

ZONING COMPARISON CHART

ITEM	DISTRICT "R-1" REQUIREMENTS	EXISTING	PROPOSED	VARIANCE REQUIRED
USE	ONE AND TWO FAMILY DWELLINGS	TWO FAMILY DWELLING	ONE FAMILY DWELLING	NO
MIN. LOT AREA	2,500 SF	1,531 SF	NO CHANGE	NO*
MIN. LOT WIDTH	25 FT.	16.50 FT.	NO CHANGE	NO*
MIN. LOT DEPTH	100 FT.	91.50 FT. / 91.86 FT.	NO CHANGE	NO*
FRONT SETBACK	SHALL MATCH THE SETBACK OF THE PRIMARY BUILDING FACADE OF THE CLOSEST PERMITTED USE ON EITHER SIDE.	4.4 FT.	NO CHANGE	NO*
REAR SETBACK	REAR YARD = MIN.20 FT.	24.16 FT.	NO CHANGE	NO
COMBINED FRONT & REAR SETBACK	FRONT (4.4) + REAR= MIN. 35 FT.	28.56 FT. (4.4' + 24.16')	NO CHANGE	YES
REQUIRED SIDE YARD	2 FT. ONE SIDE, 3 FT. OTHER SIDE, BUT 0 FT. IF ADJACENT PROPERTY HAS 0 FT. SIDE YARD	0 FT/ 0.4 FT OVER	NO CHANGE	NO
MAX. BUILDING HEIGHT	3 STORIES	2 STORIES	NO CHANGE	NO
	30.0'	28'-2"	NO CHANGE	NO
MAXIMUM BLDG. COVERAGE	60%	58.26%	NO CHANGE	NO
MAXIMUM LOT COVERAGE	85%	75.84%	67.73%	NO

*EXISTING NON-CONFORMING CONDITION

DRAWING INDEX

T-1: BUILDING NOTES, SITE PLANS
A-1: EXISTING FLOOR PLANS, DETAILS, SCHEDULES & NOTES
A-2: PROPOSED FLOOR PLANS & ELEVATIONS

PROJECT DESCRIPTION:

1. ADDRESS: 114 WAVERLY STREET JERSEY CITY, NJ
2. PROPOSED WORK: ONE STORY ADDITION OVER EXISTING ONE STORY PORTION
3. EXISTING USE: SINGLE- FAMILY DWELLING
4. PROPOSED USE: SINGLE- FAMILY DWELLING (NO CHANGE)
5. EXISTING GROSS FLOOR AREA: 1,301SF
6. PROPOSED GROSS FLOOR AREA: 1,465 SF
7. BUILDING CONSTRUCTION CLASSIFICATION: 5-A
8. BUILDING USE GROUP: R-5, SINGLE-FAMILY BUILDING
9. APPLICABLE CODE: NJUCC REHABILITATION SUB-CODE/ INTERNATIONAL BUILDING CODE 2018

GROSS BUILDING AREA:

EXISTING: FIRST FLOOR: 819 SF	1,301 SF TOTAL
SECOND FLOOR: 482 SF	
NEW: FIRST FLOOR: 819 SF	SECOND FLOOR: 482 SF + 164 SF (NEW ADDITION)
	NEW: FIRST FLOOR: 819 SF
	1,465 SF TOTAL

BUILDING DATA

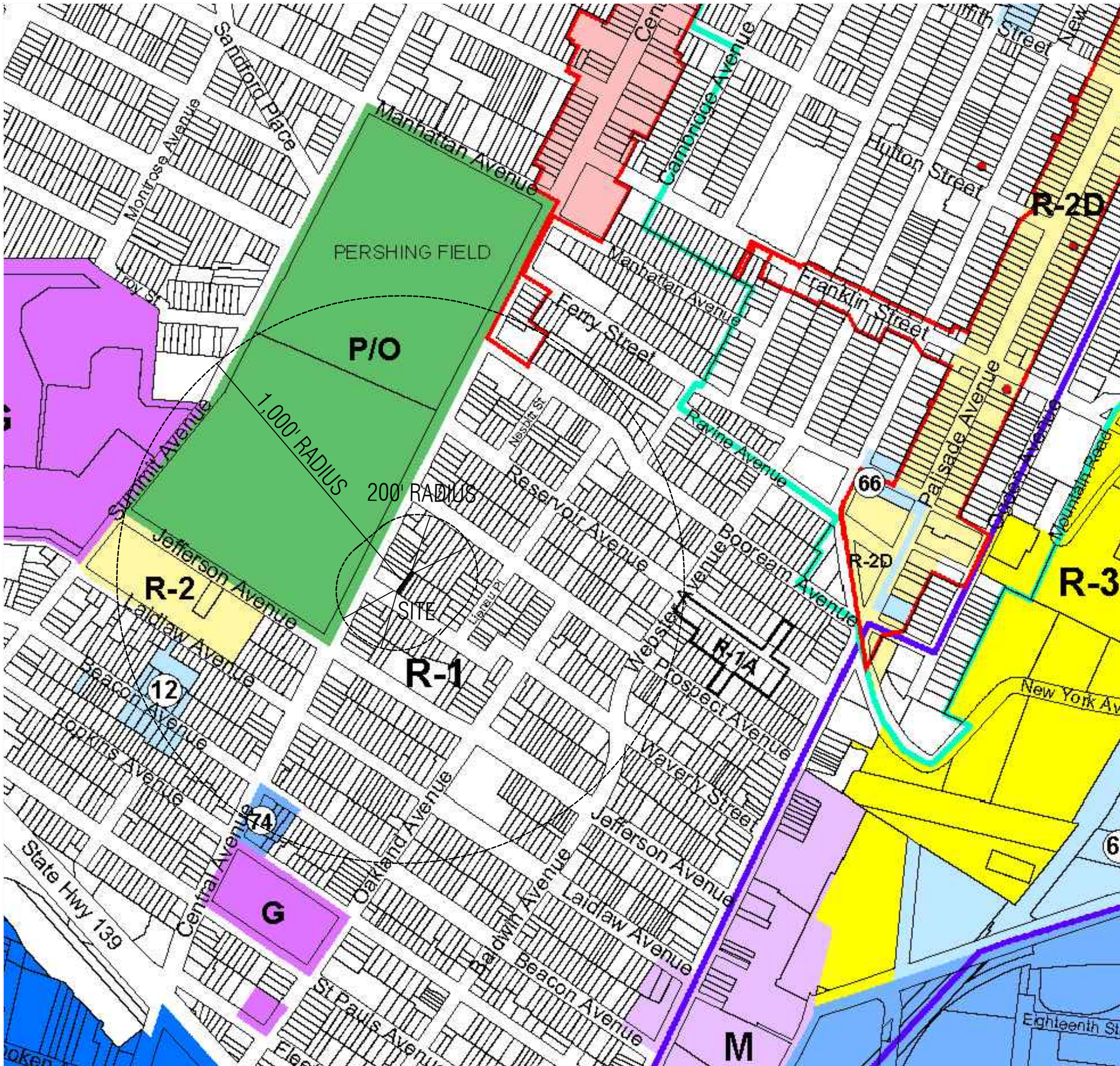
FIRE RATINGS:
EXTERIOR WALLS: EXISTING/ADDITION
FRONT - 0 HR. REQD (NONBEARING EXT. WALL)
REAR - 0 HR. REQD (NONBEARING EXT. WALL > 30' FROM PROP. LINE)
SIDE - 1 HR. REQD (LOAD-BEARING EXT. WALL)
PARTY WALLS: 2 HR. REQUIRED - EXISTING/ ADDITION
DWELLING UNIT SEPARATION: DEMISING WALLS - 1 HR. REQD
ROOF: 1 HR. REQUIRED FLOOR-CEILING - 1 HR. REQD
DESIGN LOADS:
FLOORS: LL 40 PSF ROOFS: LL 25 PSF COMMON AREAS: LL 100 PSF
DL 15 PSF DL 20 PSF DL 15 PSF
WIND LOAD: BASIC WINDSPEED 100 MPH
BUILDING OCCUPANCY: 3,696 SF NET/200 SF PER PERSON = 18.5 PERSONS

APPLICABLE CODE:

1. BUILDING SUBCODE (NJAC 5:23-3.14)
International Building Code/2018,NJ ed (IBC w/NJ edits from 3.14)
International Residential Code/2018, International Fire Code/2018
2. PLUMBING SUBCODE (NJAC 5:23-3.15)
National Standard Plumbing Code/2018
3. ELECTRICAL SUBCODE (NJAC 5:23-3.16)
National Electrical Code (NFPA 70)/2017
4. ENERGY SUBCODE (NJAC 5:23-3.18)
International Energy Conservation Code/2018(Residential)
5. MECHANICAL SUBCODE (NJAC 5:23-3.20)
International Mechanical Code/2018
6. FUEL GAS SUBCODE (NJAC 5:23-3.22)
International Fuel Gas Code/2018

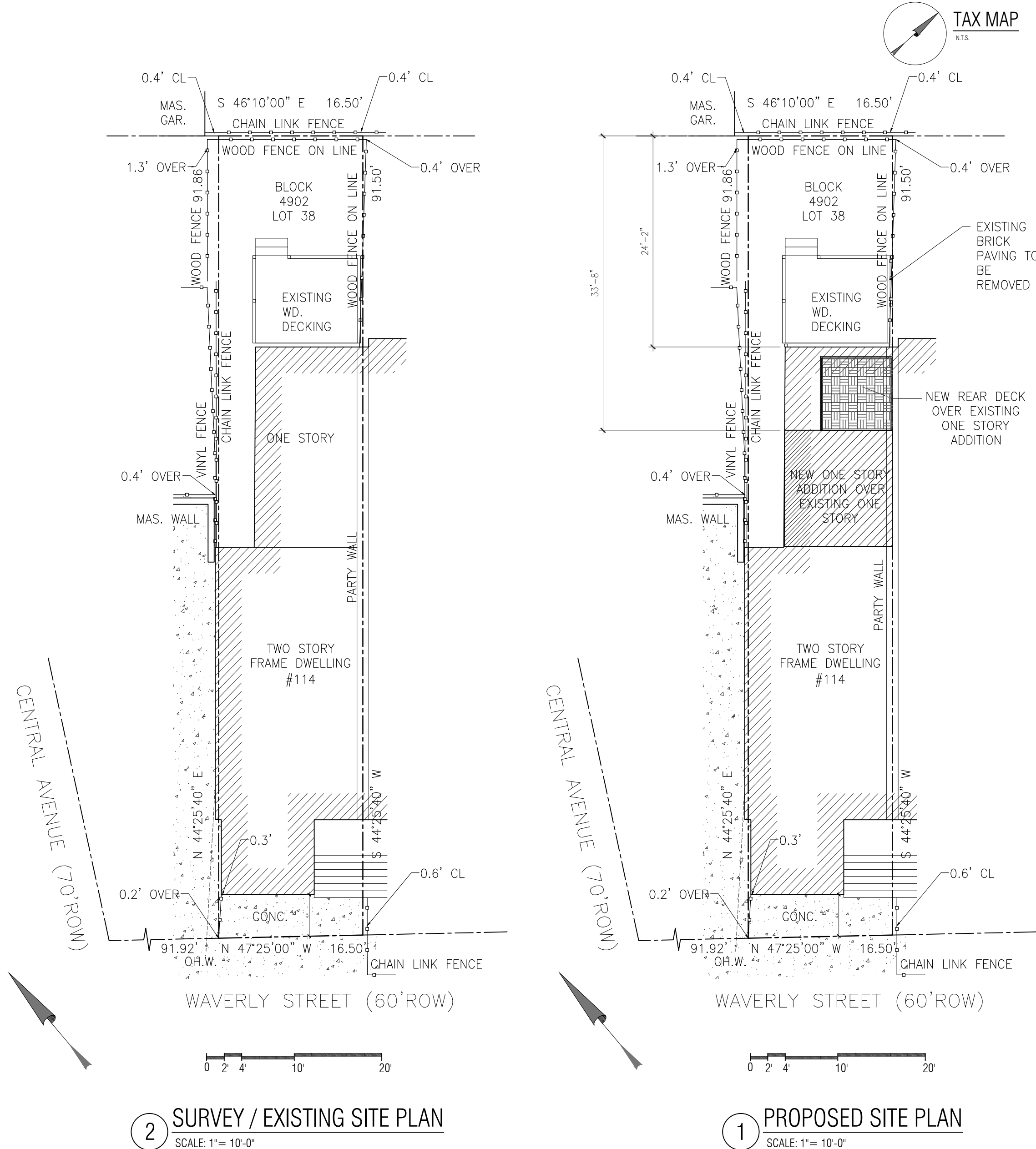
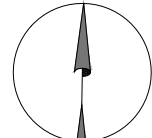
DEMOLITION NOTES:

1. CONFORM TO APPLICABLE CODE FOR ANY DEMOLITION WORK, DUST CONTROL AND PRODUCTS REQUIRING ELECTRICAL DISCONNECTION.
2. OBTAIN REQUIRED PERMITS FROM AUTHORITIES AND DISPOSE OF ALL MATERIALS IN ACCORDANCE WITH ALL APPLICABLE REGULATIONS OF PUBLIC AGENCIES HAVING JURISDICTION.
3. THE CONTRACTOR IS RESPONSIBLE FOR THE METHODS, MEANS AND DESTINATION OF ALL OFF-SITE DISPOSAL.
4. DO NOT CLOSE OR OBSTRUCT EGRESS WIDTH TO ANY BUILDING OR SITE EXIT.
5. PROVIDE, ERECT AND MAINTAIN TEMPORARY BARRIERS AND SECURITY DEVICES.
6. NOTIFY AFFECTED UTILITY COMPANIES
7. CONDUCT DEMOLITION TO MINIMIZE INTERFERENCE WITH ADJACENT UNITS.
8. CONTRACTOR IS TO DESCRIBE DEMOLITION REMOVAL PROCEDURES AND SCHEDULE OF WORK.
9. CONTRACTOR IS TO CONTACT ARCHITECT/ ENGINEER BEFORE REMOVAL OF ANY EXISTING WALL IN WHICH CONTRACTOR IS UNSURE OF.
10. DISCONNECT, REMOVE OR CAP AND IDENTIFY DESIGNATED UTILITIES WITHIN DEMOLITION AREAS.
11. ERECT AND MAINTAIN WEATHERPROOF CLOSURES FOR EXTERIOR OPENINGS IF REPLACEMENT WILL NOT BE INSTALLED SIMULTANEOUSLY WITH THE REMOVAL OF EXISTING WORK.
12. ALL EXISTING HVAC, WATER & SPACE HEATING EQUIPMENT TO BE REMOVED.
13. EXISTING UTILITY LINES/CONNECTIONS NOT TO BE REUSED OR RELOCATED SHALL BE CUT, CAPPED AND ABANDONED.



EXISTING FRONT PHOTO

ZONING MAP
SCALE: 1"=300'



2 SURVEY / EXISTING SITE PLAN
SCALE: 1"= 10'-0"

1 PROPOSED SITE PLAN
SCALE: 1"= 10'-0"

CENTRAL AVENUE (70'ROW)

CENTRAL AVENUE (70'ROW)

WAVERLY STREET (60'ROW)

WAVERLY STREET (60'ROW)

0 2 4 10' 20'

0 2 4 10' 20'

2

1



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PROPOSED ADDITION OF EXISTING SINGLE FAMILY DWELLING

ADDRESS:
114 WAVERLY STREET
JERSEY CITY,
NEW JERSEY 07304

BLOCK: 4902
LOT: 38

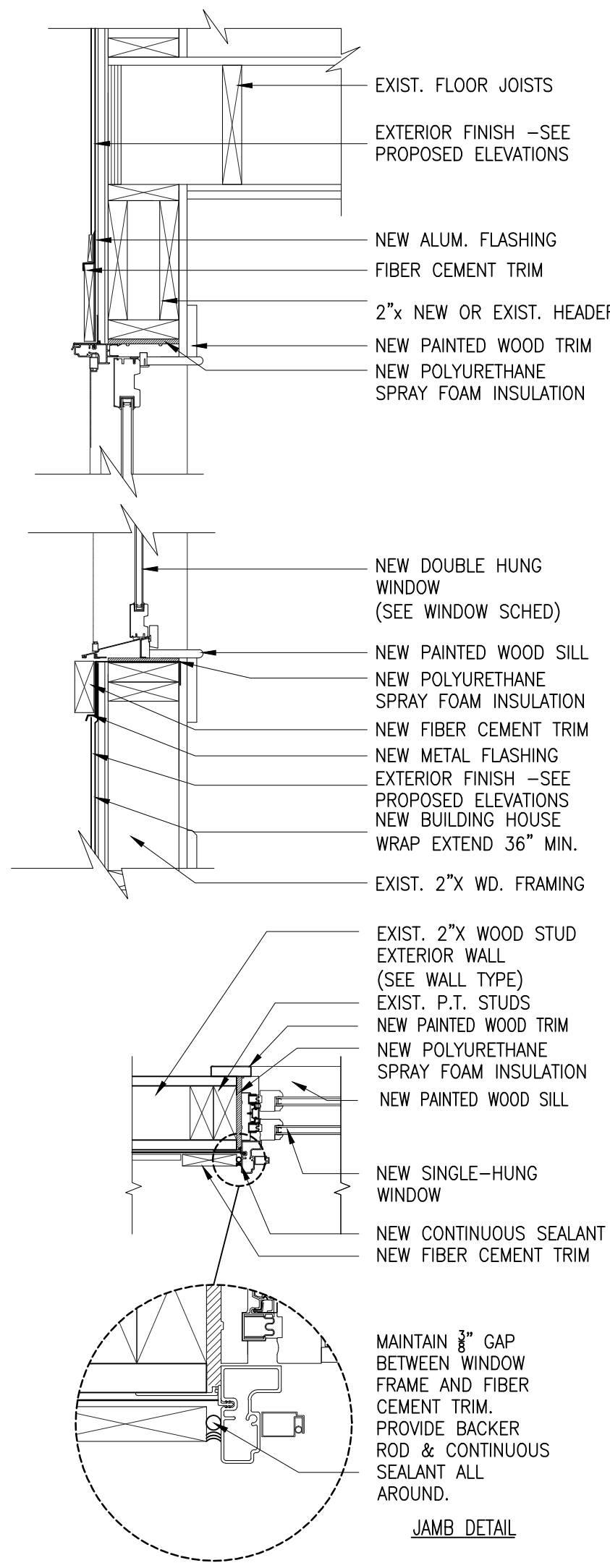
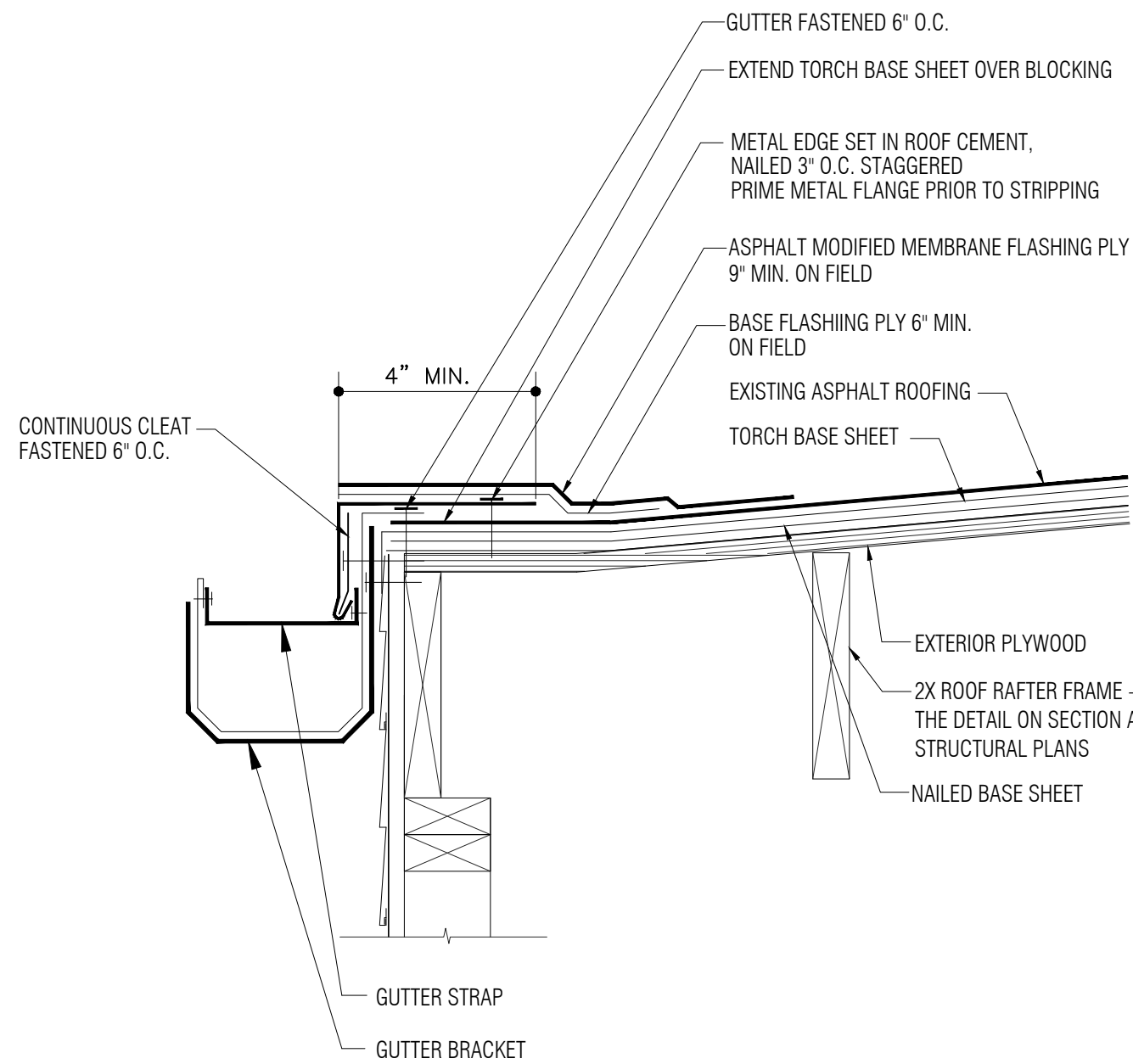
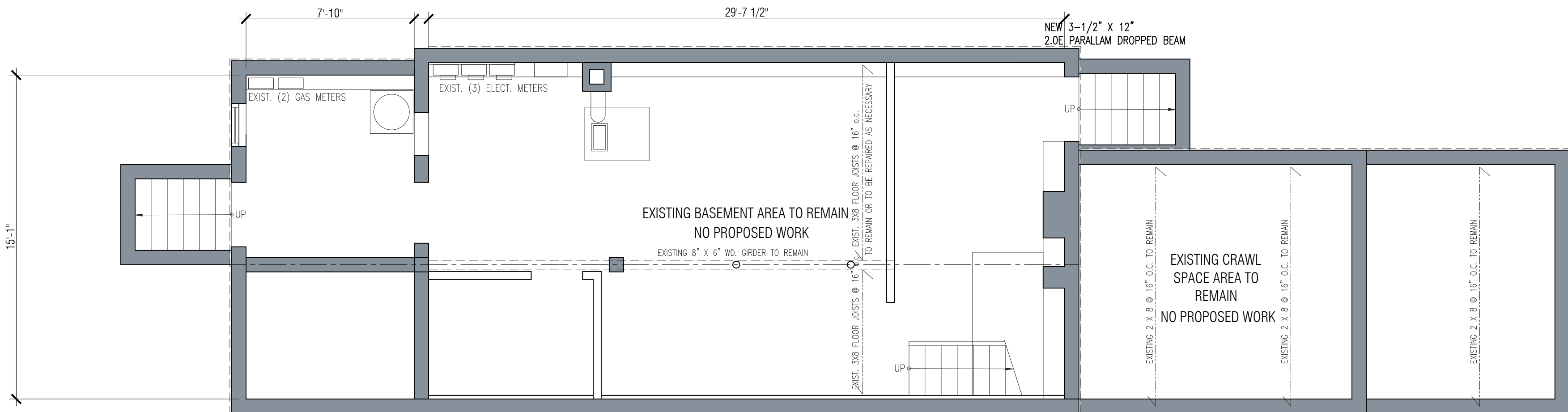
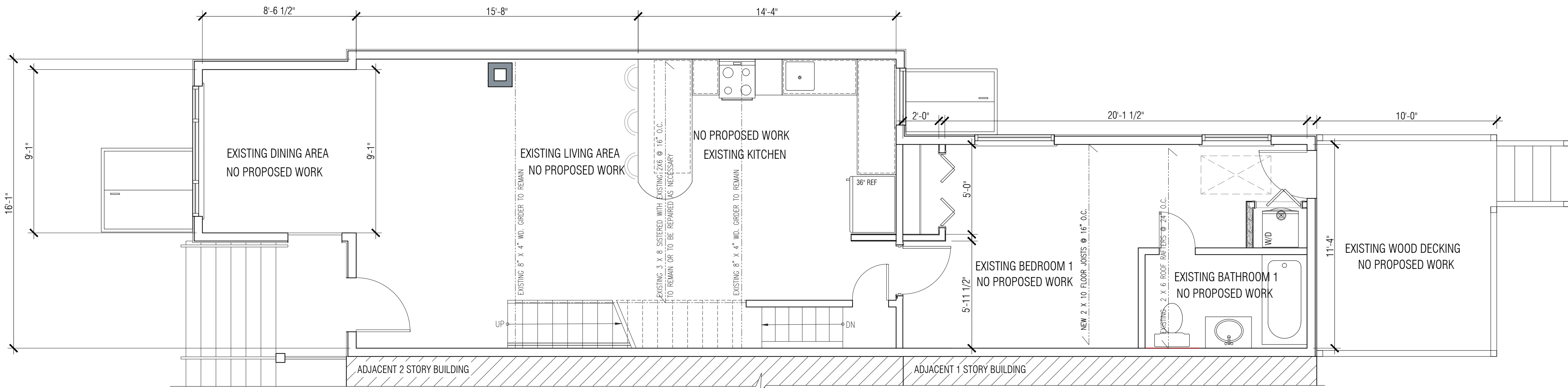
FOR:

REVISIONS:
PLAN UPDATES 02.09.21

DRAWN BY: MK
CHKD BY: MK
ISSUE DATE: 01.20.21
PROJECT NO: 21007

SHEET TITLE:
EXISTING SITE PLANS ,
ZONING CHART &
BUILDING NOTES

SHEET No.
T-1



ELECTRICAL NOTES:

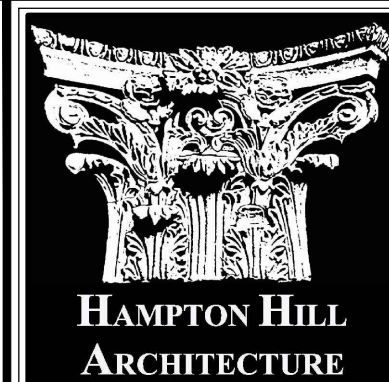
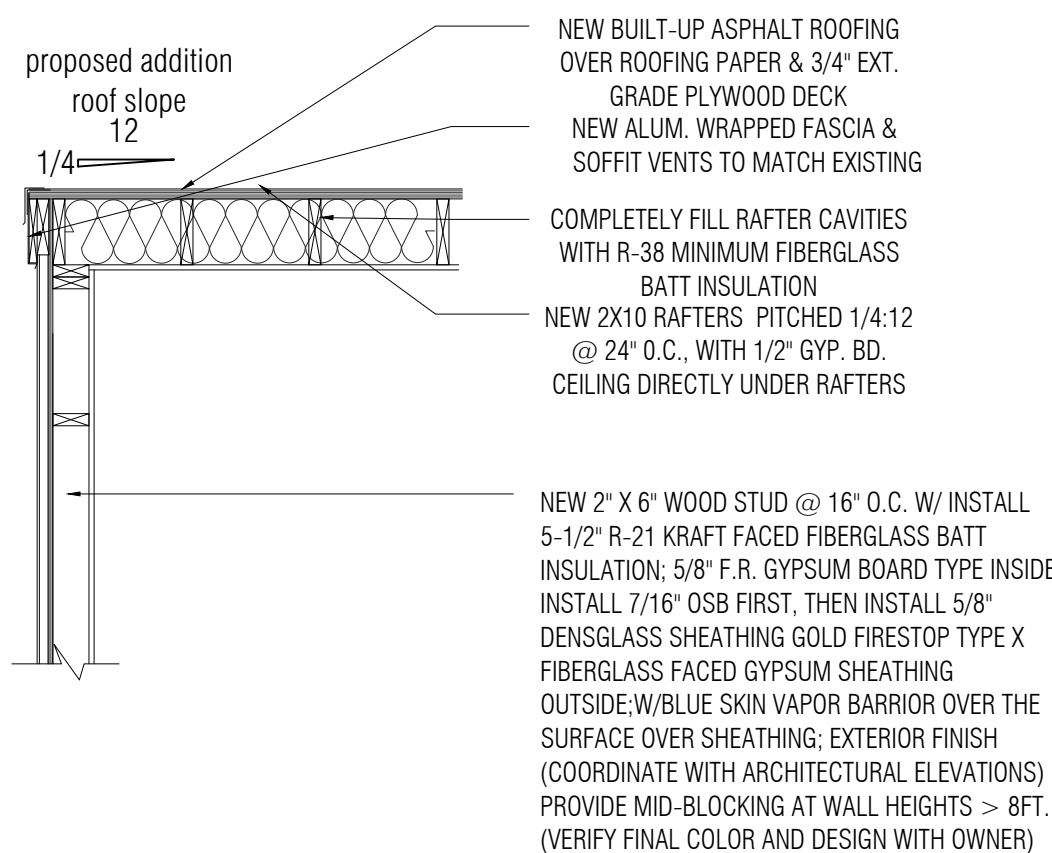
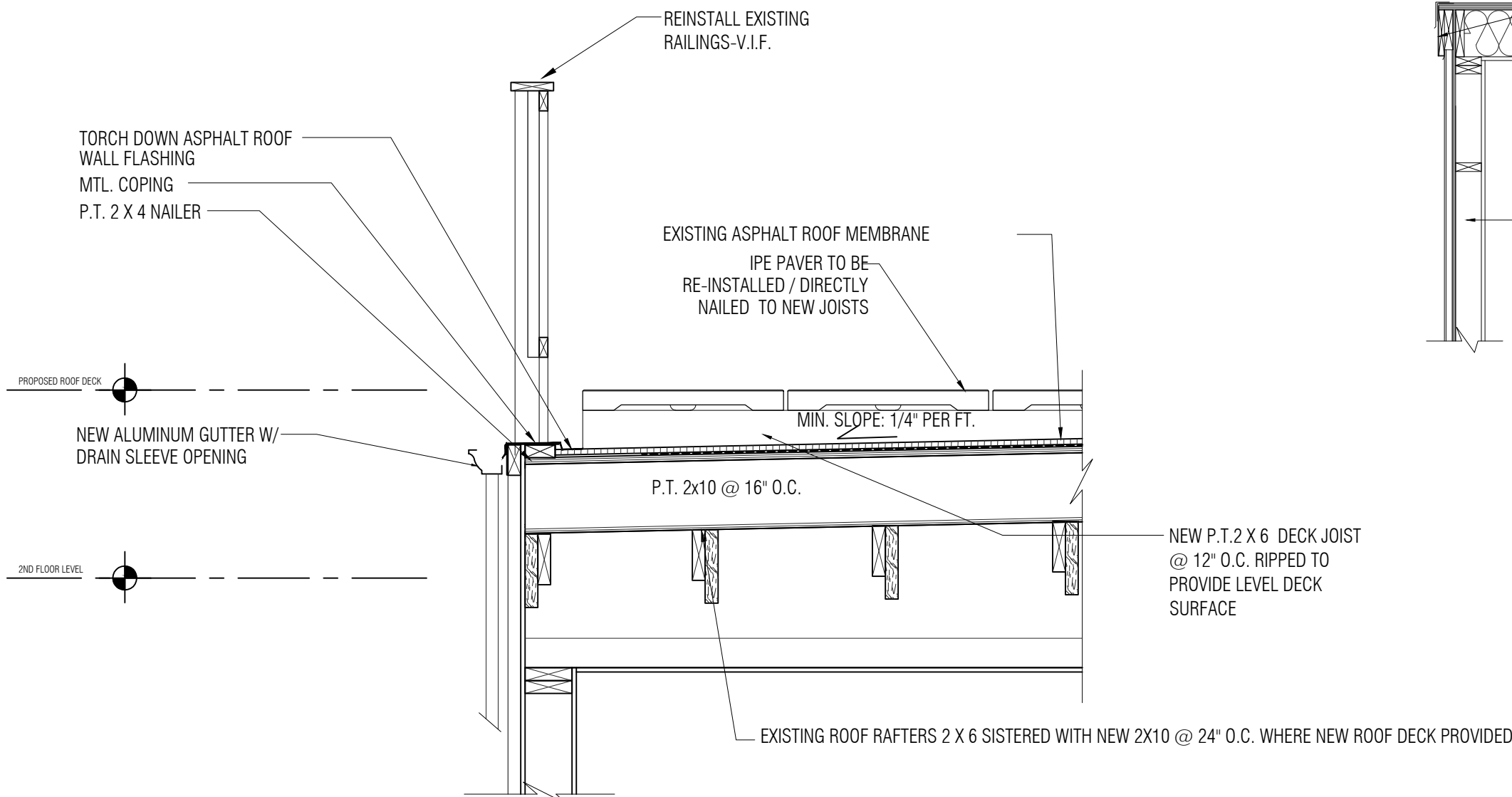
- ALL ELECTRICAL WORK IS TO BE PERFORMED IN ACCORDANCE WITH THE NATIONAL ELECTRICAL CODE, LATEST EDITION, NEW JERSEY UNIFORM CONSTRUCTION CODE, NEW JERSEY UNIFORM FIRE CODE, AND PSE&G REQUIREMENTS.
- ALL ELECTRICAL WORK IS TO BE PERFORMED BY AN ELECTRICAL CONTRACTOR LICENSED IN THE STATE OF NEW JERSEY.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS AS WELL AS SCHEDULING AND OBTAINING ALL NECESSARY INSPECTIONS OF THE WORK BY LOCAL AUTHORITIES HAVING JURISDICTION.
- INSTALL NEW MAIN SERVICE CONNECTIONS TO THE BUILDING, WITH NEW MAIN DISCONNECT, EXTERIOR CONDUIT AND CONDUCTORS AS NECESSARY.
- REFER TO DIAGRAMS FOR GENERAL ARRANGEMENT OF ELECTRICAL SERVICE EQUIPMENT.
- COORDINATE LAYOUT OF ELECTRICAL SERVICE EQUIPMENT WITH G.C. AND TELEPHONE/ CABLE TV UTILITIES PRIOR TO INSTALLATION TO COORDINATE ARRANGEMENT OF EQUIPMENT ON PANEL.
- ALL ELECTRICAL FIXTURES AND EQUIPMENT ARE TO BE AS CHOSEN OR SUPPLIED BY OWNER.
- ALL WIRING IS TO BE RUN CONCEALED IN WALL, FLOOR OR CEILING CONSTRUCTION. FIRE CAULK AND SEAL ALL WIRE PENETRATIONS THROUGH FIRE RATED PARTITIONS OR FLOOR-CEILING ASSEMBLIES. FIRE SEALING OF PENETRATIONS IS THE ELECTRICAL SUBCONTRACTOR'S RESPONSIBILITY.
- ALL WIRING FROM EXTERIOR TO SERVICE ENTRANCE EQUIPMENT IS TO BE INSULATED COPPER WIRE IN NON-METALLIC CONDUIT.
- THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING ALL ELECTRICAL WORK IN THE DWELLING UNITS, AND VERIFYING THE CONTINUITY AND GROUNDING OF EACH BRANCH CIRCUIT AND THE PROPER OPERATION OF ALL DEVICES.
- PROVIDE ENGRAVED PLASTIC NAMEPLATES AT EACH METER, PANEL AND INSIDE EACH PANEL IDENTIFYING THE AREA SERVED BY EACH CIRCUIT.
- PROVIDE GROUNDINGS FOR SERVICE ENTRANCE AS PER NEC SECTION 250. UTILIZING DRIVEN GROUND ROD, CONNECTION TO BUILDING MAIN WATER SERVICE, CONNECTION TO BUILDING STEEL AND CONNECTION TO NEW FOUNDATION REINFORCING. COORDINATE CABLE CONNECTION TO FOUNDATION REINFORCING WITH FOUNDATION SUBCONTRACTOR.
- ALL INTERIOR WIRING IS TO BE:
 - NON-METALLIC SHEATHED CABLE WITH INSULATED COPPER WIRE WITHIN DWELLING UNITS ONLY.
 - ALL WIRING THAT WILL BE EXPOSED IN THE FINISHED CONSTRUCTION MUST BE IN CONDUIT. WIRING THAT WILL BE CONCEALED BY FINISHED CONSTRUCTION MAY BE IN ARMORED METAL CABLE.
 - ALL EXTERIOR AND SERVICE ENTRANCE WIRING IS TO BE RUN IN NON-METALLIC CONDUIT OR EMT.
- NO PROPOSED WORK WITHIN BUILDING COMMON AREAS EXCEPT FOR HVAC CONDENSER.
- ALL COUNTERTOP RECEPTACLES SHALL HAVE GFCI PROTECTION, AS WELL AS ANY RECEPTACLES WITHIN 6 FT. OF ANY SINK.
- ALL TOILET ROOM RECEPTACLES SHALL HAVE GFCI PROTECTION.
- ALL OUTDOOR RECEPTACLES SHALL BE WEATHER-PROOF AND HAVE GFCI PROTECTION.
- ALL DWELLING UNIT RECEPTACLES EXCEPT THOSE IN THE BATHROOM AND KITCHEN SHALL BE PROVIDED WITH ARC FAULT CIRCUIT INTERRUPTER PROTECTION.
- ALL DWELLING UNIT RECEPTACLES SHALL BE TAMPER RESISTANT.
- LIGHTING FIXTURES, SWITCHES AND OUTLETS SHALL BE CHOSEN BY OWNER. FINAL LIGHTING FIXTURE LOCATIONS TO BE VERIFIED BY OWNER IN FIELD.
- ALL ELECTRICAL FIXTURES ARE TO BE CHOSEN OR SUPPLIED BY OWNER.
- CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH EXISTING CONDITIONS IN FIELD AND PROVIDE HIS ASSESSMENT OF EXISTING ELECTRICAL INSTALLATION WITH REGARDS TO PROPOSED INSTALLATION, AND SHALL NOTIFY THE OWNER/ARCHITECT.
- CONTRACTOR TO FIELD VERIFY THAT ALL BEDROOMS AND LIVING AREAS ARE EQUIPPED WITH SMOKE DETECTORS, INTERCONNECTED WITHIN APARTMENT UNITS. CARBON MONOXIDE DETECTORS SHALL BE INSTALLED WITHIN APARTMENT ALONG HALLWAYS, 10 FEET MAXIMUM FROM ANY BEDROOM DOOR.

WOOD CONSTRUCTION NOTES:

- ALL SAWN LUMBER SHALL BE MIN. DOUGLAS FIR, NO. 2 GRADE, SURFACE DRY WITH 1 % MAXIMUM MOISTURE CONTENT. $F_b = 1,250$ PSI MIN.
- STRUCTURAL MEMBERS SHALL NOT BE CUT FOR PIPES, ETC. UNLESS SPECIFICALLY NOTED OR APPROVED BY ARCHITECT IN ADVANCE.
- PLYWOOD SHALL BE EXTERIOR TYPE WITH GLUE (CDX) DPFA TRADEMARK STAMPED AND CONFORMING TO PS-1-83. ALL STRUCTURAL LUMBER AND FASTENINGS SHALL CONFORM TO THE NATIONAL DESIGN SPECIFICATION FOR STRESS-GRADE LUMBER AND ITS FASTENINGS. FOLLOW RECOMMENDED FASTENING SCHEDULE, BOCA BASIC BUILDING CODE, APPENDIX C.
- PLYWOOD MAY BE NAILED WITH THE USE OF AIR POWERED GUNS. THE NAIL SHALL BE WELL DRIVEN BUT IN NO CASE SHALL THE DRIVING OF THE NAILS BREAK THE FACE OF THE PLYWOOD SHEET. PLYWOOD SHEETS WITH BROKEN OR SPLIT FACES SHALL BE REMOVED AND NEW SHEETS PLACED AS DIRECTED, ALL AT THE EXPENSE OF THE CONTRACTOR.
- DOUBLE UP ALL FRAMING AROUND OPENINGS.
- PROVIDE BUILT-UP 2X4 POSTS AT GIRDERS UNLESS OTHERWISE NOTED AND PROVIDE SOLID BLOCKING DOWN TO FOUNDATION TYPICAL.
- ALL HEADERS TO BE A MIN. OF (2) 2X10's, UNLESS OTHERWISE NOTED.
- ALL EXTERIOR EXPOSED LUMBER TO BE ACQ PRESSURE TREATED (ALKALINE COPPER QUATERNARY).
- ALL FASTENERS TO BE COMPATIBLE W/ ACQ LUMBER. VERIFY ACCEPTABLE FASTENERS, LAG BOLTS, FLASHING, ETC. FASTENERS & CONNECTORS TO BE STAINLESS STEEL, HOT DIPPED ZINC GALVANIZED & TRIPLE ZINC COATED (ELECTROPLATED) OR APPROVED EQUAL.
- ALL MICROLLAMS AND/ OR PARALLAMS CALLED OUT FOR ON THESE PLANS TO HAVE A MIN. FIBER STRESS OF 2,800 PSI AND A MIN. MOD. OF ELASTICITY OF 2,000,000.

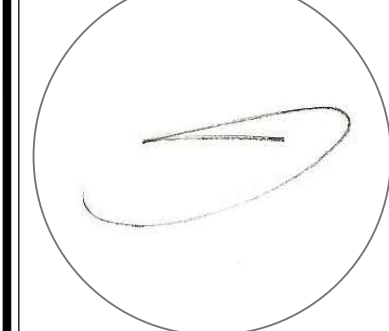
DRYWALL AND FINISH NOTES

- REFER TO PARTITION AND WALL TYPE SCHEDULE FOR PARTICULARS OF WALL CONSTRUCTION AND DRYWALL TYPES TO BE USED.
- ALL NEW DRYWALL SURFACES ARE TO BE TAPED AND 3 COAT COMPOUNDED SMOOTH AND FREE OFF ALL IRREGULARITIES.
- ALL NEW DRYWALL IS TO BE PRIMED WITH DRYWALL PRIMER SEALER AND PAINTED TWO FINISH COATS OF LATEX AS CHOSEN BY OWNER.
- ALL PAINT COLORS ARE TO BE AS CHOSEN BY OWNER.
- TRIM:
 - BASE MOULDINGS: PROVIDE AND INSTALL NEW 7-1/2" WOOD BASE OR EQUIVALENT BASE CHOSEN BY OWNER.
 - WINDOW AND DOOR CASING: PROVIDE AND INSTALL MITERED 3-1/2" COLONIAL WOOD CASE MOULDINGS. AT WINDOWS, PROVIDE WOOD INTERIOR STOOL WITH BULLNOSED EDGE WITH CASE MOULDING BELOW OR EQUIVALENT CASING CHOSEN BY OWNER.
 - FINISH: ALL NEW WOOD TRIM SHALL BE CLEAR PINE OR POPLAR (NO FINGER JOINTED MATERIAL). STAIN ALL MOULDINGS AND GIVE TWO COATS OF SATIN FINISH, WATER BASED POLYURETHANE.
- FLOORING:
 - PROVIDE AND INSTALL NEW WOOD FLOORING OR EQUIVALENT CHOSEN BY OWNER AT BEDROOM, LIVING, DINING AREA & KITCHEN AREA. INSTALL NEW 1/4" TH. CERAMIC TILE FLOORING AT EXISTING BATHS AND MECH. ROOM. INSTALL 1/2" CEMENT BOARD BASE. INSTALL TILE USING THINSET MORTAR OVER CEMENTBOARD. TILE AND GROUT COLOR TO BE AS SELECTED BY OWNER.
- BATHROOM WALLS:
 - PROVIDE NEW 1/4" THICK CERAMIC WALL TILE PLANT HEIGHT IN TUB ENCLOSURE AND 48" HIGH ON ALL BATHROOM WALLS WHERE NEEDED- SEE THE PROPOSED BATHROOM ELEVATIONS. PROVIDE SCHLUTER EDGE TRIM AT TOP EXPOSED EDGE OF WAINSCOT TILE.
- CEILINGS:
 - ALL CEILINGS ARE TO HAVE 5/8" GYPSUM BOARD INSTALLED. TAPE, COMPOUND SMOOTH, PRIME AND PAINT TWO COATS OF FLAT LATEX WHITE CLG. PAINT. GYP. BD. SCREWS ARE TO FASTEN GYP. BD. TO EXISTING JOISTS.



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PROPOSED ADDITION OF EXISTING SINGLE FAMILY DWELLING

ADDRESS:
114 WAVERLY STREET
JERSEY CITY,
NEW JERSEY 07304

BLOCK: 4902
LOT: 38

FOR:

REVISIONS:

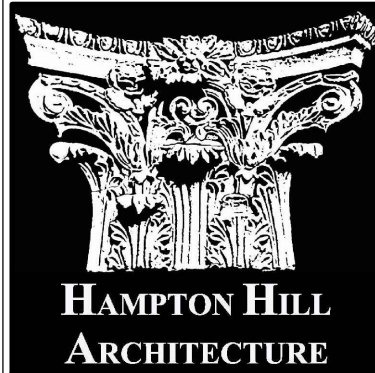
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SHEET TITLE:
EXISTING FLOOR PLANS
& NOTES/ DETAILS

SHEET No.

A-1



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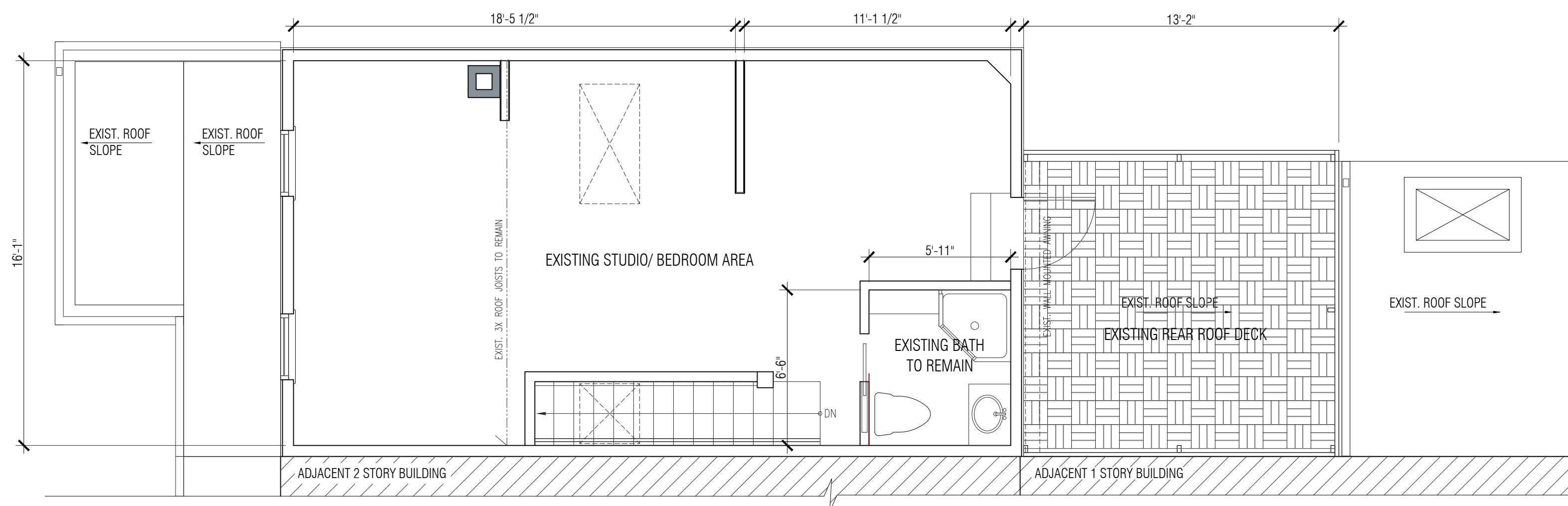
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& ELEVATIONS

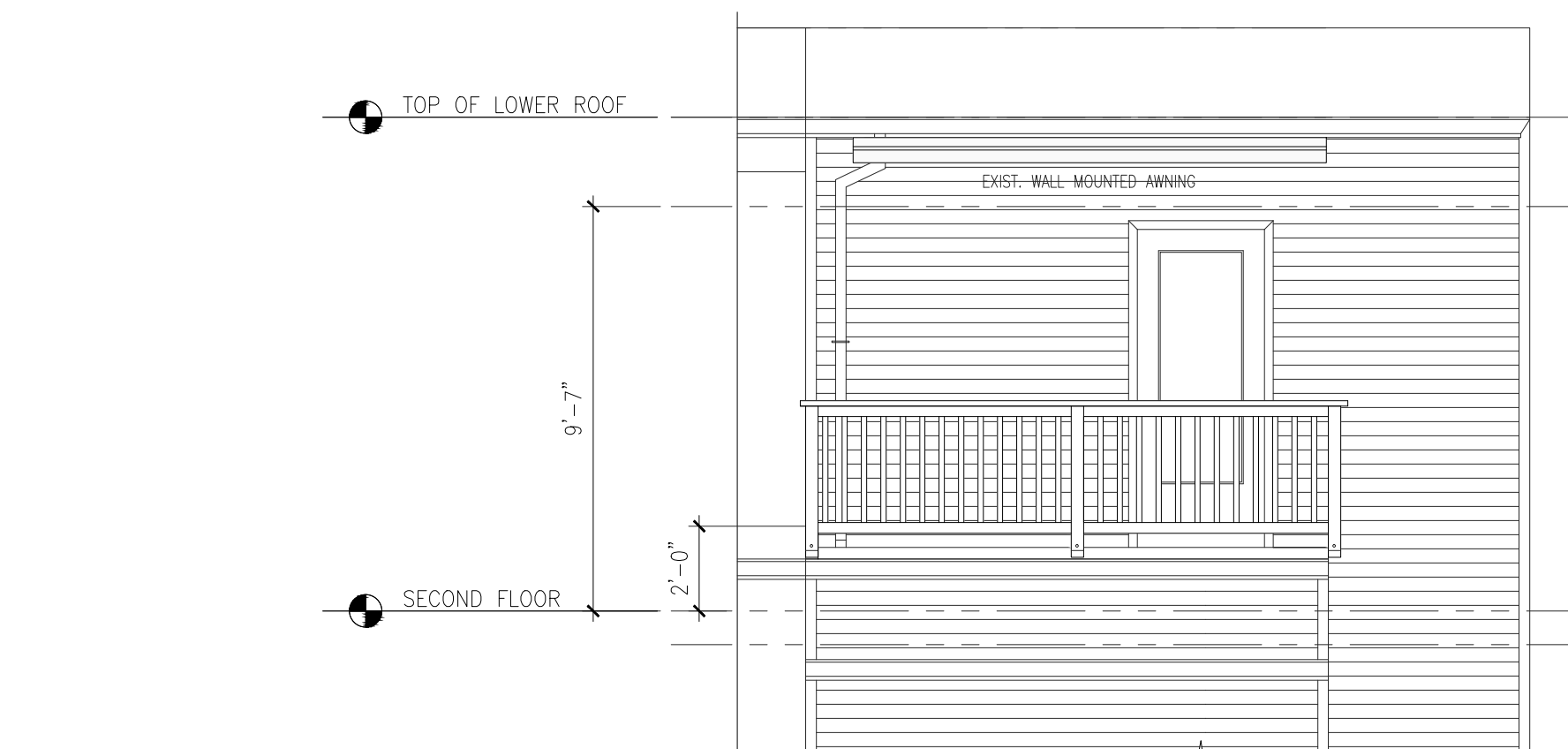
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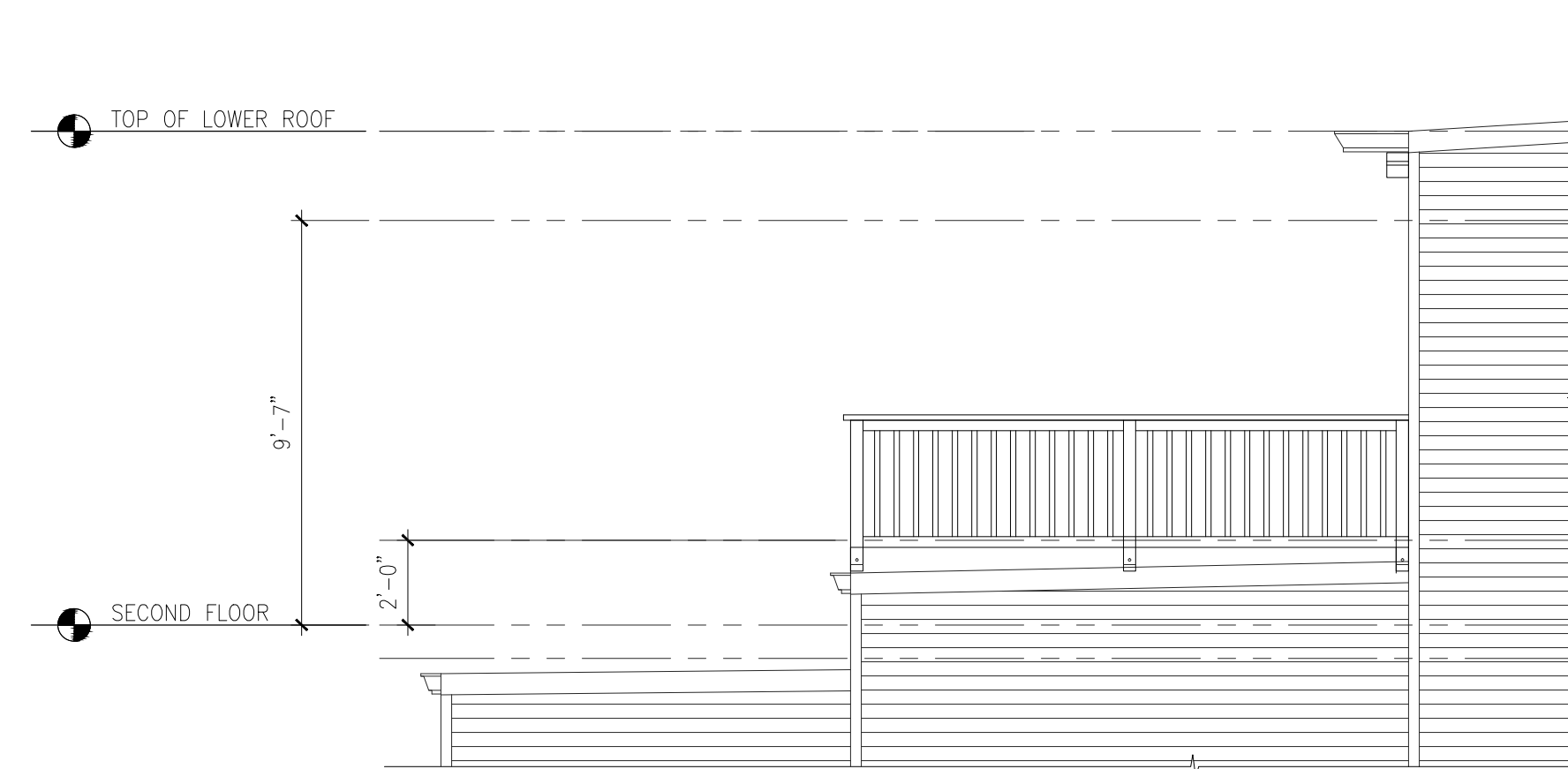


1 EXISTING SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

482 SF



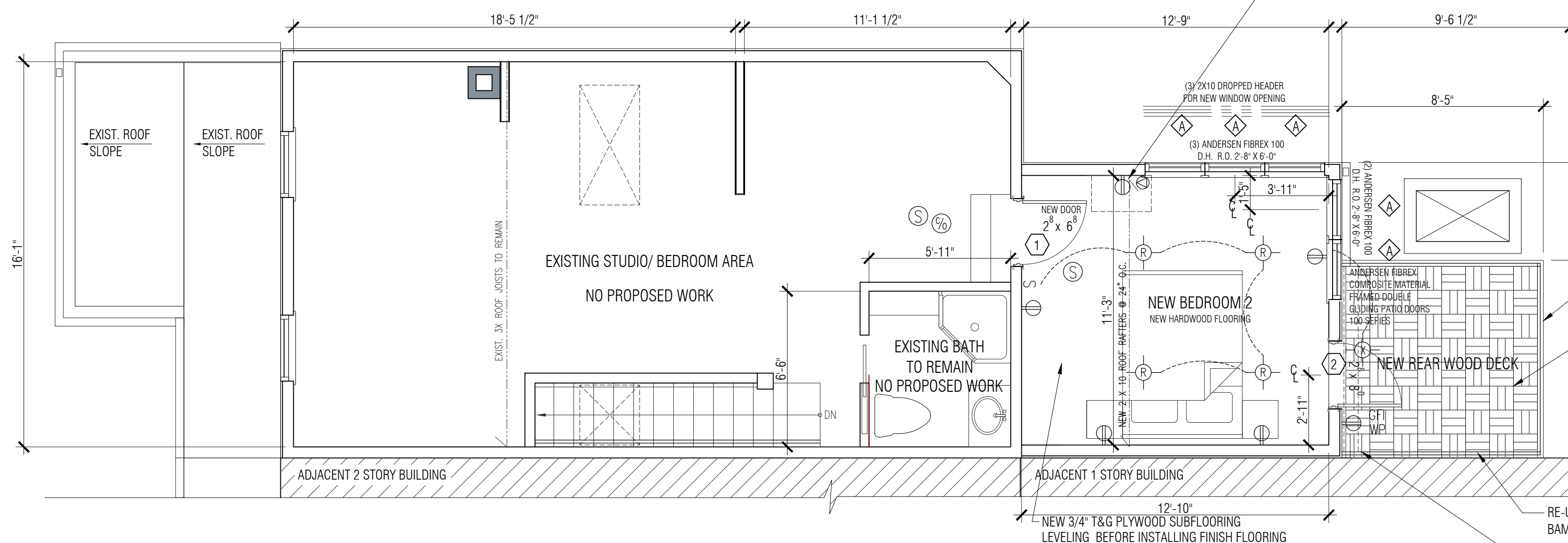
2 EXISTING PARTIAL REAR ELEVATION
SCALE: 1/4" = 1'-0"



3 EXISTING SIDE ELEVATION
SCALE: 1/4" = 1'-0"

PATIO DOOR / WINDOW NOTES

- GLAZING TO BE LOW-E COATED WITH THE FOLLOWING NFRC THERMAL PERFORMANCE TO MEET CLIMATE ZONE SPECIFIC IECC MINIMUMS:
U-VALUE: = EQUAL TO OR < 0.35
SHGC: = EQUAL TO OR < 0.40
- WINDOWS TO BE FACTORY MULLED AS SHOWN.
- WINDOW EXTERIOR / INTERIOR TO BE FACTORY FINISHED.
- ALL WINDOW SILLS AND TRIM TO PAINT GRADE WOOD.
- PROVIDE ALL SHIMS, HARDWARE, BLOCKING, CAULK ETC. AS REQUIRED FOR A COMPLETE INSTALLATION.
- ALL WINDOWS TO MEET OR EXCEED THE STC RATINGS AS SPECIFIED BELOW:
ALL WINDOWS: STC 28
- ALL GLAZING TO BE DOUBLE GLAZED, INSULATED, PILKINGTON ENERGY ADVANTAGE LOF CLEAR LOW-E.
- CONTRACTOR RESPONSIBLE TO FIELD VERIFY ALL OPENINGS PRIOR TO FABRICATION.
- * REFER TO ELEVATIONS FOR WINDOW OPERABILITY



4 PROPOSED SECOND FLOOR PLAN
SCALE: 1/4" = 1'-0"

EXISTING GROSS FLOOR AREA: 482 SF
PROPOSED NEW ADDITION AREA: 164 SF

PARTITION & WALL TYPES

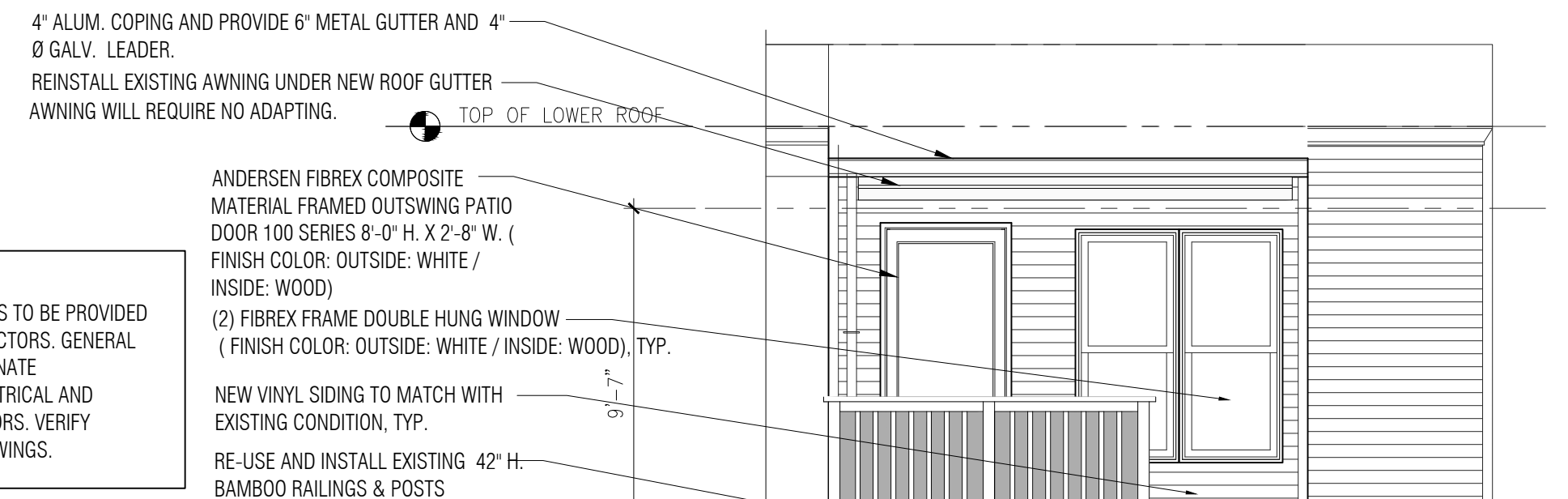
- NEW UN-RATED INTERIOR FRAME PARTITION:
NEW 2" X 4" WOOD STUD @ 16" O.C. W/ NEW 1/2" TH. GYPSUM BOARD EACH SIDE.
- EXISTING UN-RATED INTERIOR FRAME WALL:
EXISTING 2" X 4" WOOD STUD @ 16" O.C. W/ NEW 1/2" TH. GYPSUM BOARD EACH SIDE.
- NEW 1HR RATED EXTERIOR LOAD-BEARING FIRE WALL:
NEW 2" X 6" WOOD STUD @ 16" O.C. W/ NEW F.R. 5/8" TH. GYPSUM BOARD. INSTALL 5-1/2" R-21 KRAFT FACED FIBERGLASS BATT INSULATION
- EXISTING WALL TO BE REMOVED

DOOR SCHEDULE:

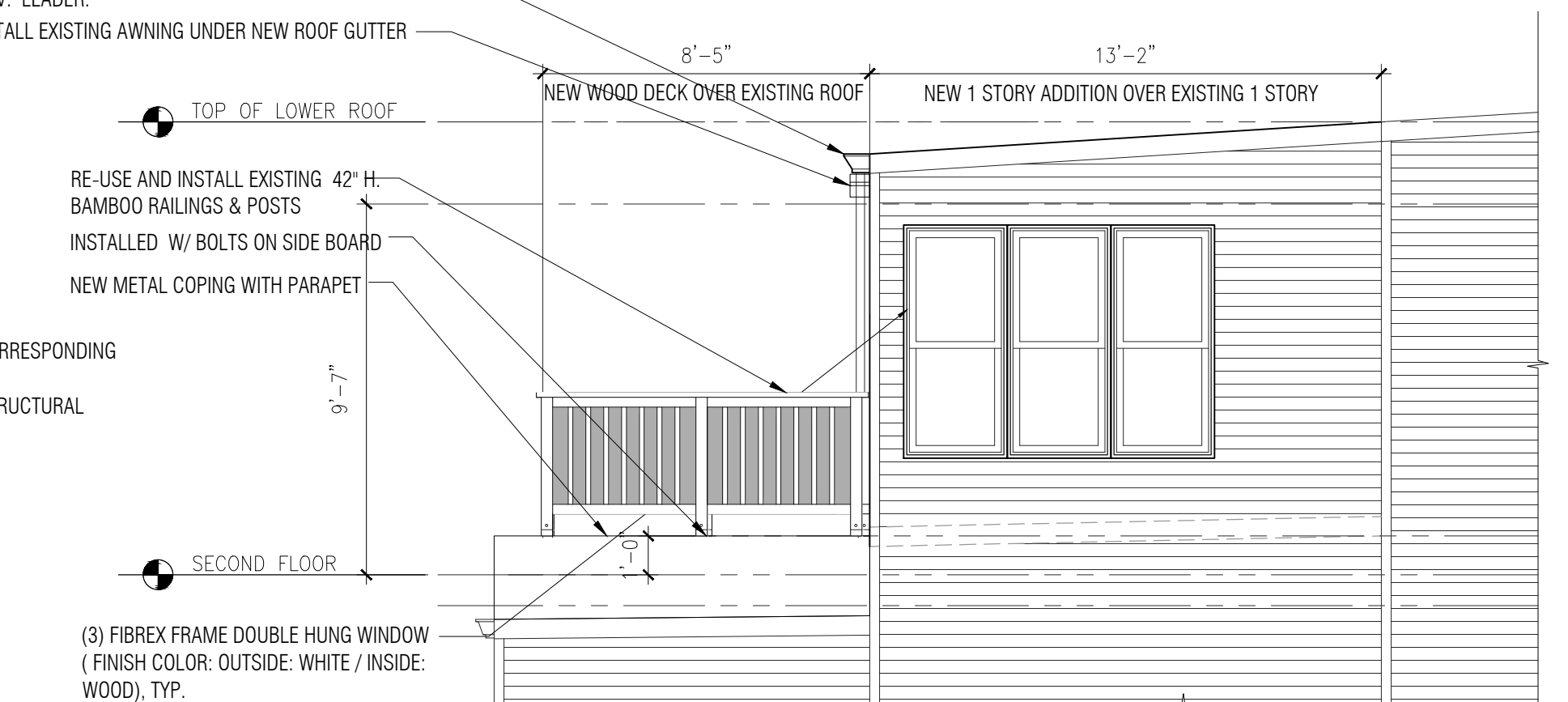
- NEW PRE-HUNG, SOLID WOOD, FLUSH PANEL SWINGING BEDROOM DOOR AND FRAME:
1-1/2" PAIR HINGES, OAK SADDLE, INTERIOR PRIVACY LOCKSET, 3-1/2" COLONIAL CASING.
- NEW ANDERSEN FIBREX COMPOSITE MATERIAL FRAMED EXTERIOR PATIO SWING DOOR W/ FULL GLASS PANEL AND FRAME: CHOSEN BY OWNER W/ 1-1/2" PAIR SPRING HINGES, ALUMINUM SADDLE, FULL WEATHERSTRIPPING, EXTERIOR LOCKSET W/ INSIDE THUMBBLATCH.

ELECTRICAL SYMBOLS:

- | | | | |
|---|--|--|--|
| NEW DUPLEX RECEPTACLE | NEW WALL MOUNTED EXTERIOR LIGHT FIXTURE | NEW ETHERNET CONNECTION | NEW SMOKE DETECTOR - LOW VOLTAGE |
| NEW GROUND FAULT INTERRUPTER RECEPTACLE | NEW SINGLE POLE SWITCH | NEW PROGRAMMABLE THERMOSTAT | -INTERCONNECT IN UNIT W/BATTERY BACKUP |
| NEW EXTERIOR WATERPROOF DUPLEX RECEPTACLE | NEW THREE-WAY SWITCH | NEW COMBINATION MICROWAVE & RECIRCULATING RANGE HOOD | NEW CARBON MONOXIDE DETECTOR |
| NEW CEILING MOUNTED LIGHT FIXTURE | NEW SINGLE POLE EMERGENCY FURNACE SWITCH | NEW ELECTRICAL PANEL | -INTERCONNECT W/BATTERY BACKUP |
| NEW WALL MOUNTED LIGHT FIXTURE | NEW HARDWIRED APPLIANCE | | |
| | NEW CABLE TV JACK | | |



5 PROPOSED REAR ROOF DECK & REAR ELEVATION
SCALE: 1/4" = 1'-0"



6 PROPOSED REAR ROOF DECK & SIDE ELEVATION
SCALE: 1/4" = 1'-0"