.
  - WITH THE EXCEPTION OF THE TIE-IN SEWER, EXISTING ON-SITE SANITARY SEWER LINES SERVING THE SITE SHALL BE PHYSICALLY REMOVED UNLESS NOTED OTHERWISE. CONTRACTOR TO NOTIFY OWNER'S ENGINEER PRIOR TO REMOVAL OF ANY SEWER PIPE.
  - THE CONTRACTOR MUST VERIFY THE LOCATION, SIZE, AND SERVICEABILITY OF THE EXISTING SANITARY SEWER MAINS PRIOR TO BEGINNING ANY SITE OR BUILDING CONSTRUCTION.
  - THE SEWER CONTRACTOR SHALL CONSTRUCT THE SANITARY SEWER LINES TO WITHIN 5 FEET OF THE PROPOSED BUILDING LIMITS WHERE THE LINE SHALL BE PLUGGED AND MARKED.
  - ALL MATERIALS USED AND ALL CONSTRUCTION METHODS EMPLOYED SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE STANDARD SPECIFICATIONS FOR THE GOVERNING LOCAL MUNICIPAL UTILITY AUTHORITY.
  - WHERE LESS THAN 18" OF VERTICAL AND 10' HORIZONTAL CLEARANCE IS PROVIDED BETWEEN THE SANITARY SEWER AND OTHER UTILITIES, THE SEWER SHALL BE ENCASED IN 6 INCHES OF 4000 PSI CONCRETE ON ALL FOUR SIDES AND SHALL EXTEND 10 FEET BEYOND CROSSING IN BOTH DIRECTIONS. DUCTILE IRON PIPE MAY BE UTILIZED IN PLACE OF CONCRETE ENCASMENT PER NAD 7.1.4.23.8.4.
  - WHEN SANITARY LATERALS TIE DIRECTLY INTO MANHOLES, AN APPROPRIATE OPENING WITH AN "A-LOK" OR APPROVED EQUAL JOINT SHALL BE PRECAST IN THE MANHOLE BASE. ALL MAINS SHALL BE TESTED FOR LEAKAGE IN ACCORDANCE WITH THE LOW PRESSURE AIR TEST METHOD OR AS OTHERWISE SPECIFIED BY LOCAL AUTHORITY OR PROJECT SPECIFICATIONS.

- ELECTRIC, TELEPHONE, AND GAS UTILITY NOTES:**
- ELECTRIC, TELEPHONE AND GAS LOCATIONS SHOWN ON PLAN ARE PRELIMINARY. CONTRACTOR SHALL COORDINATE FINAL LOCATION WITH UTILITY COMPANY AND SHALL INFORM THE OWNER'S ENGINEER OF THE FINAL LOCATION PRIOR TO CONSTRUCTION.
  - CONTRACTOR TO COORDINATE GAS MAIN, ELECTRIC, AND TELEPHONE INSTALLATION WITH APPROPRIATE UTILITY COMPANIES.
  - ALL GAS WORK AND OTHER ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.
  - ALL ELECTRICAL WORK, TRANSFORMER PAD, AND ASSOCIATED APPURTENANCES SHALL BE IN CONFORMANCE WITH APPLICABLE LOCAL COUNTY, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.

- REFERENCES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION OBTAINED FROM A PLAN TITLED "BOUNDARY AND TOPOGRAPHIC SURVEY - NEW JERSEY CITY UNIVERSITY WEST CAMPUS", PREPARED BY LANGAN ENGINEERING AND ENVIRONMENTAL SERVICES, INC., DATED 26 NOVEMBER 2019, LAST REVISED 23 NOVEMBER 2021.
  - THE MERIDIAN OF THE SURVEY IS REFERENCED TO THE NEW JERSEY STATE PLANE COORDINATE SYSTEM NAD 83.
  - ELEVATIONS ARE REFERENCED TO THE NATIONAL GEODETIC VERTICAL DATUM OF 1929 (NGVD29). TO CONVERT FROM NGVD29 TO NAVD83, SUBTRACT 1.125 FEET.
  - PROPOSED SUPERMARKET BUILDING FOOTPRINT OBTAINED FROM A CAD FILE TITLED "NJCU-MARKET & RETAIL\_BACKGROUND" PROVIDED ELECTRONICALLY BY GUZZO + GUZZO ARCHITECTS ON 28 FEBRUARY 2023.
  - PROPOSED SPEC BUILDING OBTAINED FROM A PLAN TITLED "NJCU-MARKET & RETAIL\_BACKGROUND" PREPARED BY GUZZO + GUZZO ARCHITECTS ON 28 FEBRUARY 2023.
  - PROPOSED CARBON PLACE AND UNIVERSITY PLACE BOULEVARD ROADWAY LAYOUT OBTAINED FROM PLANS TITLED "NEW JERSEY CITY UNIVERSITY WEST CAMPUS REDEVELOPMENT PHASE II - ROADWAY INFRASTRUCTURE" DATED 26 AUGUST 2016, LAST REVISED 14 APRIL 2022.



**NOTE:**  
LOCATION OF PROPOSED ELECTRIC SERVICE TO BOTH BUILDINGS NOT SHOWN ON PLANS.  
LOCATION OF CONDUITS AND TRANSFORMER TO BE COORDINATED WITH PSE&G

**PROPOSED SPECULATIVE BUILDING**  
(COMMERCIAL/RETAIL/OFFICE)  
13,304 SF BLDG FOOTPRINT  
MINIMUM FFE: 12.54

**PROPOSED SUPERMARKET**  
46,527 SF BUILDING FOOTPRINT  
48,180 SF GROSS FLOOR AREA  
140 CAR PARKING SPACES  
6 LOADING DOCKS  
MAIN FLOOR FFE: 20.33

**LEGEND**

	EXISTING	PROPOSED
PROPERTY LINE	---	---
WATER LINE	---	---
WATER VALVE	⊕	⊕
FIRE HYDRANT	⊕	⊕
SANITARY SEWER	---	---
SANITARY MANHOLE	⊕	⊕
TELECOM LINE	---	---
UNDERGROUND ELECTRIC LINE	---	---
GAS LINE	---	---
GAS VALVE	⊕	⊕

**REVISIONS**

Date	Description	No.

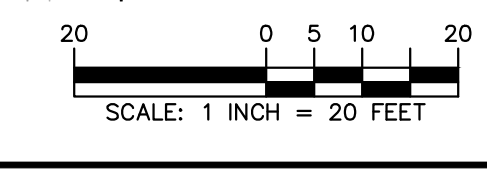
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PROFESSIONAL ENGINEER NJ Lic. No. GE-39238

**LANGAN**  
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300 Kimball Drive  
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NJ CERTIFICATE OF AUTHORIZATION No. 24624796460

Project: **BLOCK 6 NJCU WEST CAMPUS**  
BLOCK No. 21902.01, LOT No. 1  
CITY OF JERSEY CITY  
HUDSON COUNTY NEW JERSEY  
Drawing Title:

**UTILITY PLAN**

Project No. 100552201 Drawing No. CU101  
Date: 3/28/2023  
Drawn By: BMW  
Checked By: JED



**SOIL EROSION AND SEDIMENT CONTROL NOTES**

- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES ON THIS PLAN WILL BE CONSTRUCTED IN ACCORDANCE WITH THE "NEW JERSEY STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL," 7TH EDITION LAST REVISED DECEMBER 2017. THESE MEASURES WILL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCE OR IN THEIR PROPER SEQUENCE AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL SOIL TO BE EXPOSED OR STOCKPILED FOR A PERIOD OF GREATER THAN 14 DAYS, AND NOT UNDER ACTIVE CONSTRUCTION, WILL BE TEMPORARILY SEEDED OR OTHERWISE PROVIDED WITH VEGETATIVE COVER. THIS TEMPORARY COVER SHALL BE MAINTAINED UNTIL SUCH TIME WHEREBY PERMANENT RESTABILIZATION IS ESTABLISHED.
- SEEDING DATES: THE FOLLOWING SEEDING DATES ARE RECOMMENDED TO BEST ESTABLISH PERMANENT VEGETATIVE COVER WITHIN MOST LOCATIONS IN THE HEPSCD: SPRING - 3/1-5/15 AND FALL - 8/15-10/1.
- SEDIMENT FENCES ARE TO BE PROPERLY TRENCHED AND MAINTAINED UNTIL PERMANENT VEGETATIVE COVER IS ESTABLISHED.
- ALL STORM DRAINAGE INLETS SHALL BE PROTECTED BY ONE OF THE PRACTICES ACCEPTED IN THE STANDARDS, AND PROTECTION SHALL REMAIN UNTIL PERMANENT STABILIZATION HAS BEEN ESTABLISHED. STORM DRAINAGE OUTLET POINTS SHALL BE PROTECTED AS REQUIRED BEFORE THEY BECOME FUNCTIONAL.
- MULCH MATERIALS SHALL BE UN-ROTTED SMALL GRAIN STRAW APPLIED AT THE RATE OF 70 TO 90 POUNDS PER 1,000 SQUARE FEET AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATIVE DISTRICT.
- ALL EROSION CONTROL DEVICES SHALL BE PERIODICALLY INSPECTED, MAINTAINED AND CORRECTED BY THE CONTRACTOR. ANY DAMAGE INCURRED BY EROSION SHALL BE RECTIFIED IMMEDIATELY.
- THE HUDSON-ESSEX PASSAIC SOIL CONSERVATIVE DISTRICT WILL BE NOTIFIED IN WRITING AT LEAST 48 HOURS PRIOR TO ANY SOIL DISTURBING ACTIVITIES. FAX - (862) 333-4507 OR EMAIL - INFORMATION@HEPSCD.ORG
- THE APPLICANT MUST OBTAIN A DISTRICT ISSUED REPORT-OF-COMPLIANCE PRIOR TO APPLYING FOR THE CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY FROM THE RESPECTIVE MUNICIPALITY, N.J.DCA OR ANY OTHER CONTROLLING AGENCY. CONTACT THE DISTRICT AT 862-333-4505 TO REQUEST A FINAL INSPECTION. GIVING ADVANCED NOTICE UPON COMPLETION OF THE RESTABILIZATION MEASURES. A PERFORMANCE DEPOSIT MAY BE POSTED WITH THE DISTRICT WHEN WINTER WEATHER OR SNOW COVER PROHIBITS THE PROPER APPLICATION OF SEED, MULCH, FERTILIZER OR HYDRO-SEED.
- PAVED ROADWAYS MUST BE KEPT CLEAN AT ALL TIMES. DO NOT UTILIZE A FIRE OR GARDEN HOSE TO CLEAN ROADS UNLESS THE RUNOFF IS DIRECTED TO A PROPERLY DESIGNED AND FUNCTIONING SEDIMENT BASIN. WATER PUMPED OUT OF THE EXCAVATED AREA CONTAINS SEDIMENTS THAT MUST BE REMOVED PRIOR TO DISCHARGING TO RECEIVING BODIES OF WATER USING REMOVABLE PUMPING STATIONS, SUMP PITS, PORTABLE SEDIMENTATION TANKS AND/OR SILT CONTROL BAGS.
- ALL SURFACES HAVING LAWN OR LANDSCAPING AS FINAL COVER ARE TO BE PROVIDED TOPSOIL PRIOR TO RE-SEEDING, SODDING, OR PLANTING. A DEPTH OF 5 INCHES, FIRMED IN PLACE, IS REQUIRED, AS PER THE STANDARDS FOR TOPSOILING AND LAND GRADING, LAST REVISED DECEMBER 2017.
- ALL PLAN REVISIONS MUST BE SUBMITTED TO THE DISTRICT FOR PROPER REVIEW AND APPROVAL.
- A CRUSHED STONE WHEEL CLEANING TRACKING-PAD IS TO BE INSTALLED AT ALL SITE EXITS USING 2 1/2" CRUSHED ANGULAR STONE (ASTM 2 OR 3) TO A MINIMUM LENGTH OF 50 FEET AND MINIMUM DEPTH OF 6". ALL DRIVEWAYS MUST BE PROVIDED WITH CRUSHED STONE UNTIL PAVING IS COMPLETE.
- STEEP SLOPES INCURRING DISTURBANCE MAY REQUIRE ADDITIONAL STABILIZATION MEASURES. THESE "SPECIAL" MEASURES SHALL BE DESIGNED BY THE APPLICANT'S ENGINEER AND BE APPROVED BY THE SOIL CONSERVATIVE DISTRICT.
- THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATIVE DISTRICT SHALL BE NOTIFIED IN WRITING FOR THE SALE OF ANY PORTION OF THE PROJECT OR FOR THE SALE OF INDIVIDUAL LOTS. NEW OWNER'S INFORMATION SHALL BE PROVIDED. ADDITIONAL MEASURES DEEMED NECESSARY BY DISTRICT OFFICIALS SHALL BE IMPLEMENTED AS CONDITIONS WARRANT.

**CONSTRUCTION NOTES**

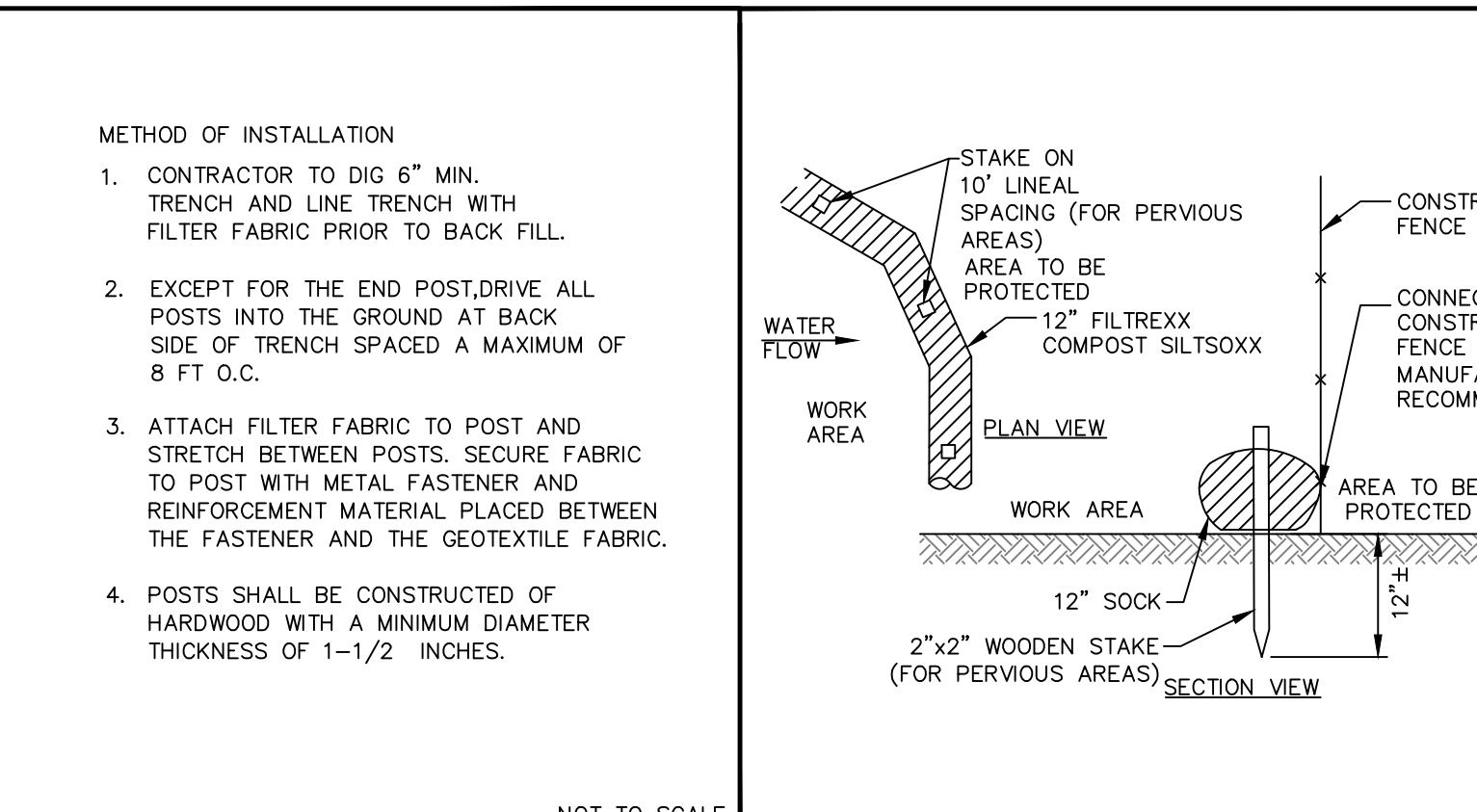
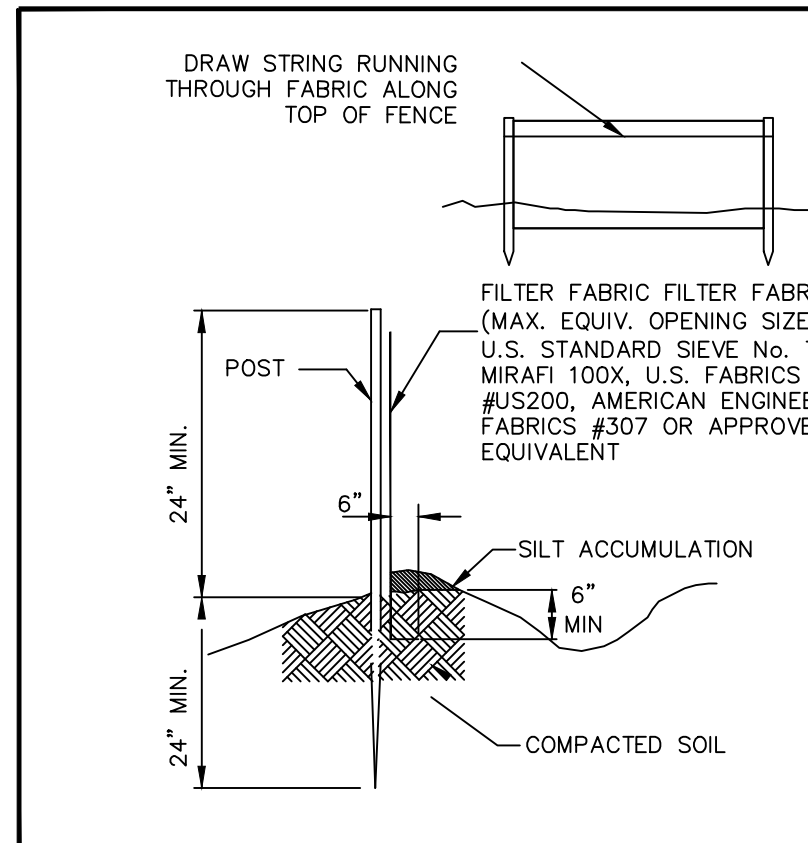
- CONTRACTOR TO COORDINATE STAGING AREAS, TRAILER LOCATION AND TEMPORARY STOCKPILE LOCATIONS WITH OWNER.
- VEHICLE WASH DOWN PADS TO BE PROVIDED THROUGHOUT THE DURATION OF THE PROJECT.
- INLET SEDIMENT PROTECTION REQUIREMENTS SHALL NOT BE LIMITED TO STRUCTURES LOCATED WITHIN THE PHASE LIMITS OF WORK. ANY AND ALL INLETS WHICH COULD BE AFFECTED BY RUNOFF SHALL BE PROTECTED.
- CONTRACTOR MAY ELECT TO PROVIDE HAY BALES OR ALTERNATIVE MEANS OF INLET SEDIMENT PROTECTION TO EXISTING INLETS. ALL ALTERNATIVES MUST BE APPROVED BY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT AND SHALL CONFORM TO THE REQUIREMENTS OF THE NJ STANDARDS FOR S.E.S.C., LATEST REVISED EDITION. APPROVAL AND APPROVAL TO BE PROVIDED TO THE OWNER AND OWNER'S REPRESENTATIVE.
- CONTRACTOR SHALL ALSO OBTAIN A SIDEWALK OCCUPANCY PERMIT FROM THE CITY OF JERSEY CITY, AS REQUIRED.

**SEQUENCE OF CONSTRUCTION**

- NOTIFY THE HUDSON-ESSEX-PASSAIC SOIL CONSERVATION DISTRICT (H.E.P.S.C.D.) AT LEAST 72 HOURS PRIOR TO ANY SITE DISTURBANCES.
- EQUIP ALL EXISTING CATCH BASINS WITH INLET SEDIMENT PROTECTION IMMEDIATELY UPON START OF CONSTRUCTION.
- CLEAR AND GRUB AREAS CONTAINING VEGETATION AS REQUIRED TO COMMENCE CONSTRUCTION.
- REMOVE EXISTING SITE IMPROVEMENTS.
- BEGIN AND CONTINUE BUILDING CONSTRUCTION.
- COMPLETE CONSTRUCTION OF ROUGH GRADING, STORM DRAINAGE, AND UTILITY IMPROVEMENTS.
- AFTER STORM DRAINAGE SYSTEM AND CATCH BASINS ARE CONSTRUCTED PLACE INLET SEDIMENT PROTECTION ON EACH CATCH BASIN WHICH SHALL REMAIN UNTIL THE SITE IS PAVED. REPLACE AS NECESSARY.
- BEGIN AND CONTINUE ROADWAY CONSTRUCTION.
- COMPLETE FINAL SITE GRADING, CURBING AND PAVING.
- ALL SEDIMENT CONTROL MEASURES SHALL BE MAINTAINED UNTIL ALL PERMANENT IMPROVEMENTS TO THE SITE ARE COMPLETE AND THE ROADS AND PARKING AREAS ARE PAVED.
- CLEAN ALL SITE DRAINAGE STRUCTURES AND PIPES OF SILT AND DEBRIS. DOWNSTREAM/OFF-SITE DRAINAGE FACILITIES SHALL BE INSPECTED AND CLEANED OF SILT AND DEBRIS RESULTING FROM SITE CONSTRUCTION PRIOR TO FINAL TURNOVER.
- NOTIFY THE H.E.P.S.C.D. AT COMPLETION OF CONSTRUCTION.

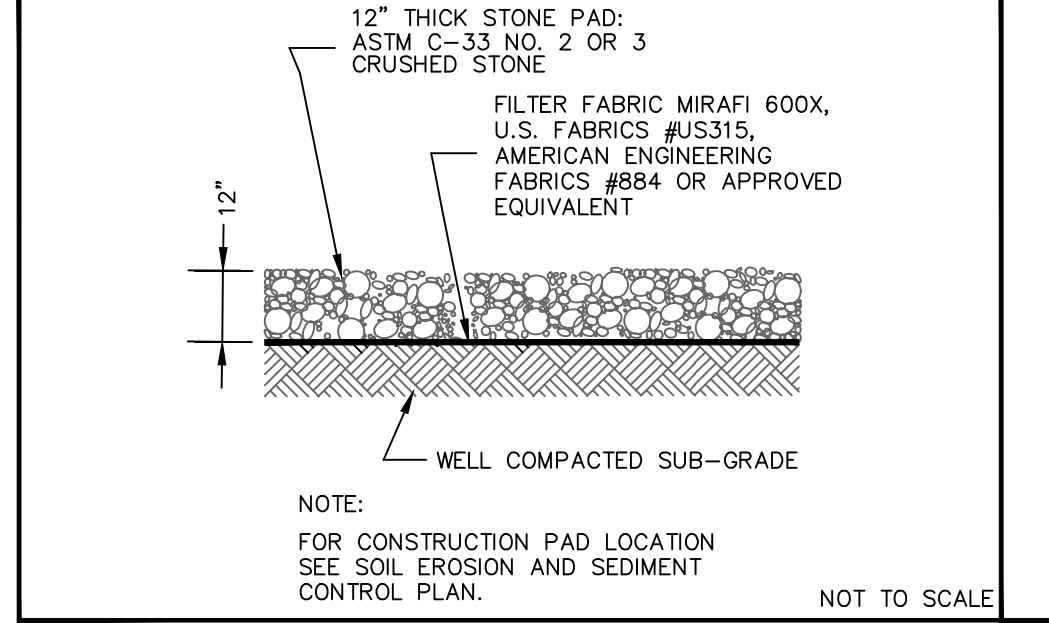
- NOTES:**
- THE SITE IS PREVIOUSLY DEVELOPED AND IS LOCATED WITHIN THE METROPOLITAN PLANNING AREA (PA1) PER THE STATE PLAN POLICY MAP AND IS CATEGORIZED AS "URBAN REDEVELOPMENT AREA". THE AREA WITHIN THE PROJECT LIMITS ALSO DOES NOT CONTAIN AREAS OF WOODY VEGETATION. PER SECTION 19-2 ITEM 6 OF THE STANDARDS FOR LAND GRADING LAST REVISED JULY 2017, THE PROJECT IS EXEMPT FROM SOIL DE-COMPACTION REQUIREMENTS.
  - CONTRACTOR TO PROVIDE INLET PROTECTION ON ALL INLETS WITHIN VICINITY OF PROJECT SITE, INCLUDING RECENTLY CONSTRUCTED INLETS NOT SHOWN ON THIS DRAWING.

- REFERENCES:**
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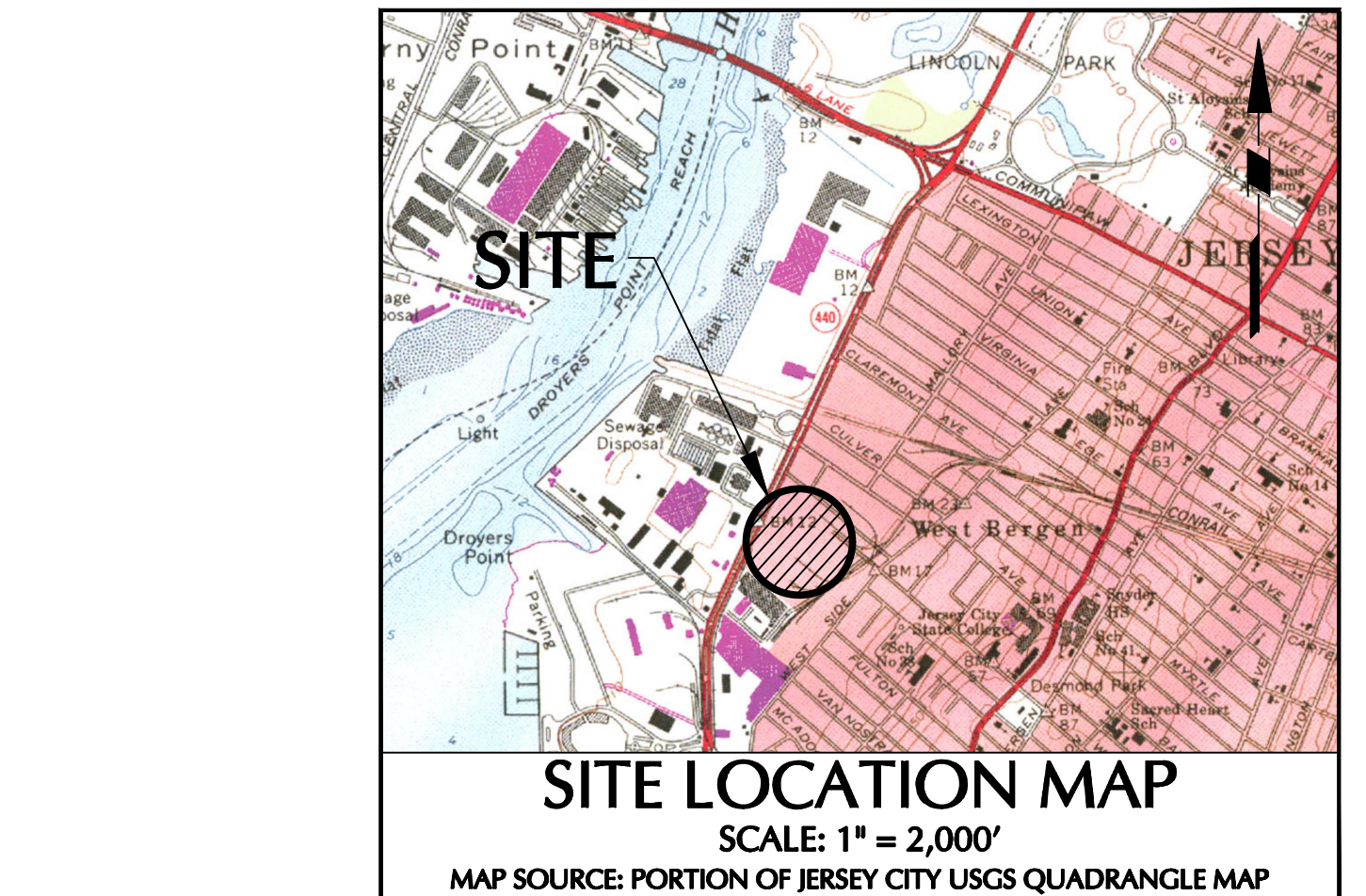
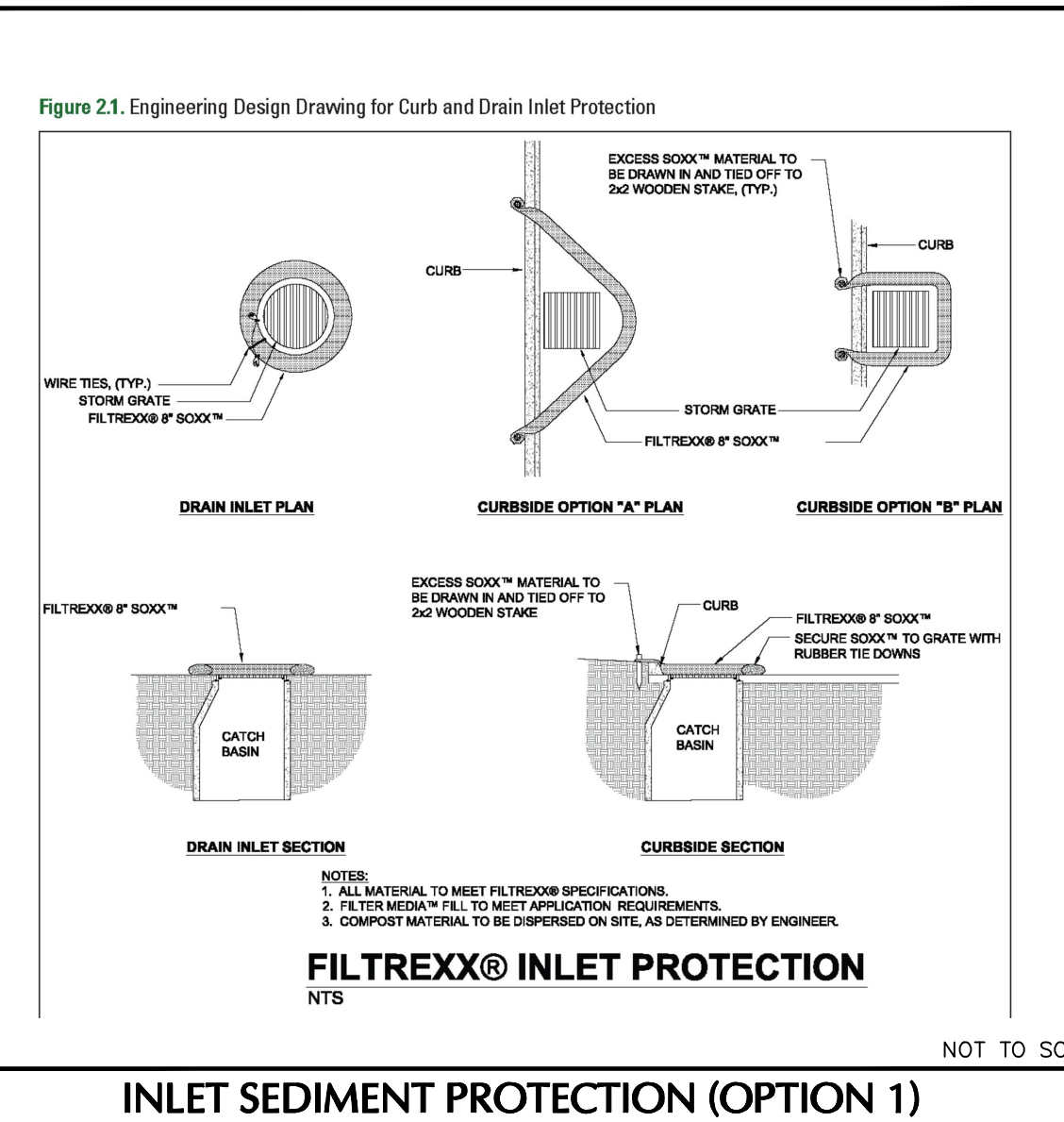
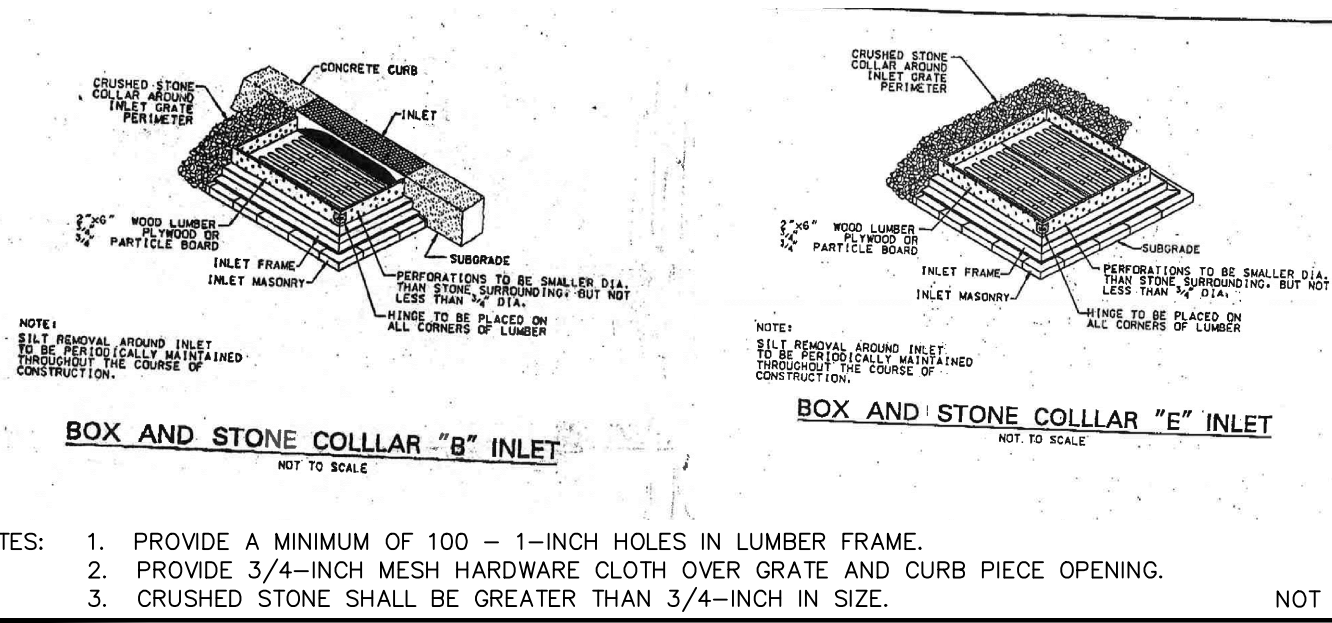


- NOTES:**
- COMPOST FILTER SOCK SHALL BE PLACED AT EXISTING LEVEL GRADE. BOTH ENDS OF THE SOCK SHALL BE EXTENDED AT LEAST 8 FEET UP SLOPE AT 45 DEGREES TO THE MAIN SOCK ALIGNMENT. MAXIMUM SLOPE LENGTH ABOVE ANY SOCK SHALL NOT EXCEED DESIGN GUIDELINES.
  - FOR PERVIOUS AREA INSTALLATIONS, STAKES SHALL BE INSTALLED THROUGH THE MIDDLE OF THE SEDIMENT CONTROL ON 10 FT CENTERS. IN THE EVENT STAKING IS NOT POSSIBLE, SUCH AS WHEN SEDIMENT CONTROL IS USED ON PAVEMENT, HEAVY CONCRETE BLOCKS SHALL BE USED BEHIND THE SEDIMENT CONTROL TO HELP STABILIZE DURING RAINFALL/RUNOFF EVENTS.
  - TRAFFIC SHALL NOT BE PERMITTED TO CROSS FILTER SOCKS.
  - ACCUMULATED SEDIMENT SHALL BE REMOVED WHEN IT REACHES 1/2 THE ABOVE-GROUND HEIGHT OF THE SOCK AND DISPOSED IN THE MANNER DESCRIBED ELSEWHERE IN THE PLAN.
  - SOCKS SHALL BE INSPECTED WEEKLY AND AFTER EACH RUNOFF EVENT. DAMAGED SOCKS SHALL BE REPAIRED ACCORDING TO MANUFACTURER'S SPECIFICATIONS OR REPLACED WITHIN 24 HOURS OF INSPECTION.
  - IN IMPERVIOUS AREAS, SILT SOCK TO BE PLACED AGAINST FENCE AND SECURED WITH CONCRETE BLOCKS OR SAND BAGS PLACED 10 FEET ON CENTER.
  - DETAIL PROVIDED BY FILTERREXX.

**SILT FENCE IN PERVIOUS AREAS**

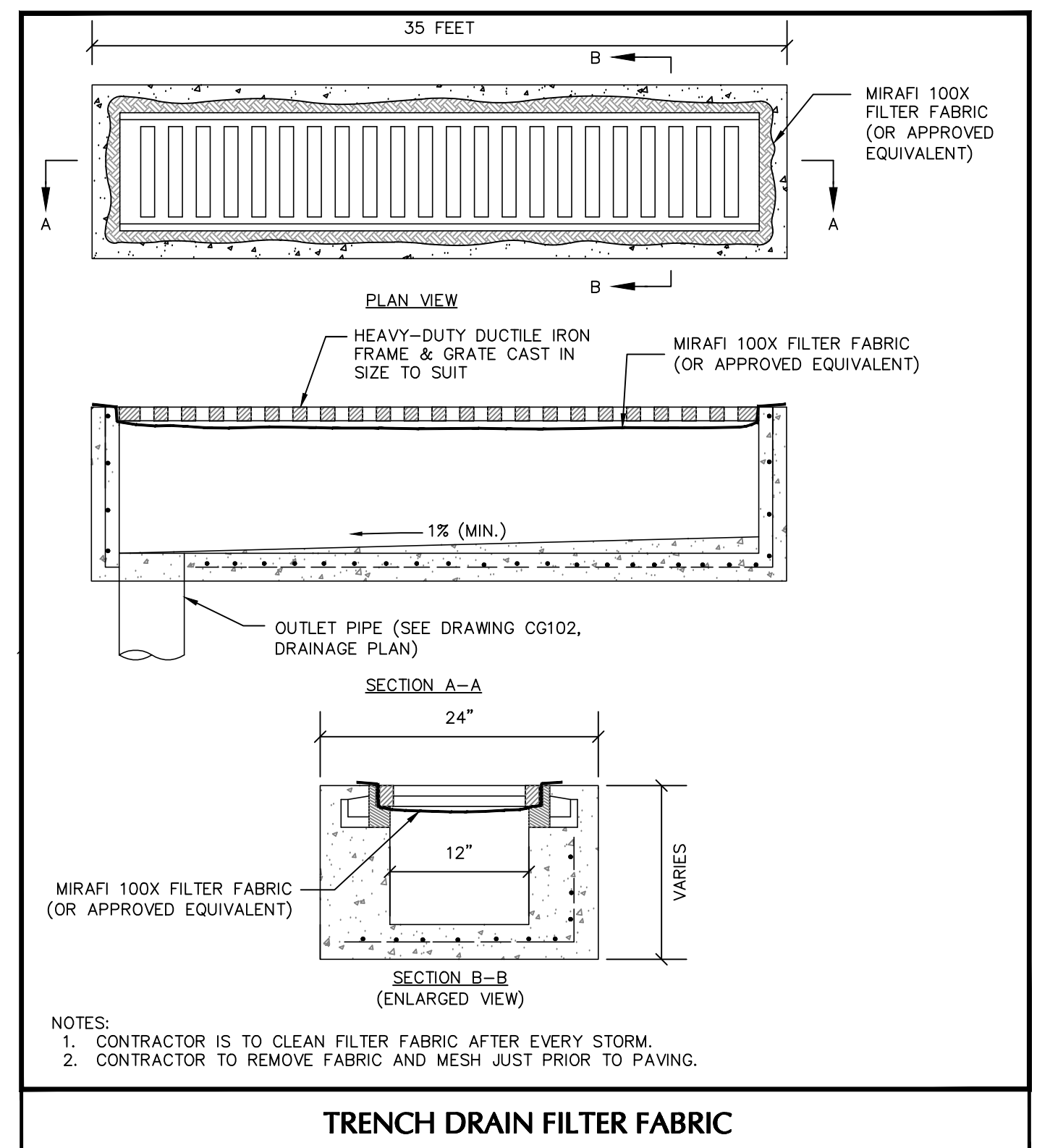
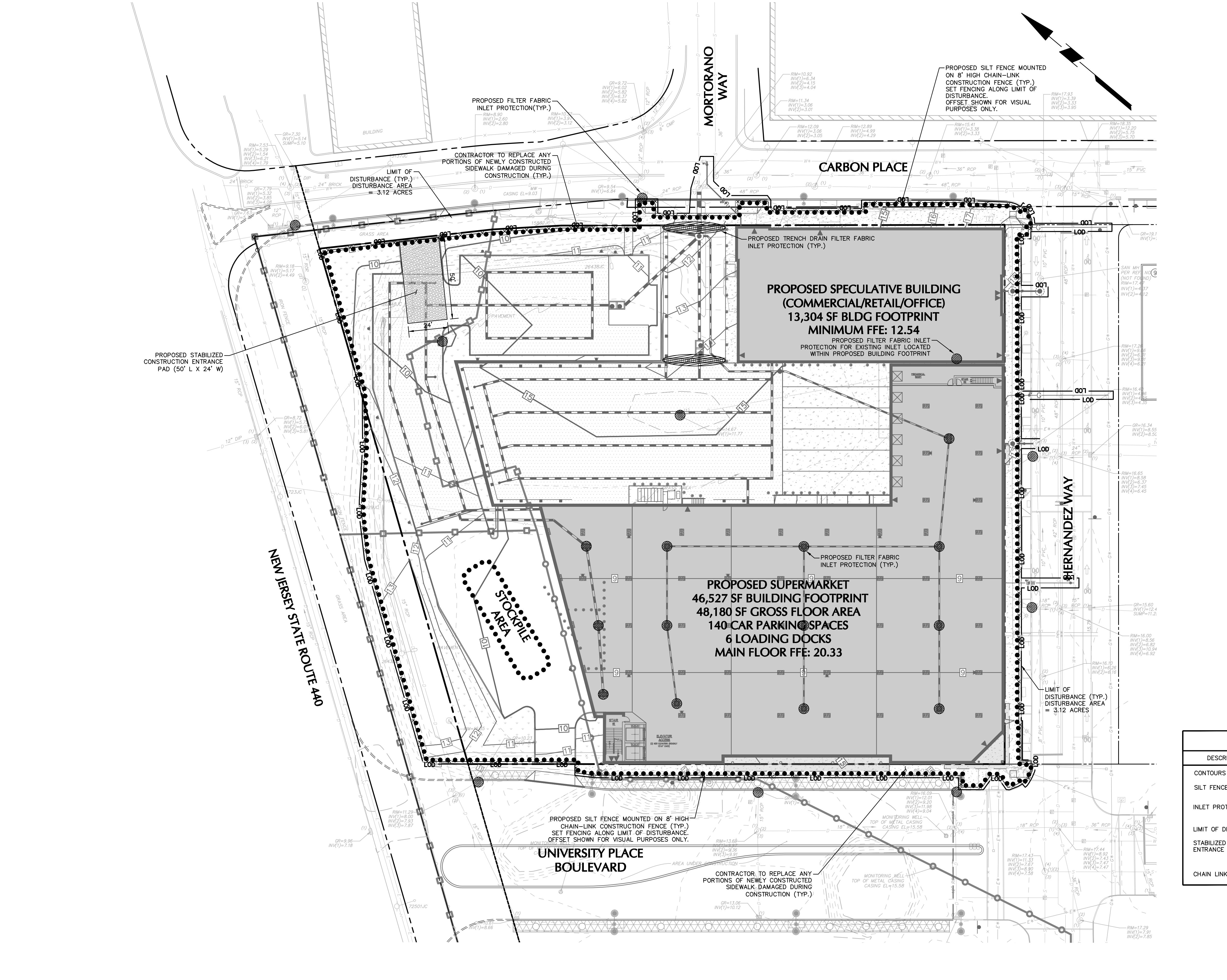


**SILT SOCK (FILTRREXX COMPOST SILT SOCK)**



**STABILIZED CONSTRUCTION ACCESS PAD**

**INLET SEDIMENT PROTECTION (OPTION 2)**



- NOTES:**
- CONTRACTOR IS TO CLEAN FILTER FABRIC AFTER EVERY STORM.
  - CONTRACTOR TO REMOVE FABRIC AND MESH JUST PRIOR TO PAVING.

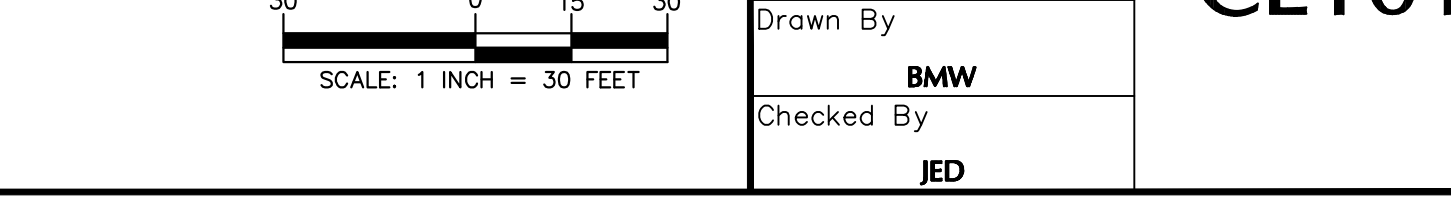
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REVISIONS		
SIGNATURE: LEONARD D. SAVINO DATE SIGNED: 3/28/2023		
PROFESSIONAL ENGINEER NJ Lic. No. GE-39238		

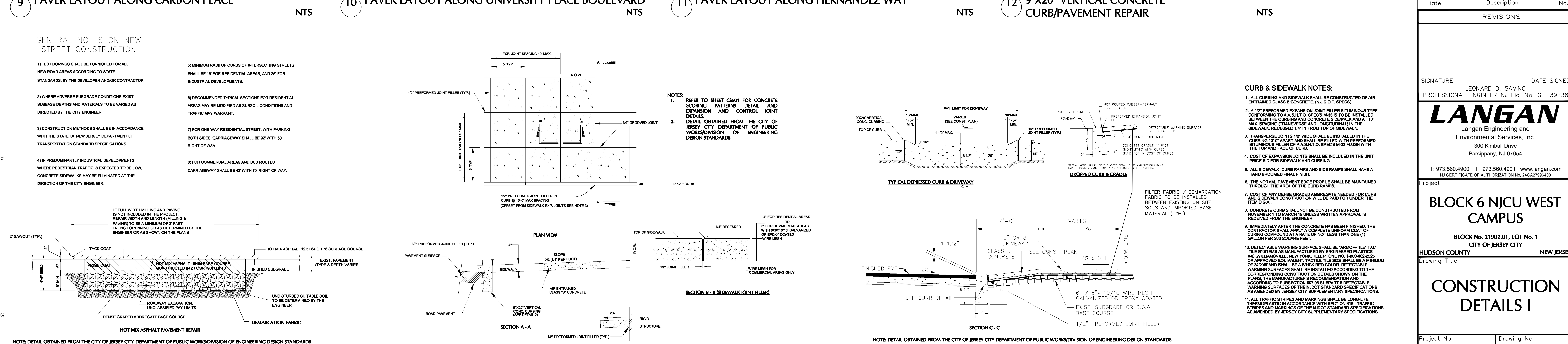
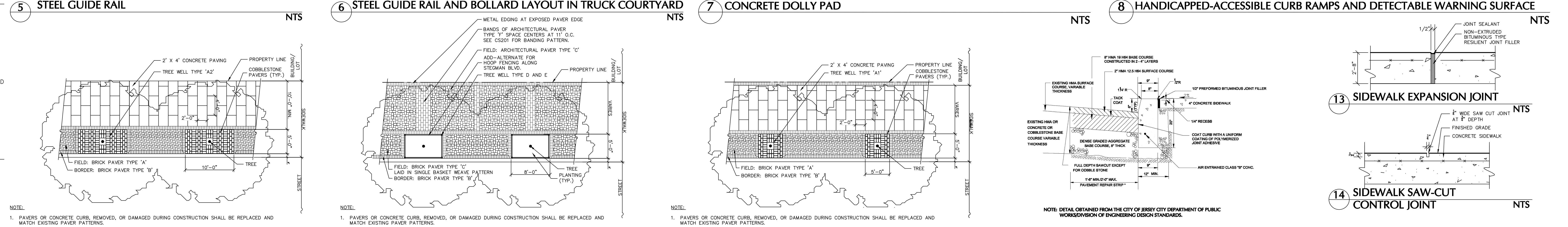
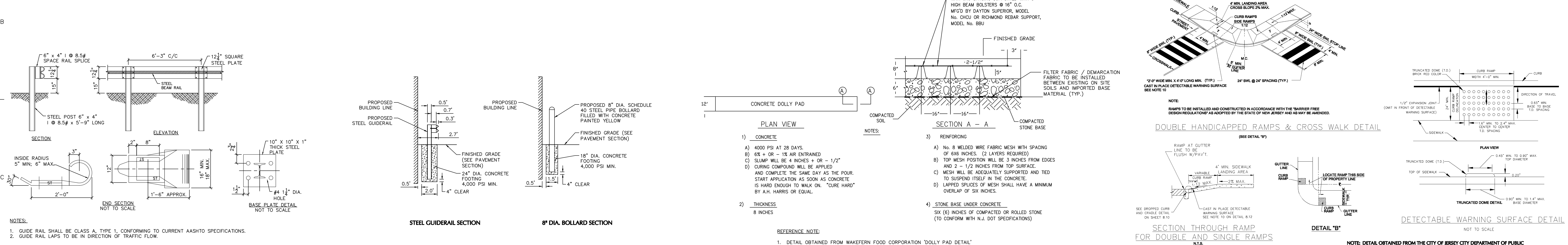
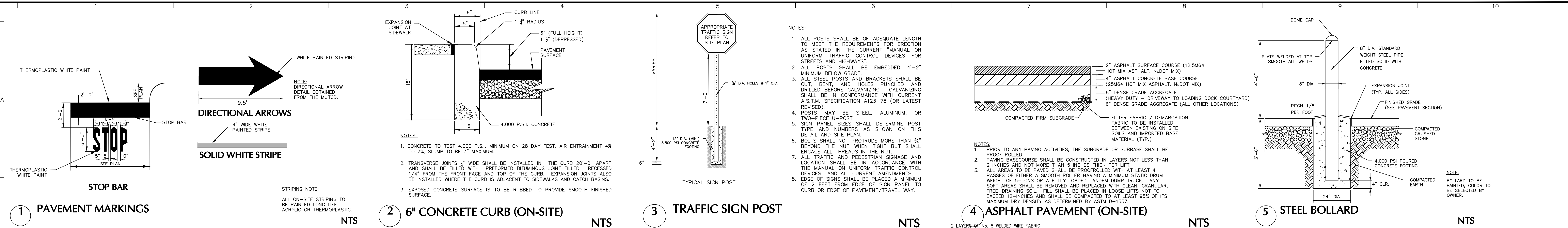
**LANGAN**  
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NJ CERTIFICATE OF AUTHORIZATION NO. 26A02796460

**BLOCK 6 NJCU WEST CAMPUS**  
BLOCK No. 21902.01, LOT No. 1  
CITY OF JERSEY CITY  
HUDSON COUNTY NEW JERSEY  
Drawing Title

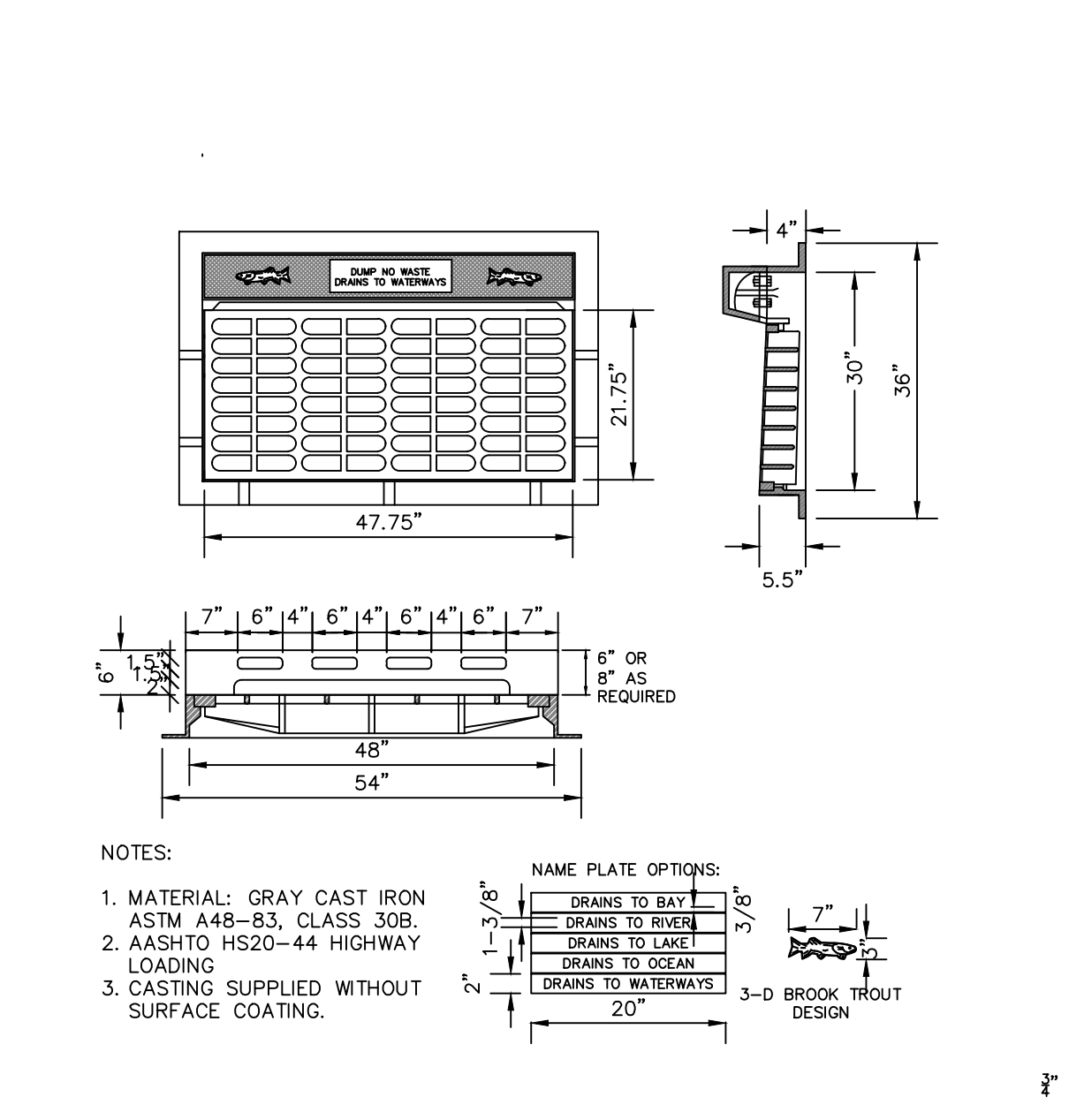
**SOIL EROSION & SEDIMENT CONTROL PLAN AND DETAILS**

Project No.	100552201	Drawing No.	CE101
Date	3/28/2023	Drawn By	BMW
Checked By	JED		

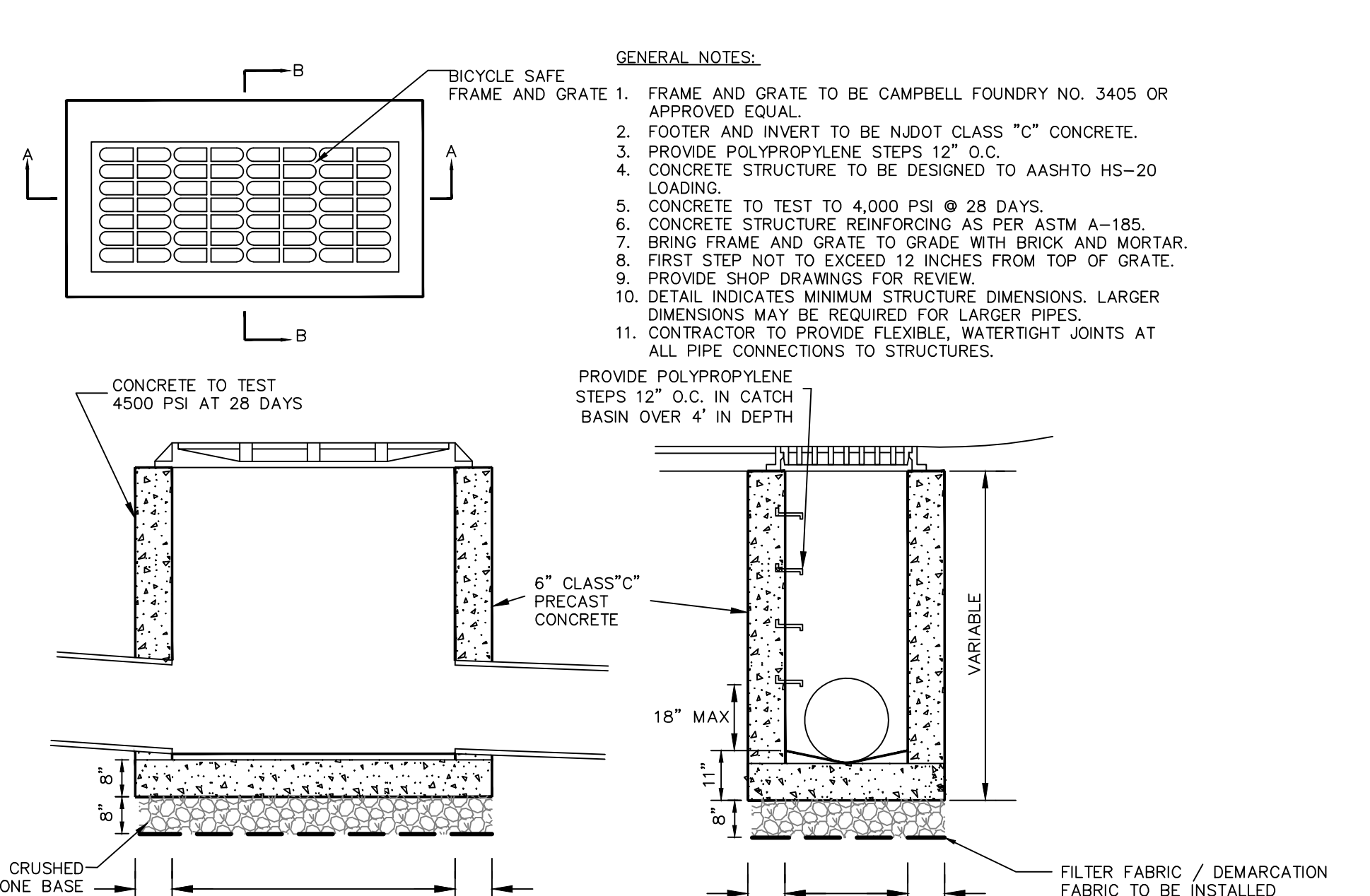




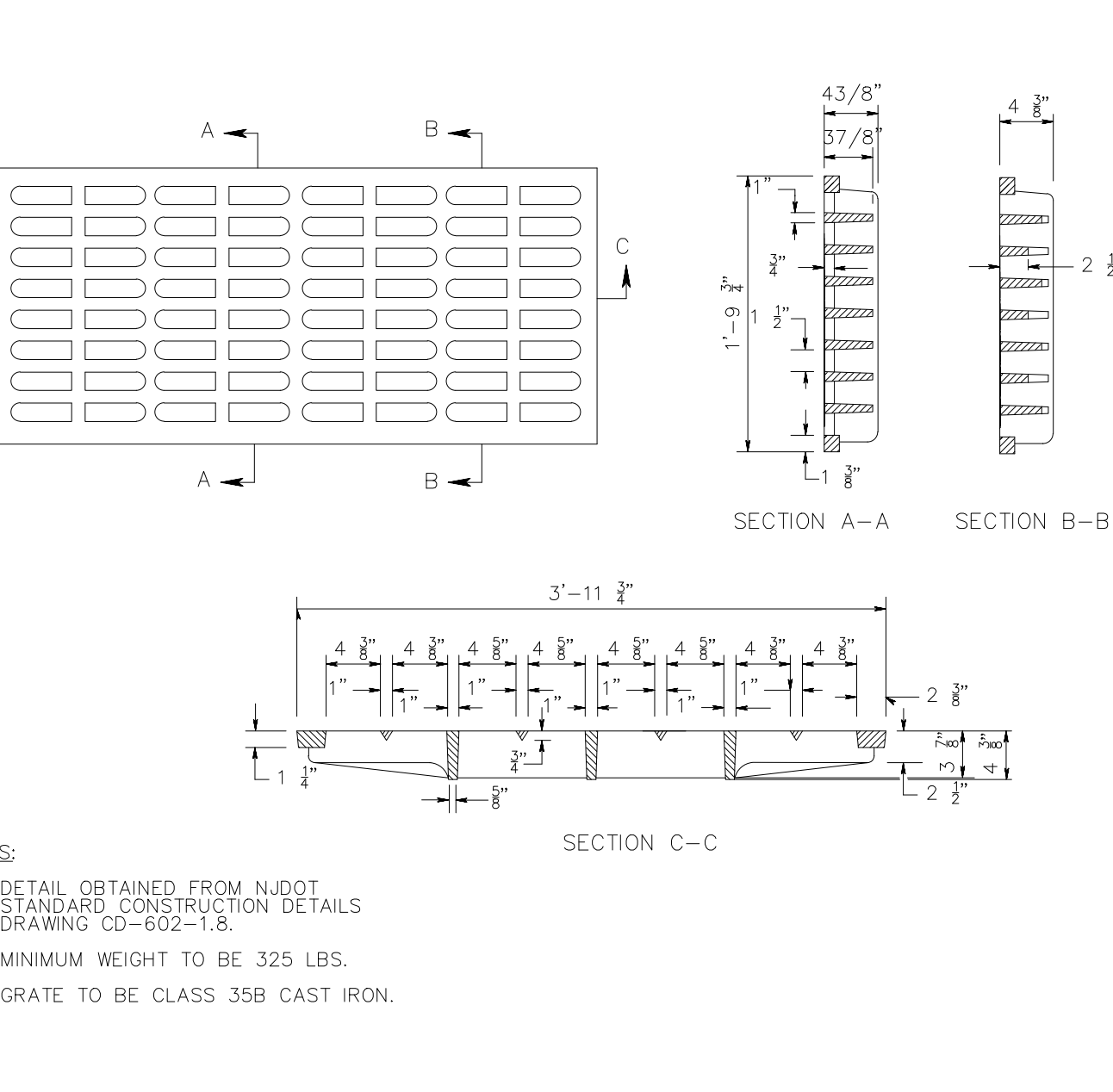
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REVISIONS		
SIGNATURE		DATE SIGNED
LEONARD D. SAVINO		3/28/2023
<b>LANGAN</b>		
Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054		
Project: <b>BLOCK 6 NJCU WEST CAMPUS</b>		
BLOCK No. 21902.01, LOT No. 1 CITY OF JERSEY CITY		
<b>CONSTRUCTION DETAILS I</b>		
Project No.	Drawing No.	
100552201	CS501	
Date	3/28/2023	
Drawn By	BMW	
Checked By	JED	



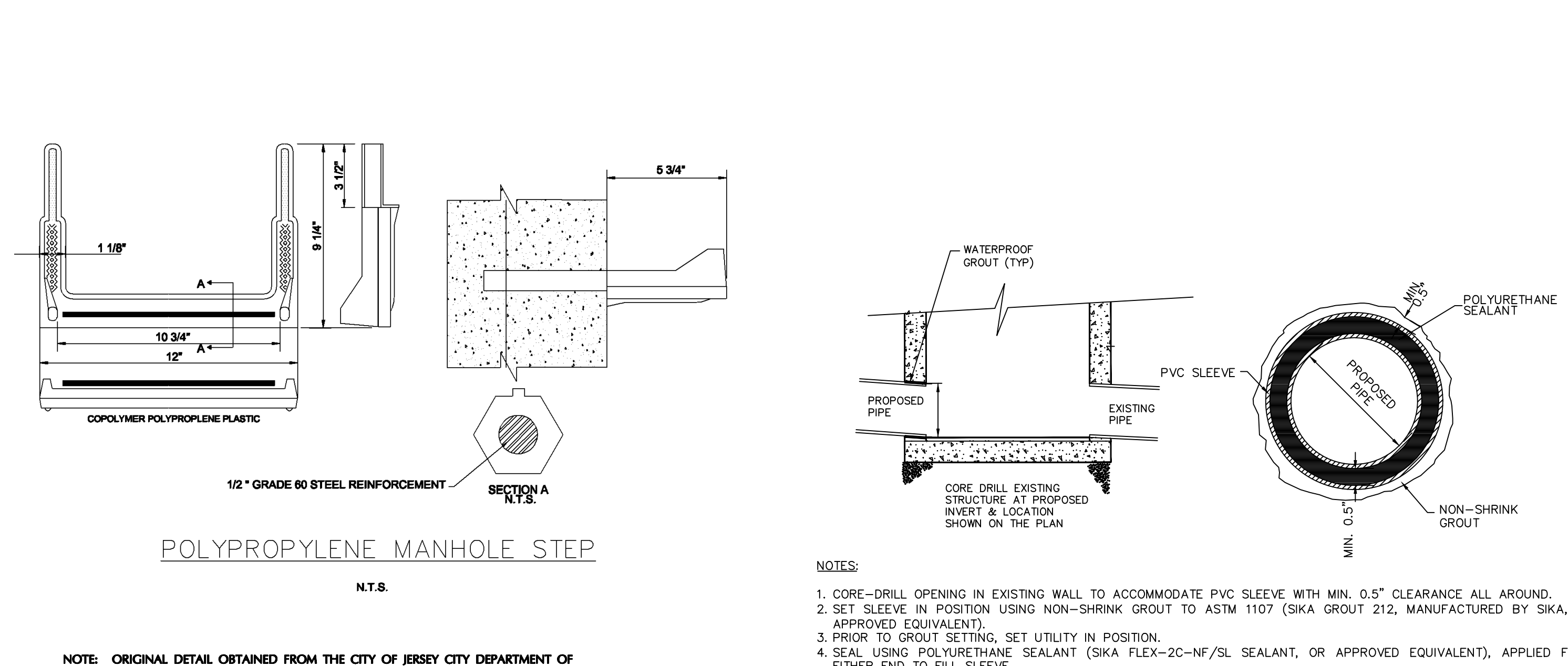
1 CURB INLET WITH BICYCLE SAFE GRATE AND TYPE 'N-ECO' CURB PIECE NTS



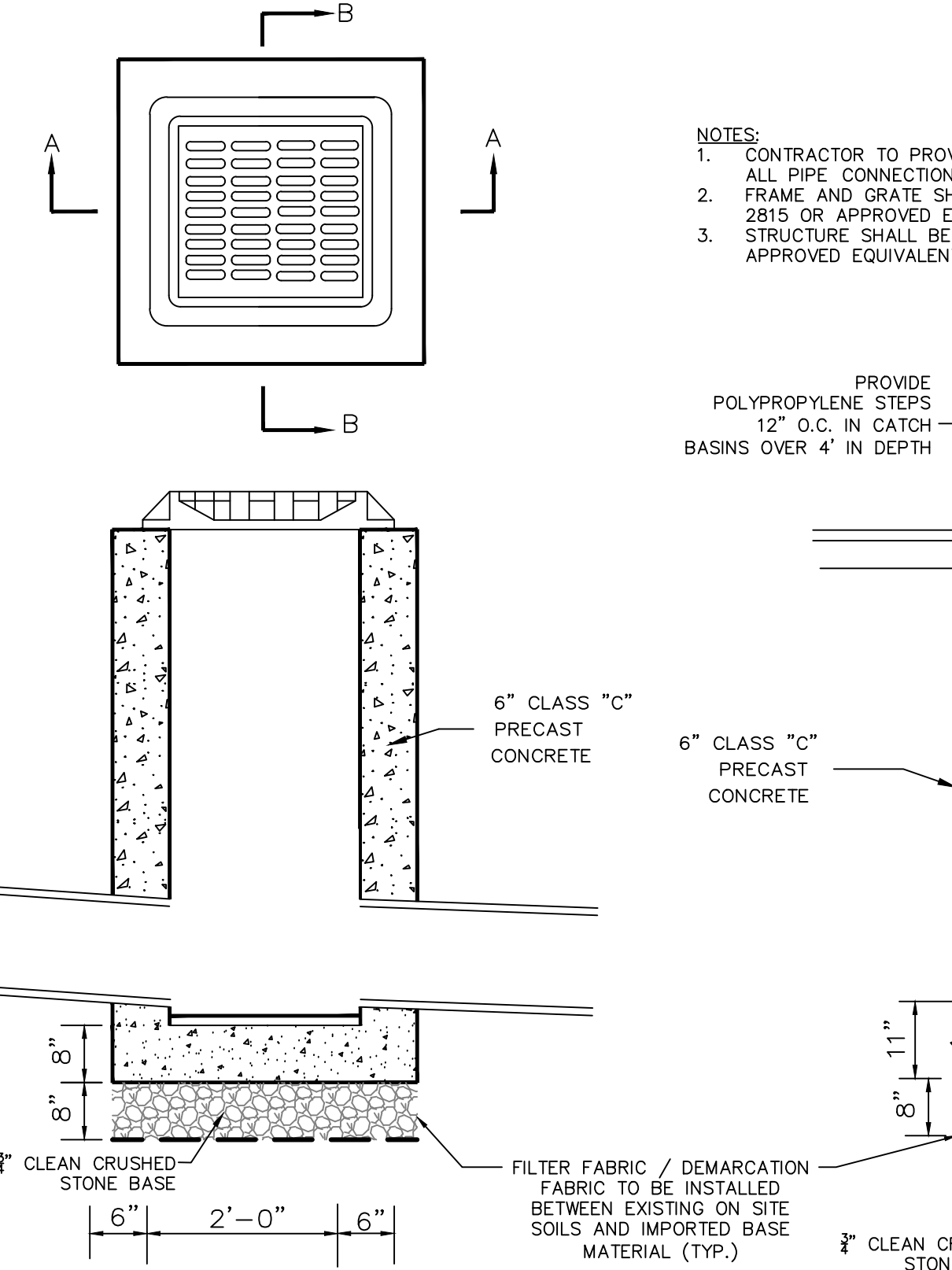
2 CATCH BASIN TYPE 'A' NTS



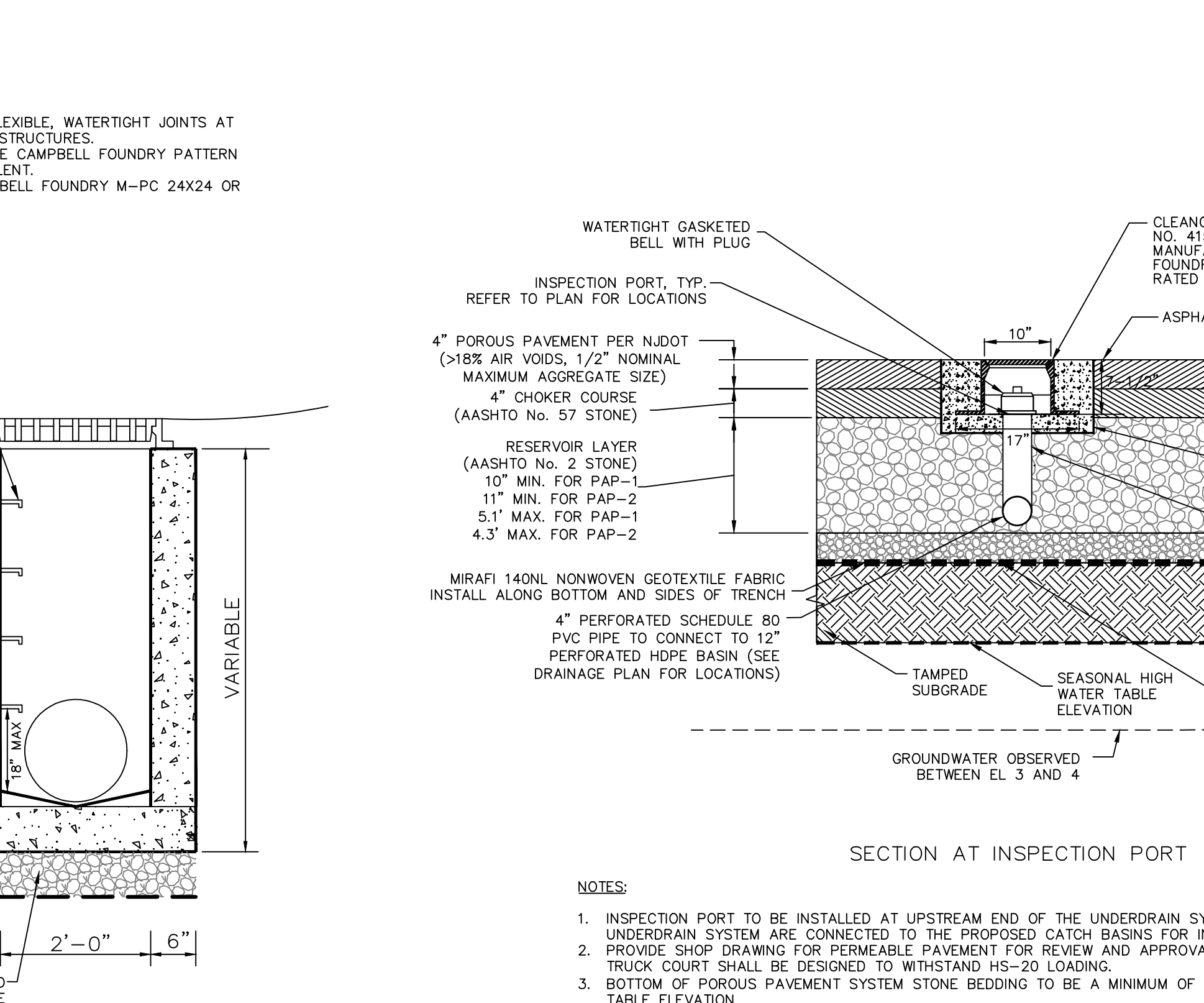
3 BICYCLE SAFE GRATE NTS



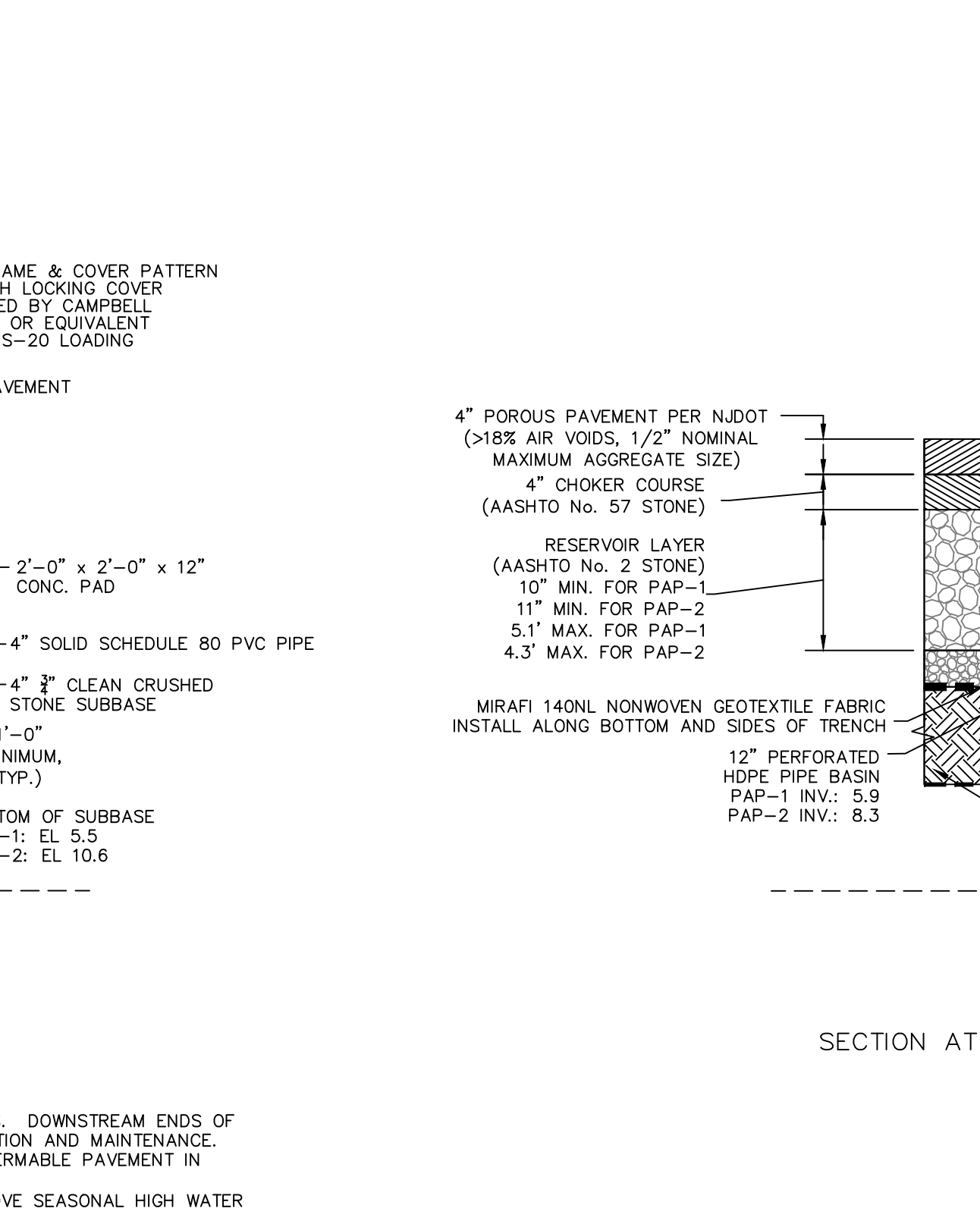
4 POLYPROPYLENE MANHOLE STEP NTS



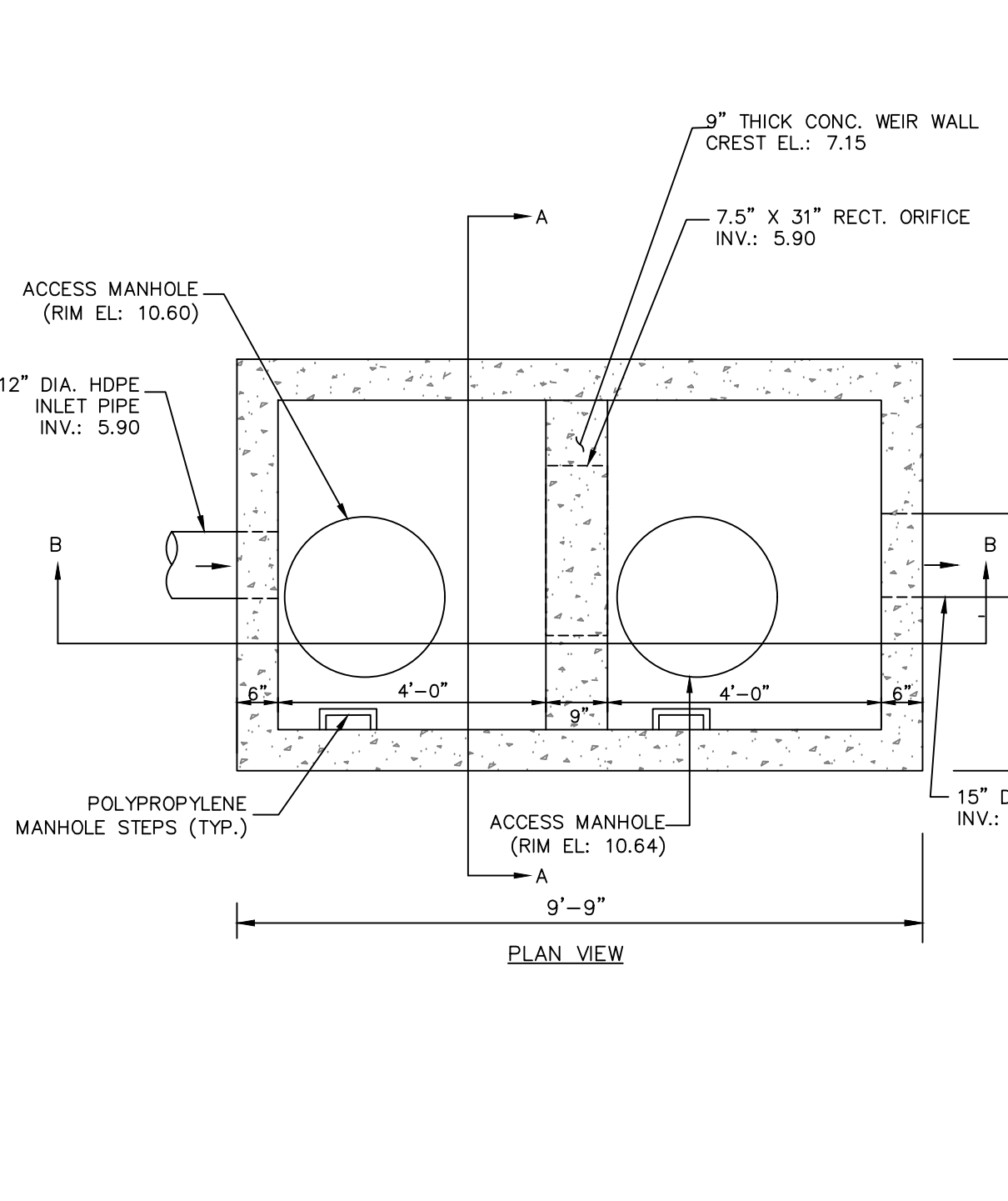
6 2' X 2' AREA DRAIN NTS



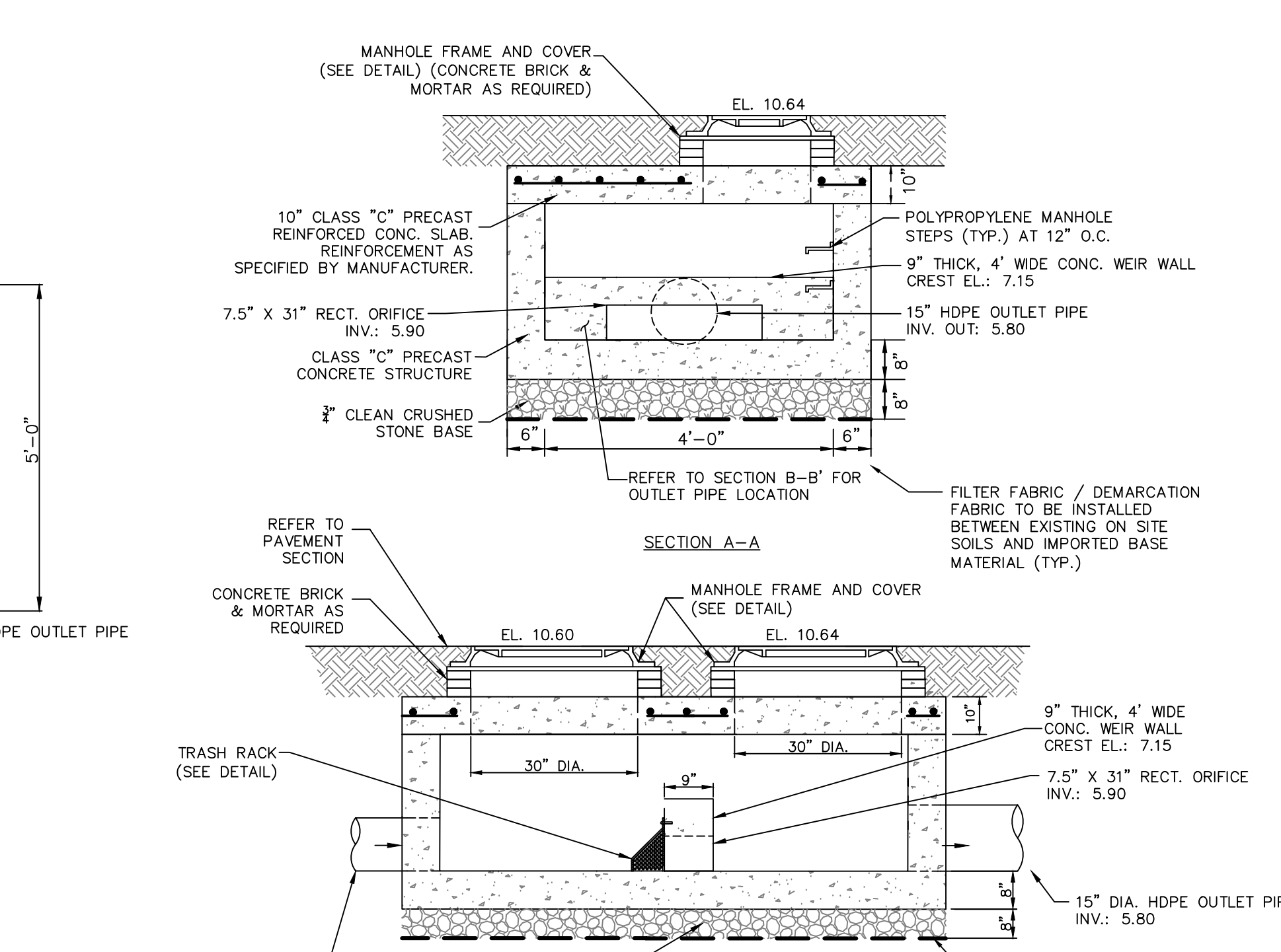
7 PERVIOUS ASPHALT PAVEMENT NTS



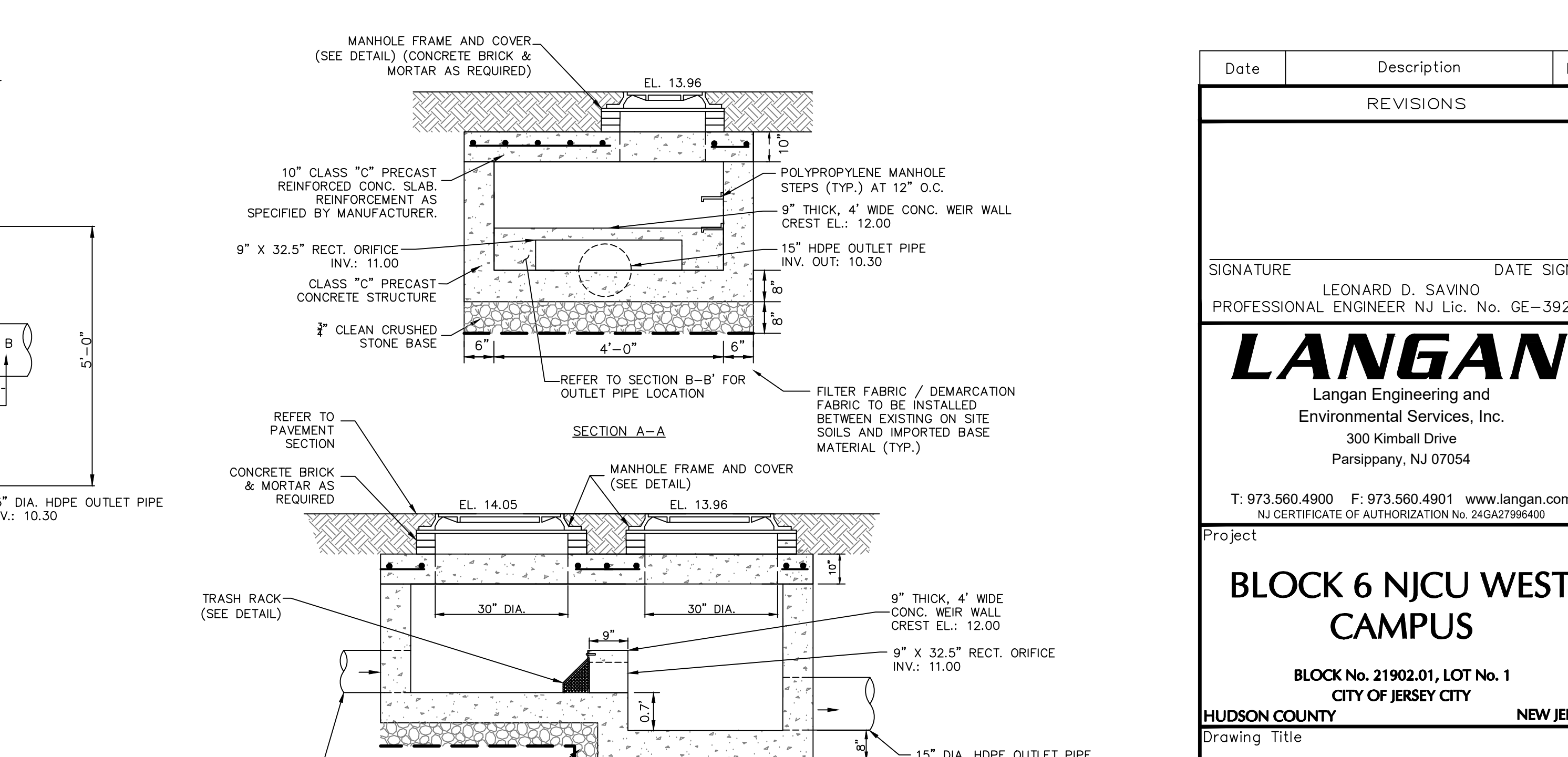
8 TYPE 'B' CATCH BASIN WITH CURB PIECE NTS



9 OUTLET CONTROL STRUCTURE - 1 NTS



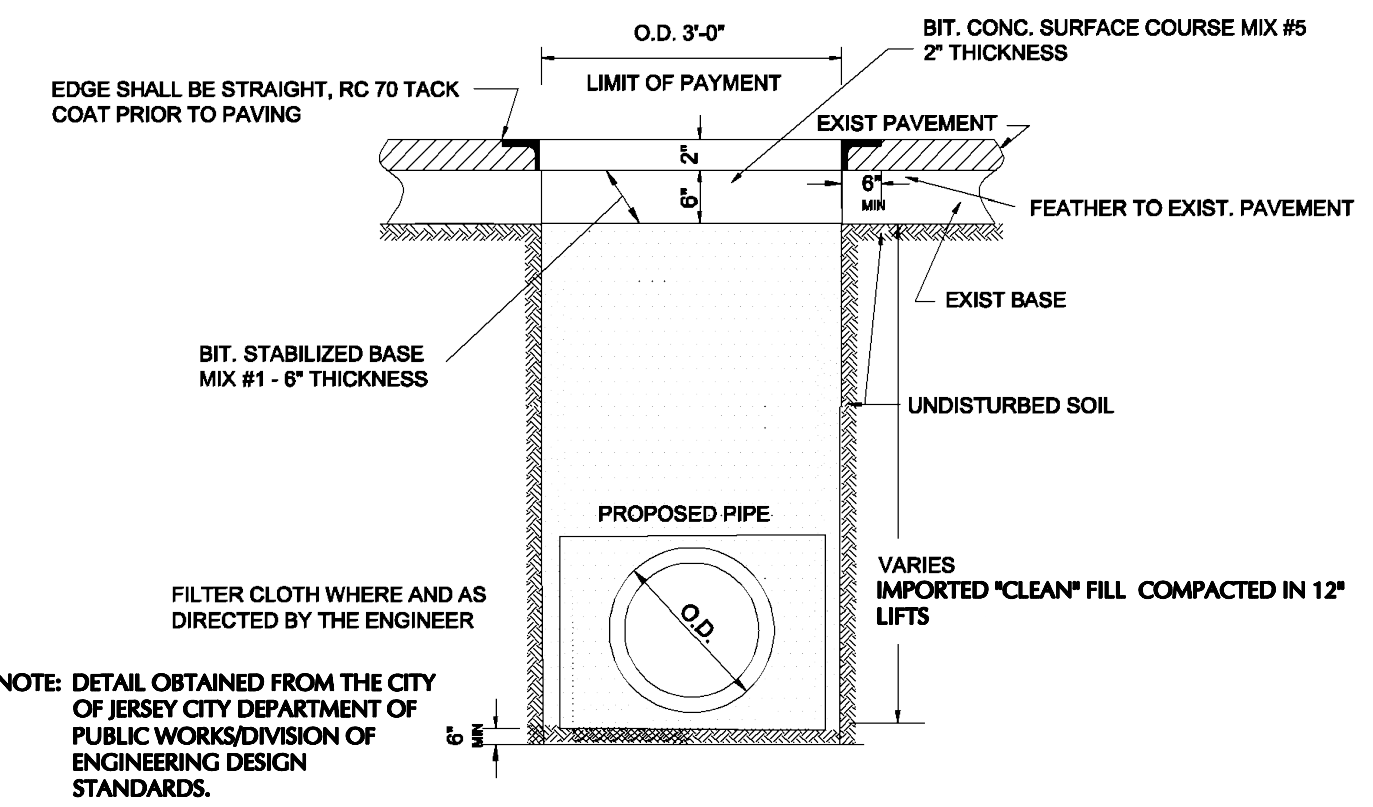
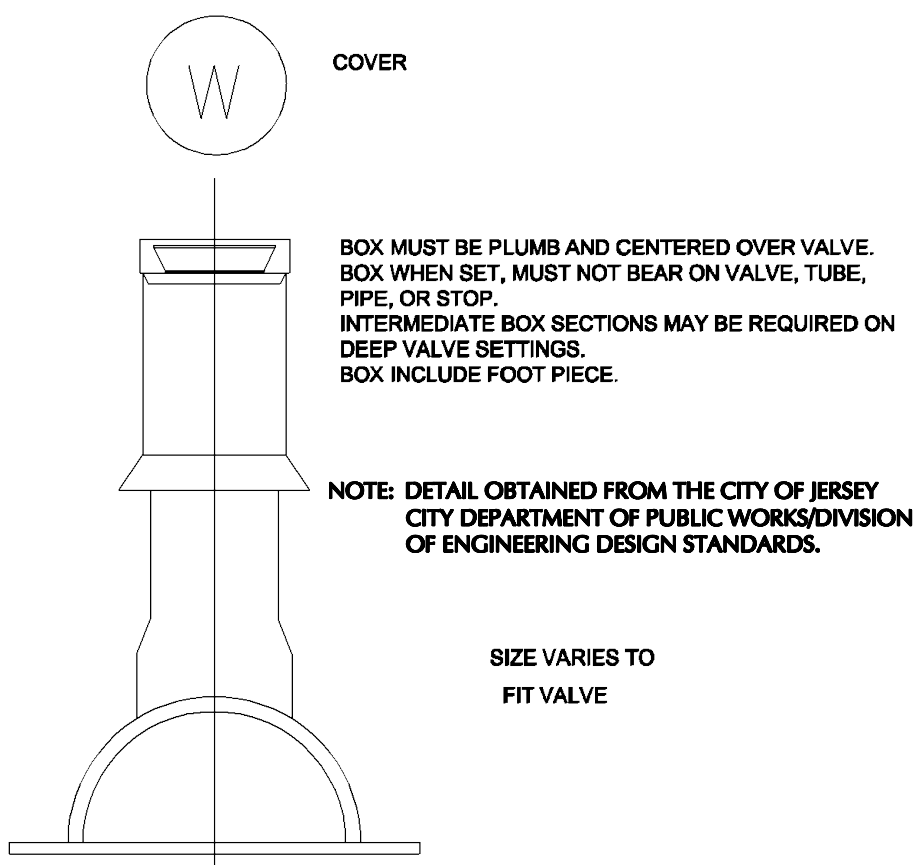
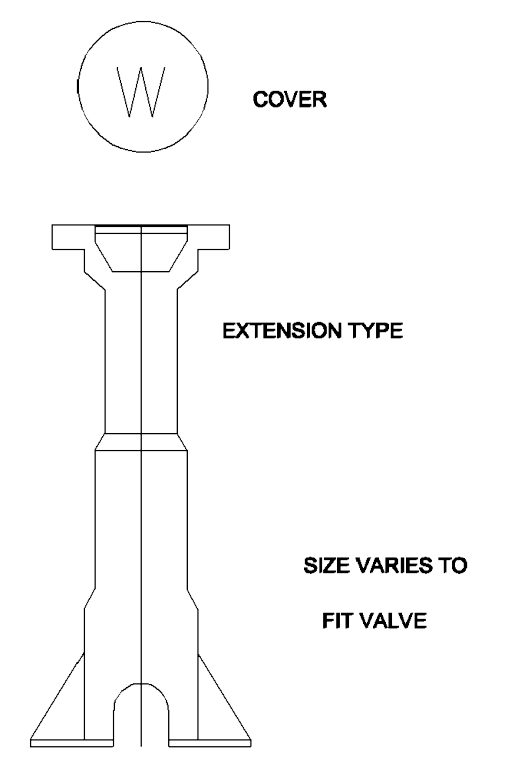
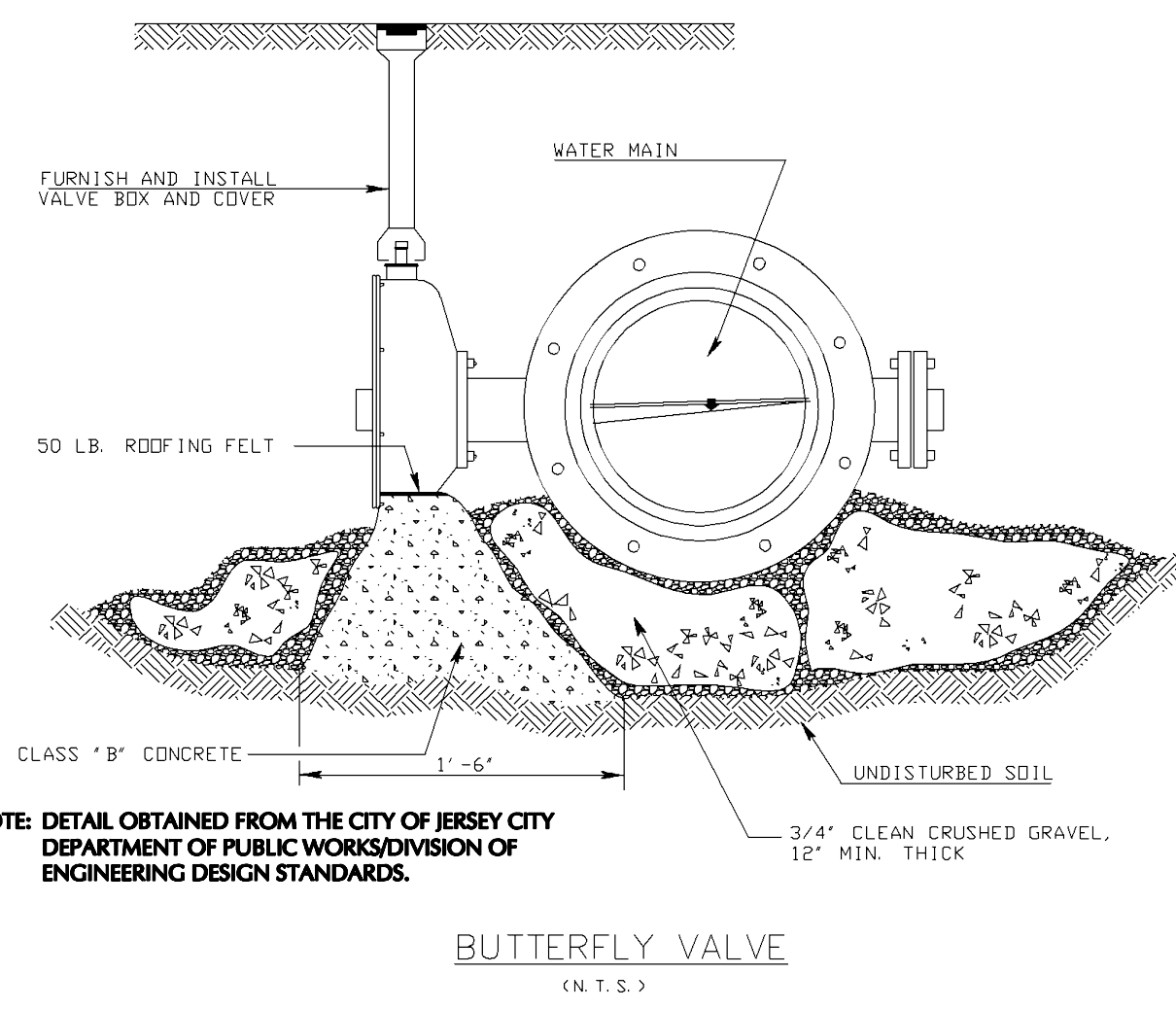
10 OUTLET CONTROL STRUCTURE - 2 NTS



8 TYPE 'B' CATCH BASIN WITH CURB PIECE NTS

Date	Description	No.
REVISIONS		
SIGNATURE: LEONARD D. SAVINO DATE SIGNED: 3/28/2023		
<b>LANGAN</b>		
Langan Engineering and Environmental Services, Inc. 300 Kimball Drive Parsippany, NJ 07054		
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Project: BLOCK 6 NJCU WEST CAMPUS		
BLOCK No. 21902.01, LOT No. 1 CITY OF JERSEY CITY		
HUDSON COUNTY NEW JERSEY		
Drawing Title: CONSTRUCTION DETAILS II		
Project No.	Drawing No.	
100552201	CS502	
Date	3/28/2023	
Drawn By	BMW	
Checked By	JED	





**1 BUTTERFLY VALVE** NTS

**2 CURB BOX** NTS

**3 VALVE BOX** NTS

**4 WATER PIPE TRENCH** NTS

Date	Description	No.
REVISIONS		

SIGNATURE: LEONARDO D. SAVINO DATE SIGNED: \_\_\_\_\_  
 PROFESSIONAL ENGINEER NJ Lic. No. GE-39238

**LANGAN**  
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Project: **BLOCK 6 NJCU WEST CAMPUS**  
 BLOCK No. 21902.01, LOT No. 1  
 CITY OF JERSEY CITY  
 HUDSON COUNTY NEW JERSEY

Drawing Title: **CONSTRUCTION DETAILS IV**

Project No.	Drawing No.
100552201	CS504
Date	
3/28/2023	
Drawn By	
Checked By	
BMW	
JED	