

DIVISION OF CITY PLANNING
1 Jackson Square
JERSEY CITY, NJ 07302
TEL: 201.547-5010
FAX: 201.547.4323

Receipt of Documents

This will serve to confirm that on, August 28, 2020, the Division of City Planning was in receipt of documents filed by Patrick T. Conlon, for:

**Application for Preliminary and Final Major Site Plan
Approval with "c" and "d" variances
130 Summit Avenue
Block 15305, Lot 11.02**

The land use review staff of the Division will review this submission for compliance with the City's requirements under the Zoning Ordinance and other applicable ordinances.

You will be notified within 45 days of the date listed above if the documents provided constitute a valid application. You will also be notified within this time period of the planning and zoning issues staff believes are relevant to the proposed Project, as well as our proposed recommendations to the Planning Board or Zoning Board of Adjustment.

We endeavor to reduce the statutorily allowed 45 day review period to the absolute minimum we need to certify the validity of your submittal. Please be informed that pursuant to NJSA 40:55D-10.3., and Chapter 345-22 through 345-25 of the Jersey City Code; your case cannot and will not be scheduled for a hearing date until the documents are determined to be a valid application and it is deemed complete by the Director of the Division of City Planning. **Please do not advertise or mail notice for a public hearing on this case until you are given a calendar date for the hearing by this office.** Mailing such notice without a scheduled date only serves to confuse and sometimes anger the members of the public who receive such notices.

If there are any questions in this regard, please direct them to the following personnel:

Planning Board: Matt Ward, 201-547- 5010

Zoning Board of Adjustment, Tanya Marione, 201-547-5488

If there are any problems or complaints about the manner in which your application is being processed, please direct your call to Maryann Bucci-Carter, Supervising Planner at 547-4499.

Signature of Staff Member Receiving Documents: _____

Signature of Person Filing Documents: _____


Patrick T. Conlon, Esq.

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1 Jackson Square
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Signature of Staff Member Receiving Documents: _____

Signature of Person Filing Documents: _____

Patrick T. Conlon, Esq.

BLDGUP MANAGEMENT LLC
339-345 NEWARK AVE STE 1
JERSEY CITY NJ 07302

1003

55-33/212 NJ
90078

8/19/2020 Date

Pay To The
Order Of

Precision Reporting

\$ 250.00

Two hundred fifty and 00/100

Dollars

BANK OF AMERICA

ACH R/T 021200339

For

[Signature]

⑆021200339⑆ 381054146215⑈1003

Endorsements

Photo
Safe
Deposit
Data on back

BLDGUP MANAGEMENT LLC
339-345 NEWARK AVE STE 1
JERSEY CITY NJ 07302

1001

55-33/212 NJ
90078

8/19/2020 Date

Pay To The
Order Of

City of Jersey City

\$ 150.00

One hundred fifty and 00/100

Dollars

BANK OF AMERICA

ACH R/T 021200339

For Planning fee

[Signature]

⑆021200339⑆ 381054146215⑈1001

Photo
Safe
Deposit
Data on back



A TRADITION OF LEGAL EXCELLENCE SINCE 1938

Connell Foley LLP
Harborside 5
185 Hudson Street, Suite 2510
Jersey City, NJ 07311
P 201.521.1000 F 201.521.0100

Patrick T. Conlon
Associate

August 28, 2020

VIA E-MAIL AND FEDERAL EXPRESS

Attn: Tanya Marione, Director of Planning
Jersey City Division of Planning
City of Jersey City, City Hall Annex
1 Jackson Square a/k/a 360 MLK Drive
Jersey City, NJ 07305-3717

**Re: 130 Summit Avenue, Block 15305, Lot 11.02
Jersey City, New Jersey
BLDGup Management LLC
Application for Preliminary and Final Major Site Plan Approval with
“c” and “d” variances**

Dear Ms. Marione:

Please be advised, this office represents BLDGup Management LLC (the “Applicant”). Applicant is the contract purchaser of 130 Summit Avenue, also identified as Block 15305, Lot 11.02 on the Official Tax Map of the City of Jersey City (the “Property”). The Property is located within the R-1 One and Two Family Housing zoning district (the “R-1 Zone”) and is subject to the requirements of the Jersey City Land Development Ordinance (the “JC LDO”).

The Property an irregularly shaped lot of 28,233 square feet. The Property is currently comprised of a church and a vacant lot. The church, known as St. John’s Episcopal Church was constructed in 1870 and is considered one of Jersey City’s finest gothic revival influenced religious buildings. The church is listed on the NJ DEP Historic Preservation Office’s Register of Historic Places. The church has been vacant since 1994 and has fallen into severe disrepair; the building is structurally unstable, portions of the roof have collapsed, and the interior of the church has been exposed to the elements for several years. See photos within the enclosed plans for photos of the existing conditions.

Applicant intends to rehabilitate and restore the existing church and to adaptively re-use it for residential use. The Applicant further proposes to construct two (2) new residential buildings that will be connected to the church. Both of the new buildings will be five (5) stories and sixty (60) feet and one-half inch (60’—1/2”) and the entire structure will contain eighty-two (82) new residential units (66 units will be in the newly constructed buildings and 16 will be constructed in the existing church), thirty (30) ground floor parking spaces, a rooftop

amenity space, and bicycle parking (the "Project"). The three (3) buildings associated with the Project (the existing church and two new residential buildings) will be connected.

An application to the Jersey City Historic Preservation Commission has been submitted simultaneously with this application.

In conjunction with the Project, Applicant requests that the Board grant the following deviations from the JC LDO pursuant to N.J.S.A. 40:55D-70:

1. A variance pursuant to N.J.S.A. 40:55D-70(d)(1) from Section 345-40.B. of the JC LDO to permit a multi-family residential building in the R-1 Zone;
2. A variance pursuant to N.J.S.A. 40:55D-70(c), or in the alternative, N.J.S.A. 40:55D-70(d)(6) from Section 345-40.E.8. of the JC LDO to permit a five (5) story, 60'—1/2" tall building, where the maximum permitted height is three (3) stories, 44' tall.
3. Any other bulk variances pursuant to N.J.S.A. 40:55D-70(c) from Section 345-40 associated with the curb cut width and drive aisle width; and
4. Any additional approvals, permits, variances, interpretations, waivers or exceptions reflected in the plans and materials filed (as same may be amended or revised from time to time without further notice) or determined to be necessary during the review and processing of this application.

Please find attached the following as a supplement to the above-referenced requests:

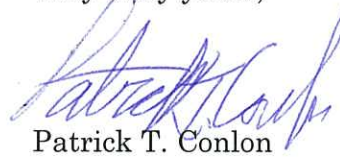
1. One (1) original, revised, and executed General Development Application (the "Application");
2. One (1) full size set of architectural and civil site plans prepared by Inglese Artchitecture + Engineering, dated August 11, 2020 containing fifty (50) pages for your review;
3. One (1) copy of a draft notice to be distributed by mail and posted within the Jersey Journal pursuant to N.J.S.A. 40:55D-12;
4. Affidavit of Ownership;
5. Affidavit of Performance;
6. Ownership Disclosure;
7. Stormwater Management Report dated August 11, 2020;
8. Stormwater Management Maintenance Plan dated August 11, 2020;
9. Check for \$150 representing the initial application fee; and
10. Check for \$250 representing the fee for Precision Reporting.

Please note that the following will be submitted under separate cover: additional Site Plans to comply with the requirements of the General Development Application Checklist; Property Survey; letter of rejection from the City Zoning Officer; Certificate of Taxes Paid; an affidavit pursuant to N.J.S.A. 40:55D-12; a Statement of Principal Points and the

remaining application balance will be submitted under separate cover. Applicant requests waivers from the Checklist Requirement to provide a Certificate of Water Bills Paid.

If you have any questions regarding this application, please do not hesitate to contact the undersigned.

Very truly yours,



Patrick T. Conlon

PTC/



CITY OF JERSEY CITY GENERAL DEVELOPMENT APPLICATION ("GDA")



1 Jackson Square, 2nd floor, Jersey City NJ 07305 | P:201-547-5010 | cityplanning@jcnj.org

THIS SECTION TO BE COMPLETED BY CITY STAFF ONLY

Intake Date:

Application No.

Date Validated as an Application for Development:

Date Deemed Complete:

1. SUBJECT PROPERTY

Address: 130 Summit AvenueBlock & Lots: 15305 / 11.02Ward: F

2. BOARD DESIGNATION

☐ Planning Board☒ Zoning Board of Adjustment

3. APPROVALS BEING SOUGHT

<input type="checkbox"/> Conceptual Plan/Informal Review	<input checked="" type="checkbox"/> "c" variance(s)/Deviation	<input type="checkbox"/> "A" appeal
<input type="checkbox"/> Minor Site Plan	<input checked="" type="checkbox"/> (d) variance(s): use, density, etc.	<input type="checkbox"/> Waiver of Site Plan Requirements
<input checked="" type="checkbox"/> Preliminary Major Site Plan	<input type="checkbox"/> Minor Subdivision	<input type="checkbox"/> Interpretation ("B" appeal)
<input checked="" type="checkbox"/> Final Major Site Plan	<input type="checkbox"/> Prelim. Major Subdivision	<input type="checkbox"/> Site Plan Amendment
<input type="checkbox"/> Conditional Use	<input type="checkbox"/> Final Major Subdivision	<input type="checkbox"/> Other (fill in) _____

4. PROPOSED DEVELOPMENT

Name & Nature of Use (describe project)

Applicant intends to rehabilitate and restore the existing church and to adaptively re-use it for residential use. The Applicant plans to construct two new five story residential buildings that will be connected to the existing church. The Project proposes eighty-two (82) residential units and thirty (30) parking spaces.

5. VARIANCE/ DEVIATION NOTES

Sections of the Land Development Ordinance or Redevelopment Plan from which relief is requested (List Variances/Deviations):

Use; height; curb cut width; drive aisle width.

Applicant's reasons for the Planning Board or Board of Adjustment to grant relief:

Benefits outweigh any substantial detriments; see Principal Points for further reasoning.

6. APPLICANT

BLDGup Management LLC c/o Ben LoPiccolo

Applicant's Name

551-258-4011

Phone

Fax

337 Newark Ave

Street Address

Jersey City NJ

City

State

07302

Zip

info@bldgup.com

e-Mail address

7.
OWNER

Garden State Episcopal Development Corp.

Owner's Name

201-209-9301

Phone

Fax

118 Summit Avenue

Street Address

Jersey City NJ

07304

City

State

Zip

jrestrepo@gsecdc.org

e-mail address

8.
APPLICANT'S
ATTORNEY

Charles J. Harrington, III

Attorney's Name

Connell Foley, LLP

Firm's Name

201-521-1000

Phone

Fax

185 Hudson Street

Street Address

Jersey City NJ

07311

City

State

Zip

charrington@connellfoley.com

e-mail address

9.
PLAN
PREPARERS

Jak Inglese, GE02999700

Engineer's Name & License Number

Inglese Architecture + Engineering

Firm's Name

201-438-0081

Phone

Fax

632 Pompton Avenue

Street Address

Cedar Grove NJ

07009

City

State

Zip

j.inglese@inglese-ae.com

e-mail address

J. Peter Borbas, 24GS03165300

Surveyor's Name & License Number

Borbas Surveying & Mapping LLC

Firm's Name

973-316-8743

Phone

Fax

402 Main Street

Street Address

Boonton NJ

07005

City

State

Zip

peter.borbas@borbas.com

e-mail address

TBP

Planner's Name & License Number

Firm's Name

Phone

Fax

Street Address

City

State

Zip

e-mail address

Jak Inglese, AI00846900

Architect's Name & License Number

Inglese Architecture + Engineering

Firm's Name

201-438-0081

Phone

Fax

632 Pompton Avenue

Street Address

Cedar Grove NJ

07009

City

State

Zip

j.inglese@inglese-ae.com

e-mail address

10.
SUBJECT
PROPERTY
DESCRIPTION

Site Acreage (square footage and dimensions):

28,233 sf IRR x IRR (dimensions)

Zone District(s):

R-1-One and Two Family Housing

Present use: Vacant lot and church

Redevelopment Area:

Historic District:

Check all that
apply for present
conditions:
☒ Conforming Use
☐ Conforming Structure
☐ Vacant Lot

☐ Non-Conforming Use
☐ Non-Conforming Structure

What is your FEMA flood zone and base flood elevation (BFE)?:

Zone X, BFE not applicable

Check all that Apply:

☒ Application for a new building on
undeveloped tract

☒ Application for new use of
existing building

☐ Application for use of a
portion of a building

Is the subject building or property on the list of properties eligible for the Historic Register?

☒ yes ☐ no
Is demolition proposed? ☒ yes ☐ no If yes, is building 150+ years old? ☐ yes age: 150 ☐ no

Number of New Buildings: 2

Height table:	Existing		Proposed	
	Stories	Feet	Stories	Feet
Building	2	79	5	76.33 / 60'-1/2"
Addition/Extension				
Rooftop Appurtenances				14.2
Accessory Structures				

Square Footage of applicable building(s) for this project by use:		
Residential	72,971	sf
Retail		sf
Office		sf
Industrial		sf
Parking Garage	12,417	sf
Other		sf
TOTAL:	85,388	sf

Number of dwelling units (if applicable):		
Studio	32	units
1 bedroom	42	units
2 bedroom	8	units
3 bedroom		units
4+ bedroom		units
TOTAL:	82	units

Number of lots before subdivision:	N/A
Number of lots after subdivision:	N/A

% of lot to be covered by buildings:	74.75	%
% of lot to be covered by buildings & pavement:	87.12	%
Gross floor area (GFA):	85,388	sf
Floor Area Ratio (FAR):	3.02	

11. PARKING & SIGNAGE

Number of parking spaces & dimensions: number: 30 / Dimensions: 9x18
 Number of loading spaces & dimensions: number: 0 / Dimensions:

Number of Signs: N/A
 Height of monument and/or pylon signs: N/A

12. INFRA- STRUCTURE

WATER		
Is public water being extended to the tract and/or reused? If yes, specify size and material.	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Size	(2) 6"	
Material	DIP	
Does the existing water service have a curb stop?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is there existing combined fire/domestic service?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is there existing domestic service only?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is new water service being proposed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is there new combined fire/domestic service?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is there new domestic service only?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
SEWER		
Is existing sewer service proposed to be reused? If yes, specify size and material.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Size		
Material		
Will there be sewer curb cleanout?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Are minimum slope requirements satisfied as per National Standard Plumbing Code?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is new sewer service proposed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Are storm drains proposed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Are any new streets or utility extensions proposed?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
MISC		
Are existing streets being widened	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Are utilities underground	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is site in a flood plain?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Is soil removal or fill proposed? If yes, specify total in cubic yards.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No <u> </u>
Are any structures being removed?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is the application for additional buildings and/or improvements to a tract having existing buildings and/or improvements?	<input checked="" type="checkbox"/> Yes	<input type="checkbox"/> No
Is the property within 200 feet of an adjacent municipality? If yes, which?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Municipalities:		
Is the property on a County Road?	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Are there deed restrictions, covenants, and/or easements affecting the tract? If yes, attach 2 copies.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No
Are there any performance guarantees and/or maintenance agreements with the City Council? If yes, attach 2 copies.	<input type="checkbox"/> Yes	<input checked="" type="checkbox"/> No

**13.
TYPE OF
DEVELOPMENT**

REQUIRED FOR ALL DEVELOPMENT APPLICATIONS	Total number of new residential units created	Total number of affordable housing units* created	Total number of residential units demolished
New structure containing residential units	66	0	0
Conversion from a non-residential structure to a structure containing residential units	16	0	0
Conversion from market rate housing units to NJ COAH defined affordable housing units	0	0	0

*According to NJ COAH definitions at *N.J.A.C. 5:94 et seq.*

	Moderate Income	Low Income	Very Low Income	Age Restricted	Rental Units
Number of affordable housing units created*	0	0	0	0	0

*According to NJ COAH definitions at *N.J.A.C. 5:94 et seq.*

Use Group Description (These descriptions are pursuant to NJ Council on Affordable Housing N.J.A.C. 5:94 Appendix E, and are for the sole purpose of calculating affordable housing obligation.)	Gross Floor Area of New Construction	Gross Floor Area of Demolition
B: Office buildings. Places where business transactions of all kinds occur. Includes banks, corporate offices, government offices, professional offices, car showrooms and outpatient clinics.	0	0
M: Mercantile uses. Buildings used to display and sell products. Includes retail stores, strip malls, shops and gas stations.	0	0
F: Factories where people make, process, or assemble products. F use group includes F1 and F2.	0	0
S: Storage uses. Includes warehouses, <u>parking garages</u> , and lumberyards. S group includes S1 and S2.	12,417	0
H: High Hazard manufacturing, processing, generation and storage uses. H group includes H1, H2, H3, H4 and H5.	0	0
A1: Assembly uses including concert halls and TV studios.	0	0
A2: Assembly uses including casinos, night clubs, restaurants and taverns.	0	0
A3: Assembly uses including libraries, lecture halls, arcades, galleries, bowling alleys, funeral parlors, gymnasiums and museums, but excluding houses of worship	0	0
A4: Assembly uses including arenas, skating rinks and pools.	0	0
A5: Assembly uses including bleachers, grandstands, amusement park structures and stadiums	0	0
E: Schools K – 12	0	0
I: Institutional uses such as hospitals, nursing homes, assisted living facilities and jails. I group includes I1, I2, I3 and I4.	0	0
R1: Hotels, motels and dormitories	0	0
U: Miscellaneous uses. Fences, tanks, sheds, greenhouses, etc.	0	0

14.
APPROVAL
HISTORY

List all past approvals, denials, appeals, or other activity for the subject property. ☐ Check here if none
If there are previous approvals, attach 2 copies of the approving resolution.

	CITY JOB/CASE NUMBER	APPROVED	DENIED	DATE
Subdivision	Z15-045	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1/21/2016
Site Plan	Z15-046	<input checked="" type="checkbox"/>	<input type="checkbox"/>	1/21/2016
Variance(s)		<input type="checkbox"/>	<input type="checkbox"/>	
Building Permit		<input type="checkbox"/>	<input type="checkbox"/>	

15.
FEES
(see attached fee
schedule)

STAFF CALCULATIONS ONLY	
Subdivision	\$
Site Plan	\$
Variance(s)	\$
TOTAL DUE	\$
Amount Paid	\$
BALANCE DUE	\$

16.
ATTACHMENTS

Please Attach the required additional forms and information, if applicable (see attached **FORMS** and **CHECKLISTS**)

17.
CERTIFICATION

I certify that the foregoing statements and the attached materials submitted are true. I further certify that I am the individual applicant or that I am an Officer of the Corporate Applicant and that I am authorized to sign the application for the Corporation or that I am a General Partner of the Partnership Applicant. I hereby permit authorized City official to inspect my property in conjunction with this application.

Sworn to and subscribed before me this date

August 27, 2020

Signature of Applicant *Atty. for Applicant*

Property Owner Authorizing Application if
other than Applicant

Robert J. Conklin
Notary Public *Atty. at Law*

18.
CONTACT

Jersey City Division of City Planning
1 Jackson Square, 2nd Floor
Jersey City NJ 07305
P:201-547-5010
cityplanning@jcnj.org

**RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE # Z15-046**

FOR: PRELIMINARY AND FINAL MAJOR SITE PLAN
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE
BLOCK 15305, LOT 11

WHEREAS, as an application was made by Garden State Episcopal Community Development Corp. for Case Z15-046 for preliminary and final major site plan at Block 15305, Lot 11 which is commonly known as 118 Summit Avenue, in the City of Jersey City, New Jersey, County of Hudson, represented by Eugene P. O'Connell, Esq., Architect John Inglese, Architect Alex Merlucci and Planner John Leoncavallo appearing; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City held a hearing on such application at its meeting on November 12, 2015, carried from October 15, 2015; and

WHEREAS, it appears that due notice of said hearing on the above application before the Planning Board of the City of Jersey City on November 12, 2015, carried from October 15, 2015 at the City Council Chamber, City Hall, 280 Grove Street, Jersey City, New Jersey was duly served as prescribed in the Land Development Ordinance of the City of Jersey City and Municipal Land Use Law; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City considered the evidence presented and testimony of the Applicant, Garden State Episcopal Community Development Corp., Attorney Eugene P. O'Connell, Architects John Inglese and Alex Merlucci and Planner John Leoncavallo, on behalf of the application, and did review the plans submitted in support of preliminary and final major site plan; with no persons appearing in opposition to this application.

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City after careful consideration of the testimony presented by the applicant as well as the comments and recommendations of the Board's Staff, and having made the following finding of fact, reached the below conclusions:

1. Applicant is owner of the property.
2. The site consists of an existing church with an adjacent vacant lot next to and behind it.
3. Applicant has submitted an application to the Zoning Board of Adjustment for subdivision of existing lot - Block 15305, Lot 11, to be subdivided into two (2) lots: Block 1617, Lot 6A and Lot 6B.
4. The proposed project is for construction of two new five-story additions on the vacant lots. The new buildings will interconnect to the church.

5. The following variances are required: D-1 to allow for multiple dwelling in a R-1 district. D-6 variance for height as original height is exceeded by 10 percent. Twelve (12) "c" variances due to age of existing church which was built in 1870.
6. Applicant has received approval from the Historic District Commission.
7. The land goals from the City's Master Plan will be facilitated by this application. Residential neighborhoods will be preserved and protected. The project provides for a range of housing density appropriate for the character of the existing neighborhood, and promotes low and moderate/medium-density residential housing. The project furthers the intent and purpose of the Municipal Land Use Law in that it will have especially good civic design and arrangements. Public transportation is easily accessible from this location.

NOW THEREFORE, BE IT RESOLVED, that the Zoning Board of Adjustment of the City of Jersey City unanimously approves the application for preliminary and final major site plan, Case # Z15-046 for the foregoing reasons, as well as those stated on the record by Board Members which are incorporated herein by reference, subject to the following conditions:

- 1) All materials and color selections shall be shown on final plans. No change to the facade and site design, including materials as well any changes that may be required by the Office of Construction Code Official, shall be permitted without consultation with and approval by planning staff and Historic Preservation Officer prior to application for construction permits.
- 2) The revised plans shall be submitted showing refuse location and details of removal path. Revised plans shall be submitted with the addition of a designated bike storage with a minimum of 24 bike spaces.
- 3) All street trees shall be installed prior to issuance of a certificate of occupancy in accordance with 345-66.
- 4) All testimony given by the applicant and their expert witnesses in accordance with this application shall be binding.
- 5) A copy of the memorialized resolution with amended deed shall be filed with the Hudson County Register's Office with proof of such filing to be submitted to the Division of City Planning prior to application for construction permits.

**RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE #Z15-046**

FOR: PRELIMINARY AND FINAL MAJOR SITE PLAN
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE, JERSEY CITY, NEW JERSEY
BLOCK: 15305, LOT 11

DATE OF HEARING: NOVEMBER 12, 2015

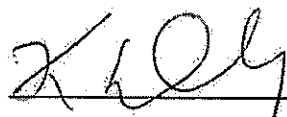
VOTE: 7

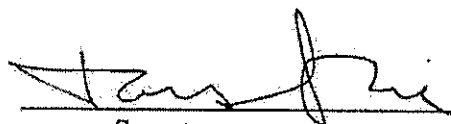
VOTING IN FAVOR: 7

COMMISSIONERS: Joshua Jacobs, Acting Chariman
Kate Donnelly
Donna McMahon
Ahmed Shedeed
Glenis Polanco-Rodriguez
Saqib Mushtaq
Darius Filak

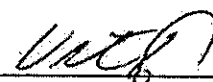
VOTING AGAINST: 0

ABSTAINING: 0


_____, Chair
Zoning Board of Adjustment
City of Jersey City


_____, Secretary
Zoning Board of Adjustment City of Jersey

APPROVED AS TO LEGAL FORM:



Vincent LaPaglia, Esq.
Attorney for the Board

DATE OF MEMORIALIZATION:



1/21/16

**RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE # Z15-045**

FOR: SUBDIVISION OF THE PARSONAGE FROM CHURCH AND
PARKING LOT
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE
BLOCK 15305, LOT 11

WHEREAS, as an application was made by Garden State Episcopal Community Development Corp. for Case Z15-045 for subdivision of the parsonage from the church and parking lot at Block 15305, Lot 11 which is commonly known as 118 Summit Avenue, in the City of Jersey City, New Jersey, County of Hudson, represented by Eugene P. O'Connell, Esq., Architect John Inglese, Architect Alex Merlucci and Planner John Leoncavallo appearing; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City held a hearing on such application at its meeting on November 12, 2015, carried from October 15, 2015; and

WHEREAS, it appears that due notice of said hearing on the above application before the Planning Board of the City of Jersey City on November 12, 2015, carried from October 15, 2015 at the City Council Chamber, City Hall, 280 Grove Street, Jersey City, New Jersey was duly served as prescribed in the Land Development Ordinance of the City of Jersey City and Municipal Land Use Law; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City considered the evidence presented and testimony of the Applicant, Garden State Episcopal Community Development Corp., Attorney Eugene P. O'Connell, Architects John Inglese and Alex Merlucci and Planner John Leoncavallo, on behalf of the application, and did review the plans submitted in support of the subdivision of the parsonage from the church and parking lot; with no persons appearing in opposition to this application.

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City after careful consideration of the testimony presented by the applicant as well as the comments and recommendations of the Board's Staff, and having made the following finding of fact, reached the below conclusions:

1. Applicant is owner of the property.
2. The existing lot - Block 15305, Lot 11 is being subdivided into two (2) lots: Block 1617, Lot 6A and Block 1617, Lot 6B.
3. Applicant has made an application to the City of Jersey City Zoning Board of Adjustment for Preliminary and Final Major Site Plan approval to rehabilitate, convert and expand and existing Historic Landmarked church as a residential community use.
4. Applicant has received approval from the Historic District Commission.

NOW THEREFORE, BE IT RESOLVED, that the Zoning Board of Adjustment of the City of Jersey City approves the application for Case # Z15-045 for subdivision of the parsonage from the church and parking lot for the lot known as Block 15305, Lot 11 into two lots to be identified as Block 1617, Lot 6A and Lot 6B for the foregoing reasons, as well as those stated on the record by Board Members which are incorporated herein by reference.

**RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE #Z15-045**

FOR: APPLICATION SUBDIVISION FROM CHURCH AND PARKING LOT
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE, JERSEY CITY, NEW JERSEY
BLOCK: 15305, LOT 11

DATE OF HEARING: NOVEMBER 12, 2015

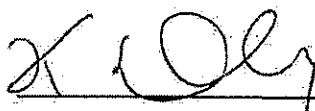
VOTE: 7

VOTING IN FAVOR: 7

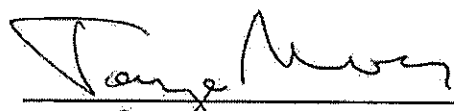
COMMISSIONERS: Joshua Jacobs, Acting Chariman
Kate Donnelly
Donna McMahon
Ahmed Shedeed
Glenis Polanco-Rodriguez
Saqib Mushtaq
Darius Filak

VOTING AGAINST: 0

ABSTAINING: 0




Chair
Zoning Board of Adjustment
City of Jersey City



Secretary
Zoning Board of Adjustment City of Jersey

APPROVED AS TO LEGAL FORM:



Vincent LaPaglia, Esq.
Attorney for the Board

DATE OF MEMORIALIZATION:



11/21/16

CORRECTORY
RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE # Z15-046

FOR: PRELIMINARY AND FINAL MAJOR SITE PLAN
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE
BLOCK 15305, LOT 11

WHEREAS, as an application was made by Garden State Episcopal Community Development Corp. for Case Z15-046 for preliminary and final major site plan at Block 15305, Lot 11 which is commonly known as 118 Summit Avenue, in the City of Jersey City, New Jersey, County of Hudson, represented by Eugene P. O'Connell, Esq., Architect John Inglese, Architect Alex Merlucci and Planner John Leoncavallo appearing; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City held a hearing on such application at its meeting on November 12, 2015, carried from October 15, 2015; and

WHEREAS, it appears that due notice of said hearing on the above application before the Planning Board of the City of Jersey City on November 12, 2015, carried from October 15, 2015 at the City Council Chamber, City Hall, 280 Grove Street, Jersey City, New Jersey was duly served as prescribed in the Land Development Ordinance of the City of Jersey City and Municipal Land Use Law; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City considered the evidence presented and testimony of the Applicant, Garden State Episcopal Community Development Corp., Attorney Eugene P. O'Connell, Architects John Inglese and Alex Merlucci and Planner John Leoncavallo, on behalf of the application, and did review the plans submitted in support of preliminary and final major site plan; with no persons appearing in opposition to this application.

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City after careful consideration of the testimony presented by the applicant as well as the comments and recommendations of the Board's Staff, and having made the following finding of fact, reached the below conclusions:

1. Applicant is owner of the property.
2. The site consists of an existing church with an adjacent vacant lot next to and behind it.
3. Applicant has submitted an application to the Zoning Board of Adjustment for subdivision of existing lot - Block 15305, Lot 11, to be subdivided into two (2) lots: Block 15305, Lot 11.01 and Lot 11.02.

4. The proposed project is for construction of 47 residential units on the vacant lots. The new buildings will interconnect to the church.
5. The following variances are required: D-1 to allow for multiple dwelling in a R-1 district. D-6 variance for height as original height is exceeded by 10 percent. Twelve (12) "c" variances due to age of existing church which was built in 1870.
6. Applicant has received approval from the Historic District Commission.
7. The land goals from the City's Master Plan will be facilitated by this application. Residential neighborhoods will be preserved and protected. The project provides for a range of housing density appropriate for the character of the existing neighborhood, and promotes low and moderate/medium-density residential housing. The project furthers the intent and purpose of the Municipal Land Use Law in that it will have especially good civic design and arrangements. Public transportation is easily accessible from this location.

NOW THEREFORE, BE IT RESOLVED, that the Zoning Board of Adjustment of the City of Jersey City unanimously approves the application for preliminary and final major site plan, Case # Z15-046 for the foregoing reasons, as well as those stated on the record by Board Members which are incorporated herein by reference, subject to the following conditions:

- 1) All materials and color selections shall be shown on final plans. No change to the facade and site design, including materials as well any changes that may be required by the Office of Construction Code Official, shall be permitted without consultation with and approval by planning staff and Historic Preservation Officer prior to application for construction permits.
- 2) The revised plans shall be submitted showing refuse location and details of removal path. Revised plans shall be submitted with the addition of a designated bike storage with a minimum of 24 bike spaces.
- 3) All street trees shall be installed prior to issuance of a certificate of occupancy in accordance with 345-66.
- 4) All testimony given by the applicant and their expert witnesses in accordance with this application shall be binding.
- 5) A copy of the memorialized resolution with amended deed shall be filed with the Hudson County Register's Office with proof of such filing to be submitted to the Division of City Planning prior to application for construction permits.

CORRECTORY
RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE #Z15-046

FOR: PRELIMINARY AND FINAL MAJOR SITE PLAN
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE, JERSEY CITY, NEW JERSEY
BLOCK: 15305, LOT 11

DATE OF HEARING: NOVEMBER 12, 2015


VOTE: 7


VOTING IN FAVOR: 7

COMMISSIONERS: Joshua Jacobs, Acting Chariman
Kate Donnelly
Donna McMahon
Ahmed Shedeed
Glenis Polanco-Rodriguez
Saqib Mushtaq
Darius Filak

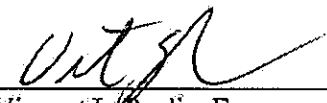
VOTING AGAINST: 0

ABSTAINING: 0


_____, Chair
Zoning Board of Adjustment
City of Jersey City

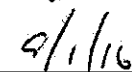

_____, Secretary
Zoning Board of Adjustment City of Jersey

APPROVED AS TO LEGAL FORM:



Vincent LaPaglia, Esq.
Attorney for the Board

DATE OF MEMORIALIZATION:



9/1/16

CORRECTORY
RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE # Z15-045

FOR: SUBDIVISION OF THE PARSONAGE FROM CHURCH AND
PARKING LOT
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
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WHEREAS, The Zoning Board of Adjustment of the City of Jersey City held a hearing on such application at its meeting on November 12, 2015, carried from October 15, 2015; and

WHEREAS, it appears that due notice of said hearing on the above application before the Planning Board of the City of Jersey City on November 12, 2015, carried from October 15, 2015 at the City Council Chamber, City Hall, 280 Grove Street, Jersey City, New Jersey was duly served as prescribed in the Land Development Ordinance of the City of Jersey City and Municipal Land Use Law; and

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City considered the evidence presented and testimony of the Applicant, Garden State Episcopal Community Development Corp., Attorney Eugene P. O'Connell, Architects John Inglese and Alex Merlucci and Planner John Leoncavallo, on behalf of the application, and did review the plans submitted in support of the subdivision of the parsonage from the church and parking lot; with no persons appearing in opposition to this application.

WHEREAS, The Zoning Board of Adjustment of the City of Jersey City after careful consideration of the testimony presented by the applicant as well as the comments and recommendations of the Board's Staff, and having made the following finding of fact, reached the below conclusions:

1. Applicant is owner of the property.
2. The existing lot - Block 15305, Lot 11 is being subdivided into two (2) lots: Block 15305, Lot 11.01 and Lot 11.02.
3. Applicant has made an application to the City of Jersey City Zoning Board of Adjustment for Preliminary and Final Major Site Plan approval to rehabilitate, convert and expand and existing Historic Landmarked church as a residential community use.
4. Applicant has received approval from the Historic District Commission.

NOW THEREFORE, BE IT RESOLVED, that the Zoning Board of Adjustment of the City of Jersey City approves the application for Case # Z15-045 for subdivision of the parsonage from the church and parking lot for the lot known as Block 15305, Lot 11 into two lots to be identified as Block 15305, Lot 11.01 and Lot 11.02 for the foregoing reasons, as well as those stated on the record by Board Members which are incorporated herein by reference.

CORRECTORY
RESOLUTION OF THE ZONING BOARD OF ADJUSTMENT OF
THE CITY OF JERSEY CITY
CASE #Z15-045

FOR: APPLICATION SUBDIVISION FROM CHURCH AND PARKING
LOT
APPLICANT: GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.
ADDRESS: 118 SUMMIT AVENUE, JERSEY CITY, NEW JERSEY
BLOCK: 15305, LOT 11

DATE OF HEARING: NOVEMBER 12, 2015

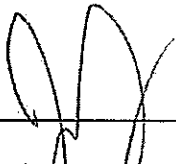
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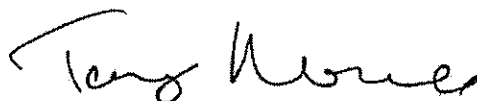
VOTING IN FAVOR: 7

COMMISSIONERS: Joshua Jacobs, Acting Chairman
Kate Donnelly
Donna McMahon
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Glenis Polanco-Rodriguez
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Darius Filak

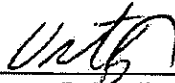
VOTING AGAINST: 0

ABSTAINING: 0


_____, Chair
Zoning Board of Adjustment
City of Jersey City

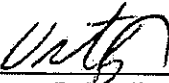

_____, Secretary
Tanya Mariane
Zoning Board of Adjustment City of Jersey

APPROVED AS TO LEGAL FORM:



Vincent LaPaglia, Esq.
Attorney for the Board

DATE OF MEMORIALIZATION:



9/1/16



**JERSEY CITY HISTORIC PRESERVATION COMMISSION
CONDITIONAL CERTIFICATE OF APPROPRIATENESS**

118 Summit Avenue H15-379

(The former) Saint John's Episcopal Church

Individual Municipal Landmark

Key Contributing Resource State & National Register Eligible

Bergen Hill Historic District

Adaptive Re-use, New Construction of Residential Addition

Applicant:

Garden State Episcopal Development CDC
118 Summit Avenue
Jersey City, NJ 07304

Owner:

Episcopal Fund & Diocese Properties c/o Lanterman
31 Mulberry Street
Newark, NJ 07102

A Certificate of Appropriateness is granted for the adaptive re-use and rehabilitation of the former *Saint John's Church*, individual landmark and Gothic Revival Church built circa 1870 with later additions and modifications reflecting the Ecclesiological Movement within the Anglican Communion. The Commission, noting the exquisite siting and architecture of the church at 118 Summit Avenue and its important religious, cultural and social contributions to the City notes that conversion to residential units and community assembly space, as well as the construction of a new residential addition to the East and North of the building, will help to preserve the church and will allow for future generations to appreciate this otherwise redundant and neglected building for generations to come.

Noting that the drawings before us are preliminary, especially as regards the residential additions, and are in some aspects of design and construction conceptual, staff made a recommendation to approve the application conditionally to allow for review by the Jersey City Zoning Board regarding the requested variances. This conditional approval requires completion of drawings showing all materials, methods, details and specifications at the exterior or in any way affecting the exterior, of the new additions and especially the resource itself to be re-presented to and approved by the JCHPC during a subsequent appearance before the Commission after ZBA approval for the requested variances have been granted. The Secretary of the Interior's Standards and Guidelines for Rehabilitation and the Guidelines and Standards for Restoration as applicable shall guide the appropriate work at the Church. The Standards for New Construction shall guide work at the additions.

This Certificate is granted, provided that:

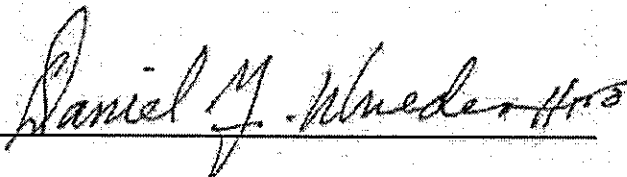
1. The applicant and the architect understand that this approval is granted pending the approval of the required variances and that this Certificate of Appropriateness may be rescinded if the Zoning Board does not grant approval. Likewise, this Certificate is valid only upon the submission of revised drawings to the HPC and their approval under an amended application. Completion of these drawings shall consist of noting all methods, materials, details and specifications as noted in the ordinance. Further revised and updated drawings approved by the HPC, under an amended Certificate are to be the prerequisite for the granting of Construction Permits.
2. The architect, John C. Inglese, shall be retained for the work of completing the drawings as noted above.
3. The architect, John C. Inglese, shall also be retained during construction and shall submit a signed and sealed letter representing and noting that site construction was consistent with work approved under the final Certificate of Appropriateness before the issuance of a Certificate of Occupancy.

Continued Over

4. After approval of revised drawings by the Jersey City HPC, construction drawings, noting materials and finishes, cross referenced with the material sample board, are to be reviewed by, approved by and signed by the Historic Preservation Officer for compliance with the issued Certificate of Appropriateness before construction permits are applied for and issued.
5. Upon final approval of this Certificate by the HPC, any deviations from the granted approval must be approved by the HPC, except in cases of emergency affecting the public safety, health and welfare. Requests for deviations from this or any future Certificate of Appropriateness granted by the HPC are to be submitted through written request of the architect.

Certificate of Appropriateness Number H15-379 Approved 6-0-0 Issued 9/21/2015 Expires 9/21/2016

Erin Burns-Maine, Chair Irina Bereznaya, Commissioner

A handwritten signature in dark ink, reading "Daniel M. Wrieden H.P.O.", is written over a horizontal line.

Attest: Daniel M. Wrieden, Historic Preservation Officer


AFFIDAVIT OF PERFORMANCE

STATE OF NEW JERSEY)
)ss.
COUNTY OF Hudson)

I, Kevin Kansagra, hereby certify that the Site Plans submitted to the Jersey City Planning Board for the property located at 130 Summit Avenue, Jersey City, New Jersey, and also known as Block 15305, Lot 11.02, on the Jersey City Tax Maps, are a full and complete representation of the Site Plans and that they shall be completed as submitted.



Kevin Kansagra, o/b/o BLDGup Management LLC

Sworn to before me this 24
of August 2020


Notary Public Att. at law

AFFIDAVIT OF OWNERSHIP

STATE OF NEW JERSEY)
)ss.
COUNTY OF Hudson)

I, Carol Mori, on behalf of GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP., being of full age, duly sworn according to law on his oath deposes and says, I am an executive director/authorized signatory of GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP., and as the duly executive director/authorized signatory of GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP., has the authority to act on behalf of GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP., and that GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP. maintains an office located at 118 Summit Ave, Jersey City, NJ 07304, and that GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP. is the owner in fee of all that certain lot, piece or parcel of land situated, lying and being in the City of Jersey City aforesaid, and known and designated as:

**130 Summit Avenue
Jersey City, New Jersey
Block 15305, Lot 11.02**

and that, on behalf of the owner, authorizes:

BLDGup Management LLC

to make the annexed application on its behalf.



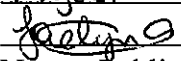
Carol Mori

Executive Director/Authorized Signatory

o/b/o GARDEN STATE EPISCOPAL COMMUNITY DEVELOPMENT CORP.

Sworn to before me this 21 day of

August, 2020



Notary Public

Jocelyn Arce-Flores
NOTARY PUBLIC
State of New Jersey
My Commission Expires 1/3/2025

OWNERSHIP DISCLOSURE STATEMENT OF

BLDGup Management LLC

PURSUANT TO N.J.S.A. 40:55D-48.1

Subject Property: 130 Summit Avenue
Block 15305, Lot 11.02
Jersey City, New Jersey

<u>APPLICANT</u>	<u>MEMBER(S)</u>	<u>PERCENTAGE INTEREST</u>
BLDGup Management LLC c/o Ben LoPiccolo 339-345 Newark Ave, Ste I Jersey City, NJ 07302	Ben LoPiccolo Development Group LLC 109 Laurel Hill Rd Mountain Lakes, NJ 07046	50%
	Mile Square Capital Group LLC 1125 Maxwell Ln, Apt 914 Hoboken, NJ 07030	50%

**NOTICE OF HEARING
PURSUANT TO N.J.S.A. 40:55D-12
FOR THE PROPERTY LOCATED AT
130 SUMMIT AVENUE, JERSEY CITY, NEW JERSEY,
ALSO IDENTIFIED AS BLOCK 15305, LOT 11.02**

PLEASE TAKE NOTICE that on Thursday, _____, 2020, at 6:30 pm, a virtual public hearing will be held by the Jersey City Zoning Board of Adjustment on live webcast regarding the application of BLDGup Management LLC (the "Applicant"), for Preliminary and Final Major Site Plan Approval with regard to the property located at 130 Summit Avenue, Jersey City, New Jersey, also known on the Jersey City Tax Maps as Block 15305, Lot 11.02 ("Property"). The Property is located within the R-1 One and Two Family Housing zoning district ("R-1 Zone").

The Property an irregularly shaped lot of 28,233 square feet. The Property is currently comprised of a church and a vacant lot. The church, known as St. John's Episcopal Church was constructed in 1870 and is considered one of Jersey City's finest gothic revival influenced religious buildings. The church is listed on the NJ DEP Historic Preservation Office's Register of Historic Places. The church has been vacant since 1994 and has fallen into severe disrepair; the building is structurally unstable, portions of the roof have collapsed, and the interior of the church has been exposed to the elements for several years. See photos within the enclosed plans for photos of the existing conditions.

Applicant intends to rehabilitate and restore the existing church and to adaptively re-use it for residential use. The Applicant further proposes to construct two (2) new residential buildings that will be connected to the church. Both of the new buildings will be five (5) stories and sixty (60) feet and one-half inch (60'—1/2") and the entire structure will contain eighty-two (82) new residential units (66 units will be in the newly constructed buildings and 16 will be constructed in the existing church), thirty (30) ground floor parking spaces, a rooftop amenity space, and bicycle parking (the "Project"). The three (3) buildings associated with the Project (the existing church and two new residential buildings) will be connected.

In connection with the Project, the Applicant is seeking the following deviations:

1. A variance pursuant to N.J.S.A. 40:55D-70(d)(1) from Section 345-40.B. of the JC LDO to permit a multi-family residential building in the R-1 Zone;
2. A variance pursuant to N.J.S.A. 40:55D-70(c), or in the alternative, N.J.S.A. 40:55D-70(d)(6) from Section 345-40.E.8. of the JC LDO to permit a five (5) story, 60'—1/2" tall building, where the maximum permitted height is three (3) stories, 44' tall.
3. Any other bulk variances pursuant to N.J.S.A. 40:55D-70(c) from Section 345-40 associated with the curb cut width and drive aisle width; and
4. Any additional approvals, permits, variances, interpretations, waivers or exceptions reflected in the plans and materials filed (as same may be amended or revised from time to time without further notice) or determined to be necessary during the review and processing of this application.

Any person interested in this application will have the opportunity to address the Planning Board at the virtual meeting on Thursday, _____, 2020 at 6:30 P.M.

via Zoom, a web-based video conference application, or by telephone using the following:

Zoom link to join meeting:	
Call-in Number and Webinar ID#:	

PLEASE TAKE FURTHER NOTICE that application materials, including digital plans, are available on the Jersey City Data Portal by searching for the address or case number at data.jerseycitynj.gov. The City of Jersey City is utilizing the Zoom service to conduct virtual meetings in compliance with the New Jersey Open Public Meetings Act. The link to the meeting and call-in information can be found on the City Planning website: <https://www.jerseycitynj.gov/planning>.

MORE INFORMATION on how to access virtual meetings, participate, provide public comment, and review agendas and digital plans and applications materials can be found on the Jersey City, Division of City Planning website at jerseycitynj.gov/planning. Any person who requires technical assistance for accessing the meeting or the Applicant's plans should contact the Planning Board Secretary for assistance at the phone number or e-mail listed below.

ANY QUESTIONS can be directed to the City Planning main line during business hours at 201-547-5010 or via email at cityplanning@jcnj.org.

By: Charles J. Harrington, III, Esq.
Connell Foley LLP
Attorney for the Applicant
BLDGup Management, LLC
201-521-1000

STORMWATER MANAGEMENT MAINTENANCE PLAN

HILLTOP VIEW AT ST. JOHNS
118 SUMMIT AVE, JERSEY CITY NJ

Adaptive Reuse and Adjacent New Construction – Historic St. John Church
With 82 Residential Units and Ground Floor Parking
Block 1617, Lots 6A & 6B
Jersey City, New Jersey

August 11, 2020



John C. Inglese AIA, PE, LEED AP

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<u>5.0</u>	Maintenance of Stormwater Management Facilities
<u>6.0</u>	Preventative Maintenance Procedures
<u>7.0</u>	Corrective Maintenance Procedures
<u>8.0</u>	Aesthetic Maintenance Procedures

1.0 Responsible Persons

Developer Information

Developer Name: BLDGup.

Developer's Address: 338 NEWARK AVE
JERSEY CITY, NJ 07302

Developer's Number: (551)-258-4011

Development Name: HILLTOP RESIDENCES AT ST. JOHN.

2.0 Purpose of Document

This stormwater maintenance manual is being prepared as a part of the Final Site Plan Approval for Hilltop residences at St. John. This project is an adaptive reuse and adjacent new construction with 82 residential units and ground floor parking garage. Buildings are located at 118 Summit Ave, Jersey City NJ. The project's official tax identification is Block 1617, Lots 6A & 6B as shown on the City of Jersey City, Hudson County, NJ Tax map. The entire tract area of the project is 28,217.72 sq. ft. (0.648-acre)

The stormwater management facility for the project consists of roof drains at building roof and a storm water retention system (Storage Pipes and Outlet Structure) which is located within the property limit (see sheet C-1.30 for layout of storm water detention system).

The developer shall maintain the facility, structures and land areas associated with the storm water management system during the construction and instillation process. After completion and approval of the facilities by the city, the maintenance and operation of the storm water management facility shall be the responsibility of the designated owner.

The storm water management facility shall be maintained in accordance with the operation and maintenance procedures outlined in this manual. This maintenance manual is in accordance with the N.J.D.E.P. Stormwater Best Management Practices Manual (September 2017), Chapters 8, 9.4, and 9.5.

3.0 Instructions for Responsible Party

The party responsible for the maintenance of the stormwater management facility shall follow through and abide by the following instructions in accordance with the NJDEP Stormwater Management Rules:

1. If there is a change in ownership, copies of this maintenance plan shall be provided to the future owner and operator of the stormwater management facility.
2. The responsible party shall provide the local mosquito control or extermination commission a copy of this maintenance manual upon request.
3. The title and date of this maintenance plan and the name, address, telephone number of the party responsible for the maintenance of the stormwater management facility must be recorded on the deed of the property on which the facilities are located. Any change in this information due, for example, to a change in property ownership, must also be recorded on the deed.
4. The party responsible for the maintenance of the stormwater management facility must evaluate this maintenance plan for effectiveness at least annually and revise, as necessary.
5. A detailed written log of all preventative and corrective maintenance performed at the stormwater management facility must be kept, including a record of all inspections and copies of maintenance-related work orders.
6. The person responsible for the maintenance of the stormwater management facility must retain and upon request, upon request, make available this maintenance plan and associated logs and other records for review by a public entity with administrative, health, environment, or safe authority over the site.

4.0 Description of Stormwater Management Facility

The stormwater management facility has been designed to provide water flow reductions for the developed site through building roof drains and above ground storm water drainage detention vault system.

The storm drainage system consists of the following components: a series of roof drains that discharges the storm water to the storm water retention pipes, and a controlled outlet structure. The outlet structure discharges the stormwater to the proposed manhole on Ocean Ave. The new roof drains, leaders are designed and sized in accordance with the National Standard Plumbing Code 2015. The lateral discharge pipes from the storm water vault to the manhole on Montgomery Street was sized based the Manning's Equation.

The following is a list of structures for the proposed on-site stormwater detention system:

1. (3) 36" Ø HDPE PIPES (300' Combined Length)
2. Roof leader system
3. Inlets
4. 12" dia. RCP discharge pipe

5.0 Maintenance of Stormwater Management Facilities

Maintenance procedures for stormwater management facility can be categorized as Functional Maintenance and Aesthetic Maintenance. Functional Maintenance includes preventative (routine) maintenance and corrective (emergency) maintenance. Aesthetic Maintenance can be considered maintenance, which enhances or maintains the visual appearance of the facilities. Aesthetic maintenance is not required for assuring the intended operation of the stormwater management facility, but it can improve the quality of life in the community and reduce the amount of required Functional Maintenance.

Maintenance Schedule			
Equipment	Inspection	Maintenance	Timetable
Control Outlet	Silt & Sediment Build Up	Plumber to verify no silt/sediment building up in the control outlet and its trash rack	Every 6 months
Inlets	Silt & Sediment Build Up	Plumber to verify no silt/sediment clogging in the inlet grate and pipes	Every 6 months
Roof Drains	Silt & Sediment Build Up	Building Super to verify drains are free flowing and clear of debris	Every 3 months
HDPE Pipes	Silt & Sediment Build Up	Plumber to verify access holes for sediment clogging water flow	Every 6 months

Note:

Building owner to hire a plumber every 6 months to provide the routine inspections to identify any silt/sediment build up that might negatively impact the operations of the stormwater system.

Building owner is required to maintain a detailed log of the plumbing inspections and perform any repairs/flushing to maintain the stormwater management system.

Cost Estimate for Maintenance Tasks			
Services	Price	Description	Timetable
Plumbing Inspection	\$400-\$500	Plumber to inspect control outlet, inlets, HDPE access holes	Every 6 months
System Flushing	\$750-\$1000	Plumber to flush pipes or outlet when excessive build up identified	As needed basis

6.0 Preventative Maintenance Procedures

The purpose of preventative maintenance is to assure that a stormwater management facility always remains operational and safe, while minimizing the need for emergency or corrective maintenance. The preventative maintenance plan for the stormwater management facility in this project should comply with the following schedule:

6.1 Vegetation Maintenance

Vegetated areas will be inspected. Any areas of dead or dry vegetation will be noted as well as any areas without ground cover. An assessment by the inspection personnel shall be made to determine the cause of any observed problems and corrective measures will be implemented and may include fertilizing, de-thatching and soil conditioning in order to maintain healthy growth. Additionally, provisions will be made to replace green roof patch to reestablish ground cover in areas damaged by severe weather conditions, stormwater flow, or other causes.

6.2 Removal and Disposal of Trash and Debris

A regular scheduled program of debris and trash removal from the stormwater management facility will reduce the chance of roof drains and outlet pipes from becoming clogged and inoperable during storm events. Trash and debris will be removed during the monthly inspections or on an as need basis whenever it is present within the system. Additionally, removal of trash and debris will prevent possible damage to pipe system and eliminate potential mosquito breeding habitats. Disposal of debris and trash must comply with all local, county, state, and federal waste flow control regulation. Only suitable disposal and recycling sites will be utilized.

6.3 Sediment Removal and Disposal

Accumulated sediment will be removed before it threatens the operation of the storage volume in the stormwater management facility. Sediment removal may be required once a year or after major storm events (if the amount of accumulated sediment requires removal). Sediment is to be removed in accordance with the manufacturer's recommendations. If a large amount of sediment has accumulated, the use of a commercial vacuum truck may be required. A commercial vacuum truck shall perform sediment removal from the stormwater detention vault. Disposal of the sediment will be performed in accordance with local and state regulations.

6.4 Parking Lot Sweeping

The parking lot should be swept once every three months or after heavy storm events as needed to remove the accumulated sediment and debris that could enter the collection system. This will reduce the volume of sediment entering the drainage system.

6.5 Mechanical Components

The detention basin of the proposed development facility has been designed to have a limited number of mechanical components. However, access hatches and cleanouts should always remain functional. Regularly scheduled maintenance will be performed in accordance with the manufacturer's recommendations. Additionally, all mechanical components will be operated at least once every three months to assure their continued performance.

6.6 Elimination of Potential Mosquito Breeding Habits

The most effective mosquito control program is one that eliminates potential breeding habitats. If proper sediment and debris removal practices are followed, water will not lay stagnant, limiting mosquito breeding habitats. Areas exhibiting stagnant ponds of water must be remedied in accordance with the inspector's recommendation.

6.7 Inspection

Regularly scheduled inspections of the facility will be performed, minimum once every three months. The primary purpose of the inspection is to ascertain the operational condition and safety of the facility, particularly the condition of roof drains, storm water vault, conveyance system, and other safety-related aspects. Inspections will also provide information on the effectiveness of regularly scheduled Preventative and Aesthetic Maintenance procedures and will help to identify any changes in the extent and scheduling of the procedures, if warranted. Finally, the facility inspections will also be used to determine the need for, and timing of, Corrective Maintenance procedures.

6.8 Reporting

The recording of all maintenance work and inspections provide valuable data on the facility condition. Review of this information will also help to establish more efficient and beneficial maintenance procedures and practices. A written log should be kept of the work performed during inspections. An annual maintenance report should be prepared summarizing the work performed during that calendar year, current condition of the vault and any improvements proposed for the upcoming year.

7.0 CORRECTIVE MAINTENANCE PROCEDURES

Corrective Maintenance may be required on an emergency or non-routine basis to correct problems or malfunctions and to restore the intended operation and safe condition of a stormwater management facility. Corrective Maintenance should be performed for stormwater detention vault in accordance with manufacturer's recommendations.

7.1 Removal of Debris and Sediment

Sediment, debris, and trash, which threaten the discharge capacity of a stormwater management facility, will be removed immediately and properly disposed of in a timely manner. Equipment and personnel must be available to perform the removal work on short notice. Debris and sediment will be disposed of off-site at a predetermined location, which accepts refuse in an appropriate manner consistent with all local, state, and federal regulations.

7.2 Structural Repairs

Structural damage shall be repaired immediately to cracks in pipes, broken or warped lids or roof drains. Equipment, materials, and personnel must be available to perform these repairs on short notice. The immediacy of the repairs will depend upon the nature of damage and its effects on the safety and operation of the facility. The analysis of structural damage and the design and performance of structural repairs shall be undertaken by qualified personnel. The industry standard of life expectancy of outlet structures is 40 years.

7.3 Embankment and Slope Repairs

Damaged embankments and side slopes will be repaired promptly. This damage can result from rain or flood events, vandalism, animals, vehicle, or neglect. Typical problems include settlement, sloughing, seepage, and rutting. Equipment, materials, and personnel must be available to perform these repairs on short notice. The immediacy of the repairs will depend upon the nature of the damage and its effects on the safety and operation of the facility. The analysis of damage and the design performance of geotechnical repairs should only be undertaken by qualified personnel.

7.4 Extermination of Mosquitoes

If neglected, a stormwater management facility can readily become an ideal mosquito breeding area. Extermination of mosquitoes will usually require the services of an expert, such as the local Mosquito Extermination Commission. Proper procedures carried out by trained personnel can control the mosquitoes with a minimum of damage or disturbance to the environment. If mosquito control in a facility becomes necessary, the preventative maintenance program should also be re-evaluated, and more emphasis placed on control of mosquito breeding habitats.

7.5 Erosion Repair

Vegetative cover or other protective measures are necessary to prevent the loss of soil from the erosive forces of wind and water. Where a re-seeding program has not been effective in maintaining a non-erosive vegetative cover or other factors have exposed soils to erosion, corrective steps will be initiated to prevent further loss of soil and any subsequent danger to the stability of the facility. Soil loss can be controlled by a variety of materials and methods, including gabion lining, sod, seeding, and re-grading. The local Soil Conservation District can provide valuable assistance in recommending materials and methodologies to control erosion.

7.6 Elimination of Animal Burrows

The landscape stability can be impaired by animal burrows and can also present a safety hazard for maintenance personnel.

Burrows will be plugged by filling with materials like the existing material and capped just below the grade with stone, concrete or other material. If plugging of the burrows does not discourage the animals from returning, further measures shall be taken to either remove the animal population or to make critical area of the facilities unattractive to them.

7.7 Snow and Ice Removal

Accumulations of snow and ice can threaten the functionality of a stormwater management facility, particularly at roof drains and discharge pipes. Structures shall be inspected after major storm events or extended periods of cold weather. Providing the equipment, materials, and personnel necessary to monitor and remove snow and ice from these areas is critical to the continued functioning of the facility during the winter months. Standing water should not be tolerated due to damage caused during the freeze/ thaw cycles.

8.0 AESTHETIC MAINTENANCE PROCEDURES

Aesthetic Maintenance, although not required to keep a stormwater management facility operational, will maintain the visual appeal of a facility and will benefit everyone within the local community. Aesthetic Maintenance can also reduce the amount of required Preventative and Corrective Maintenance. A comparison of Aesthetic and Preventative Maintenance procedures reveals how both can readily be combined into an overall stormwater management facility maintenance program.

8.1 Graffiti Removal

The timely removal of graffiti will restore the aesthetic quality of a stormwater management facility. Removal can be accomplished by painting or otherwise covering the graffiti, or removing it with scrapers, solvents, or cleansers. Timely removal is important to discourage further graffiti and other acts of vandalism.

8.2 Control of Weeds

Although a regular green roof maintenance program will keep weed intrusion to a minimum, some weeds will invariably appear. Periodic removal of unsightly or nuisance plants, either chemically or mechanically, will help maintain a healthy turf and keep green roof areas looking attractive.

8.3 Grass Trimming

Although time consuming, trimming of grass edges around structures shall provide for a neat and attractive appearance of the facility.

8.4 Details

Careful, meticulous, and frequent attention to the performance of maintenance items such as painting, tree pruning, leaf collection, debris removal, and grass cutting will result in a stormwater management facility that remains both functional and attractive.

STORMWATER MANAGEMENT REPORT

HILLTOP VIEW AT ST. JOHNS
118 SUMMIT AVE, JERSEY CITY NJ

Adaptive Reuse and Adjacent New Construction – Historic St. John Church
With 82 Residential Units and Ground Floor Parking
Block 1617, Lots 6A & 6B
Jersey City, New Jersey

August 11, 2020



John C. Inglese, AIA, PE, LEED AP

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Introduction

I. Project Description and Location

The property to be developed is designated as Block 1617, Lots 6A & 6B. The property is not in a tidal flood zone. The proposed scope of work is adaptive reuse and adjacent new construction with 82 residential units and ground floor parking garage. The stormwater management system proposed is sized to accommodate flows from the site for the 2, 10- and 100-year storms events.

II. Existing Site Conditions

The property is located on Summit Ave. in Jersey City, NJ. It is 28,217.72 sq. ft. (0.648-acre) site that is currently partially vacant, with one existing building on site to be renovated. The site topography ranges between 59 ft to 68 ft. The storm water drainage runoff sheet flows in the westward direction towards the Ocean Avenue frontage of the property.

The soil type for this site is classified as Urban land, Till Substratum (URTILB), 0 to 8 percent slopes. The property's Hydrologic soil group type, which is based on the USDA soils data of Hudson County, NJ, is type B soils.

III. Stormwater Management Description

The pre and post development runoff flows were calculated in accordance with the City of Jersey City Stormwater Ordinance and the Stormwater Best Management Practices (BMP). As noted above, the proposed site is 28,217.72 sq. ft. (0.648-acre) and the development exceeds ¼ acre of new impervious coverage. Storm water runoff quality management will be discussed in this report.

Pre& Post Development Quality Control

The purpose of this report is to demonstrate that the design methods used to design and analyze the stormwater management system is accordance to the Stormwater BMP and The City of Jersey City Storm Water Ordinance. The ordinance requires the storm water detention system to be designed based on 2, 10 and 100-year rainstorm events. Additionally, the discharge flow into the city's sewer is prohibited to exceed the allowable flows from the pre-developed conditions. The allowable flows are reduced flows from the pre-developed conditions by factors of 50%, 75% and 80%, respectively. We will compare the proposed development flows with the allowable

predevelopment flows. We further intend to demonstrate that the stormwater contribution of the proposed building development does not negatively impact the storm sewer system.

Pre & Post Development Runoff Conditions

It is the purpose of this report to provide information on the methods and techniques employed in the stormwater management design that demonstrate that the stormwater runoff will not be increased due to the development. The Rational and Modified Methods will be utilized to perform the drainage calculations.

Accordingly, stormwater management analysis in this report consists of:

1. Calculating runoff from the rainfall for 2, 10- and 100-year storm events for the pre and post-development conditions of each drainage area
2. Comparing the results of the pre-developed vs. post-developed conditions to ensure that all stormwater regulations have been met

I. Predevelopment Conditions

The total drainage area for the site is 28,217.72 sq. ft. (0.648-acre) which is currently vacant land. The design parameters for pre-developed condition are as follows:

The rainfall intensities for the 2, 10- and 100-year storm events are 4.3 in/hour, 5.8 in/hour and 8 in/hour, respectively.

Total Site Drainage Area	Existing Area (SF)	Area (ac)	C
<i>Lot</i>	28217.72	0.648	0.59
<i>Building</i>	8777.72	0.202	0.99
<i>Paved</i>	3462.97	0.079	0.95
<i>Landscape</i>	15976.43	0.367	0.30

Total Site Drainage Area	Existing Flows (cfs)	Allowable Flows (cfs)
<i>Q(2 year)</i>	1.656	0.828
<i>Q(10 year)</i>	2.233	1.675
<i>Q(100 year)</i>	3.080	2.464

The stormwater reduction factors for the 2, 10 and 100 years are 50%, 75% and 80%, respectively.

II. Post Development Conditions

The proposed site drainage area is 28,217.72 sq. ft. (0.648-acre) which consists of adaptive reuse and adjacent new construction with 82 residential units and ground floor parking garage. The proposed drainage area will be detained in a non-perforated detention basin, which releases the storm water to the city's sewer system in accordance with the City of Jersey City Storm Water Ordinance and BMP guidelines. See Drainage and Utility Site Plan for exact location of new basins, inlets and manhole. The rainfall intensities for the 2, 10- and 100-year storm events are 4.3 in/hour, 5.8 in/hour and 8.0 in/hour, respectively.

Total Site Drainage Area	Proposed Area (SF)	Area (ac)	C
<i>Lot</i>	28217.12	0.648	0.93
<i>Building</i>	21478.46	0.493	0.99
<i>Paved</i>	4516.79	0.104	0.95
<i>Landscape</i>	2221.87	0.051	0.59

Total Site Drainage Area	Unreduced Proposed Flows (cfs)
<i>Q(2 year)</i>	2.588
<i>Q(10 year)</i>	3.491
<i>Q(100 year)</i>	4.816

III. Basin Discussion and Design

Building: Detention Basin Design

The proposed detention basin has been designed to accept stormwater runoff from the building's roof. Stormwater will be conveyed from the roof drains with leaders at the roof deck to the detention basin. The detention basin is located below the first/ground floor garage level. The detention basin will discharge the stormwater to the manhole on Ocean Avenue. A summary of the required storage, peak inflow and outflow for existing, allowable and proposed conditions, and basin peak elevations will be provided below.

Storm Event (Yr.)	Inflow	Allowable Outflow (cfs)	Unreduced Proposed Outflow (cfs)	Total Inflow Volume (cf)
2	2.04	0.828	2.588	2,058.0
10	2.98	1.675	3.491	2,680.0
100	4.19	2.464	4.816	3,774.0

Storm Event (Yr.)	Allowable outflow (cfs)	Computed Outflow (cfs)	Maximum Pond Storage (cf)	Pond Storage Depth (ft)
2	0.828	0.71	1,275.00	2.37
10	1.675	1.34	1,700.00	2.90
100	2.464	2.33	2,121.00	4.25

As demonstrated above, the post development computed stormwater discharge for all 3 storm events are less than or equal to the allowable discharge rates as regulated by the City of Jersey City Stormwater Ordinance and BMP. The allowable stormwater discharge is a factored existing stormwater discharge as defined in the BMP. As a result, this design satisfies the NJDEP Stormwater Management rules for the stormwater quantity reduction.

The discharge pipe from the outlet structure to the manhole was designed to handle the proposed outflow from the 100-year storm event. A 12" diameter RCP pipe with a 2% slope exceeds the allowable 100-year storm event flow.

IV. Soil Erosion and Sediment Control

To minimize the effects of erosion, the proposed design and construction concepts and practices incorporate the standards for Soil Erosion and Sediment Control in New Jersey as provided by the New Jersey State Soil Conservation Committee. The soil erosion is controlled predominantly by one factor:

- The building occupies 92% of the lot, and the stormwater runoff is collected with roof leaders and inlets and directed to the stormwater storage chambers. The runoff from this area mostly percolate into the ground and the soil erosion is controlled by the landscape.

Other erosion deterrents include but are not limited to the use of silt fence or other sediment barriers around the property. In addition, dust control measures, stone tracking mats, and temporary and permanent vegetative cover will be utilized. General notes and guidelines are provided on the Soil Erosion Plan for the contractor in order to ensure against soil erosion on the site while construction is in progress.

V. Water Quality Treatment

The proposed site development area is 28,217.72 sq. ft. (0.648-acre) and exceeding ¼ acre of new impervious coverage. The building area occupies 92% of the lot and the stormwater is collected with roof drains and directed to the stormwater detention system.

Summary

In conclusion, the stormwater management system for this project has been designed in accordance with the City of Jersey City Storm Water Ordinance and the BMP. This project is not located in the Tidal flood zone. We have demonstrated that our detention basin exceeds the minimum requirements set forth by the City of Jersey City Water Ordinance and the BMP. Furthermore, in our design, we have also demonstrated that the stormwater drainage systems reduce the proposed site drainage impact of the storm water runoff into the city's sewer system.

As a result of these measures, the total developed impact of the proposed storm water drainage system on the city's sewer system is significantly less than the existing storm drainage discharge.

Therefore, it is our professional opinion that the proposed stormwater drainage design has no negative impacts on the existing stormwater system.

APPENDIX

STORMWATER CALCULATION PACKET WITH HYDROGRAPH

National Flood Hazard Layer FIRMette



74°4'19"W 40°43'23"N



0 250 500 1,000 1,500 2,000 1:6,000 Feet

74°3'42"W 40°42'56"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS	Without Base Flood Elevation (BFE) Zone A, V, A99 With BFE or Depth Zone AE, AO, AH, VE, AR Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD	0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X Future Conditions 1% Annual Chance Flood Hazard Zone X Area with Reduced Flood Risk due to Levee, See Notes, Zone X Area with Flood Risk due to Levee Zone D

OTHER AREAS	NO SCREEN Area of Minimal Flood Hazard Zone X Effective LOMRs Area of Undetermined Flood Hazard Zone D
GENERAL STRUCTURES	Channel, Culvert, or Storm Sewer Levee, Dike, or Floodwall

OTHER FEATURES	Cross Sections with 1% Annual Chance Water Surface Elevation Coastal Transect Base Flood Elevation Line (BFE) Limit of Study Jurisdiction Boundary Coastal Transect Baseline Profile Baseline Hydrographic Feature

MAP PANELS	Digital Data Available No Digital Data Available Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

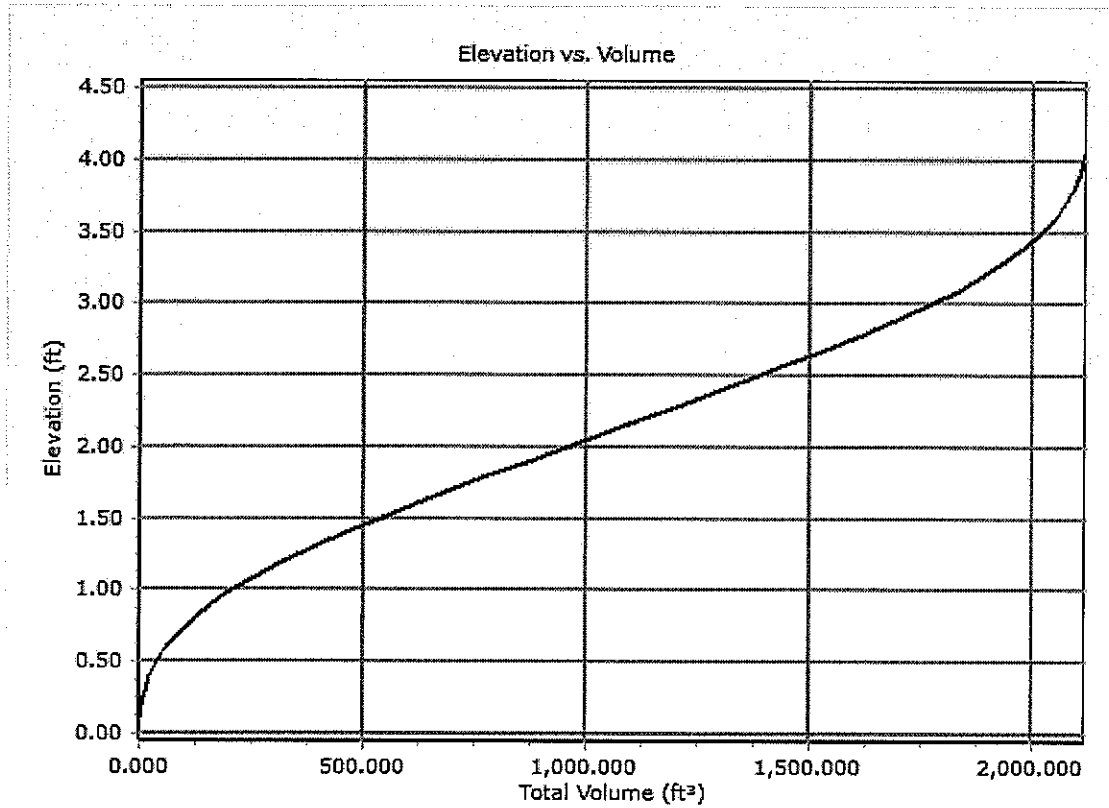
The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 8/11/2020 at 12:34 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.

PondMaker Worksheet Detailed Report: Worksheet (PO-1) - 1

Element Details			
ID	28		
Label	Worksheet (PO-1) - 1		
Select Pond to Design	PO-1		
Flow Allowed Below Target	100.0		
Flow Allowed Above Target	0.0		
Flow Allowed Below Target	100.0		
Flow Allowed Above Target	0.0		
Volume Allowed Below Target	0.0		
Volume Allowed Above Target	0.0		
Tolerance Display	Display numerical values for tolerance fields		
Notes			
Volume			
Pond Type	Pipe	Pipe Storage Number of Barrels	3
Pipe Storage Upstream Invert	1.25 ft	Pipe Storage Slice Width	0.50 ft
Pipe Storage Downstream Invert	0.00 ft	Pipe Storage Vertical Increment	0.10 ft
Pipe Storage Length	100.00 ft	Use Void Space?	False
Pipe Storage Diameter	36.0 in		
Infiltration			
Infiltration Method	No Infiltration		
Output			
Detention Time	None		
Initial Conditions			
Is Outflow Averaging On?	False	Define Starting Water Surface Elevation	Pond Invert

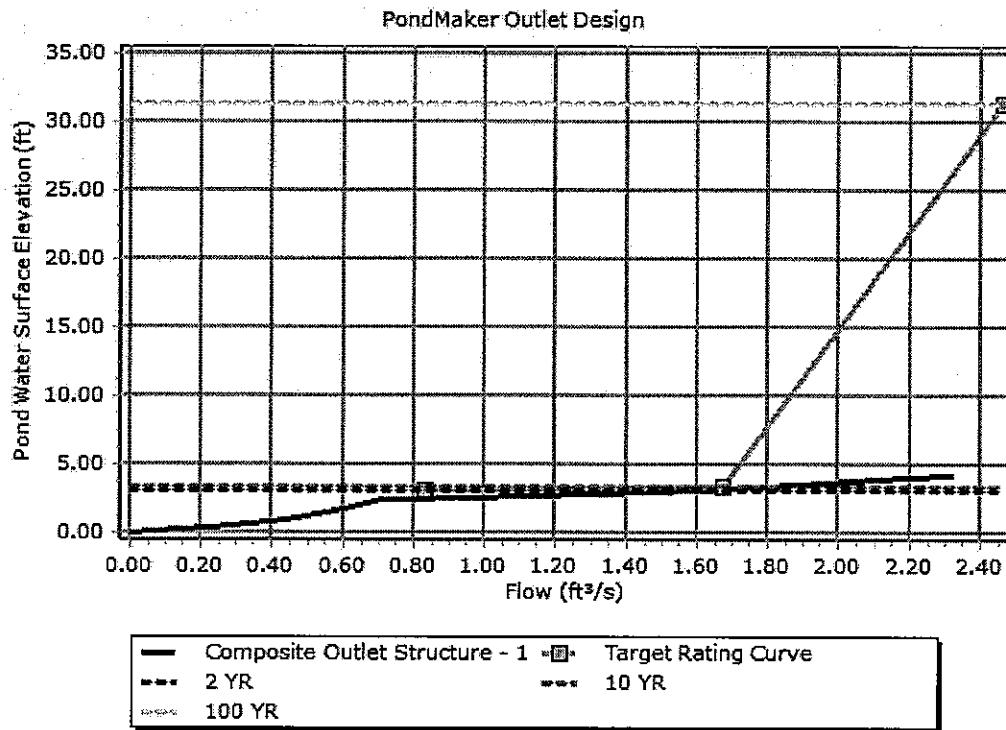
PondMaker Worksheet Detailed Report: Worksheet (PO-1) - 1



PondMaker Worksheet Detailed Report: Worksheet (PO-1) - 1

PondMaker Worksheet (Outlet Design)

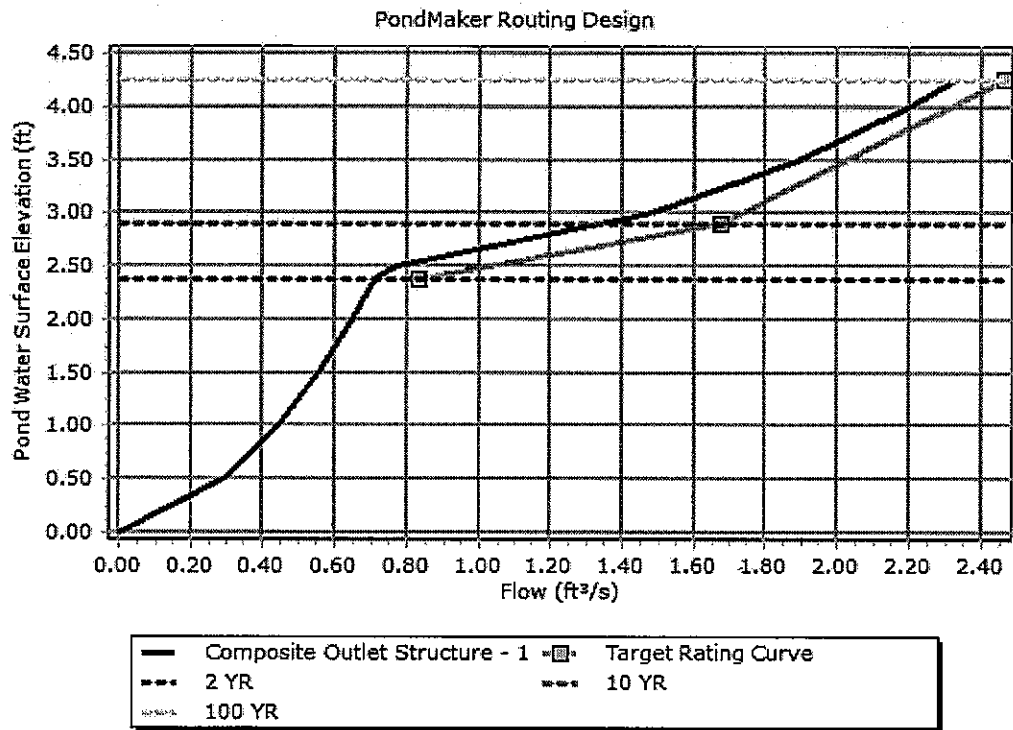
Design Scenario			Design Return Event	Target Peak Outflow (ft ³ /s)	Target Outflow Volume (ft ³)	Peak Pond Inflow (ft ³ /s)	Total Inflow Volume (ft ³)
2 YR			2	0.83	(N/A)	2.04	2,058.000
10 YR			10	1.68	(N/A)	2.98	2,680.000
100 YR			100	2.46	(N/A)	4.19	3,774.000
Estimated Storage (ft ³)	Estimated Max Water Surface Elevation (ft)	Estimated Freeboard Depth (in)	Design Outlet Structure		Estimated Peak Outflow (ft ³ /s)	Estimated Peak Outflow vs. Target (ft ³ /s)	
1,827.756	3.09	13.9	Composite Outlet Structure - 1		3.13	2.30	
1,962.804	3.35	10.7	Composite Outlet Structure - 1		3.51	1.84	
2,666.698	31.41	-325.9	Composite Outlet Structure - 1		33.10	30.63	



PondMaker Worksheet Detailed Report: Worksheet (PO-1) - 1

PondMaker Worksheet (Routing Design)

Design Scenario			Design Return Event	Target Peak Outflow (ft ³ /s)	Computed Peak Outflow (ft ³ /s)	Computed Peak Outflow vs. Target (ft ³ /s)	Target Outflow Volume (ft ³)
2 YR			2	0.83	0.71	-0.12	(N/A)
10 YR			10	1.68	1.34	-0.34	(N/A)
100 YR			100	2.46	2.33	-0.13	(N/A)
Computed Volume Outflow (ft ³)	Computed Outflow Volume vs. Target (ft ³)	Routing Outlet Structure	Computed Max Water Elevation (ft)		Freeboard Depth (ft)	Maximum Storage (ft ³)	
2,057.781	(N/A)	Composite Outlet Structure - 1	2.37		1.88	1,275.000	
2,679.789	(N/A)	Composite Outlet Structure - 1	2.90		1.35	1,700.000	
4,188.743	(N/A)	Composite Outlet Structure - 1	4.25		0.00	2,121.000	





PERMIT SET

[illegible]

HILLTOP VIEW AT ST. JOHN'S
ADAPTIVE REUSE AND ADDITION TO
THE HISTORIC ST. JOHN'S EPISCOPAL CHURCH
118 SUMMIT AVENUE
JERSEY CITY, NJ 07305
BLOCK: 15305 // LOT: 6A

OFFICE:	GAZARD STATE EMPLOYMENT COMMUNITY DEVELOPMENT CORP. 114 DOWNEY AVE. ATLANTA, GEORGIA 30303	DATE: 01/27/2017
TO:	ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED DATE 01/27/2017 BY 60322 UCBAW	FILE NO: 15-00000

—

PROJECT NO.	15-22
SHEET TITLE:	GRADING, DRAINAGE & UTILITY SITE PLAN

SHEET: C-130

0	1	2	3	4	5	6	7	8	9	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	[\] ^ _ ` { } ~ ? @ A B C D E F G H I J K L M N O P Q R S T U V W X Y Z [\] ^ _ { } ~ ? @
0	1	2	3	4	5	6	7	8	9	A	B	C	D	E	F	G	H	I	J	K	L	M	N	O	P	Q	R	S	T	U	V	W	X	Y	Z	[\] ^ _ { } ~ ? @

TRAINING, FEEDBACK & LIAISON PLAN NOTES

1. The purpose of this plan is to ensure that all personnel involved in the training of new recruits are aware of their responsibilities and the standards required for successful completion of the course.
2. This plan will outline the training objectives, the methods of instruction, the assessment procedures, and the liaison arrangements between the training staff and the recruits.
3. The training objectives are to ensure that all recruits are able to perform the tasks required of them in the field, and to ensure that they are able to work as part of a team.
4. The methods of instruction will include a combination of theoretical and practical training, and will be tailored to the needs of the individual recruit.
5. The assessment procedures will be designed to measure the progress of the recruits, and to ensure that they are able to perform the tasks required of them in the field.
6. The liaison arrangements will ensure that the training staff are able to provide the recruits with the support and guidance they need throughout the course.
7. This plan will be reviewed regularly to ensure that it remains up-to-date and effective.
8. The training staff will be responsible for the implementation of this plan, and will be required to provide regular reports on the progress of the training.
9. The recruits will be responsible for their own learning, and will be required to attend all training sessions and to complete all assignments.
10. The training staff will be responsible for the provision of feedback to the recruits, and will be required to provide regular reports on the progress of the training.
11. The recruits will be responsible for their own learning, and will be required to attend all training sessions and to complete all assignments.
12. The training staff will be responsible for the provision of feedback to the recruits, and will be required to provide regular reports on the progress of the training.
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15. The recruits will be responsible for their own learning, and will be required to attend all training sessions and to complete all assignments.
16. The training staff will be responsible for the provision of feedback to the recruits, and will be required to provide regular reports on the progress of the training.
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19. The recruits will be responsible for their own learning, and will be required to attend all training sessions and to complete all assignments.
20. The training staff will be responsible for the provision of feedback to the recruits, and will be required to provide regular reports on the progress of the training.

GENERAL NOTE

[illegible]

1. NAME OF THE VESSEL 2. NAME OF THE CAPTAIN 3. NAME OF THE MASTER 4. NAME OF THE FIRST OFFICER 5. NAME OF THE SECOND OFFICER 6. NAME OF THE THIRD OFFICER 7. NAME OF THE FOURTH OFFICER 8. NAME OF THE FIFTH OFFICER 9. NAME OF THE SIXTH OFFICER 10. NAME OF THE SEVENTH OFFICER 11. NAME OF THE EIGHTH OFFICER 12. NAME OF THE NINTH OFFICER 13. NAME OF THE TENTH OFFICER 14. NAME OF THE ELEVENTH OFFICER 15. NAME OF THE TWELFTH OFFICER 16. NAME OF THE THIRTEENTH OFFICER 17. NAME OF THE FOURTEENTH OFFICER 18. NAME OF THE FIFTEENTH OFFICER 19. NAME OF THE SIXTEENTH OFFICER 20. NAME OF THE SEVENTEENTH OFFICER 21. NAME OF THE EIGHTEENTH OFFICER 22. NAME OF THE NINETEENTH OFFICER 23. NAME OF THE TWENTIETH OFFICER 24. NAME OF THE TWENTY-FIRST OFFICER 25. NAME OF THE TWENTY-SECOND OFFICER 26. NAME OF THE TWENTY-THIRD OFFICER 27. NAME OF THE TWENTY-FOURTH OFFICER 28. NAME OF THE TWENTY-FIFTH OFFICER 29. NAME OF THE TWENTY-SIXTH OFFICER 30. NAME OF THE TWENTY-SEVENTH OFFICER 31. NAME OF THE TWENTY-EIGHTH OFFICER 32. NAME OF THE TWENTY-NINTH OFFICER 33. NAME OF THE THIRTIETH OFFICER 34. NAME OF THE THIRTY-FIRST OFFICER 35. NAME OF THE THIRTY-SECOND OFFICER 36. NAME OF THE THIRTY-THIRD OFFICER 37. NAME OF THE THIRTY-FOURTH OFFICER 38. NAME OF THE THIRTY-FIFTH OFFICER 39. NAME OF THE THIRTY-SIXTH OFFICER 40. NAME OF THE THIRTY-SEVENTH OFFICER 41. NAME OF THE THIRTY-EIGHTH OFFICER 42. NAME OF THE THIRTY-NINTH OFFICER 43. NAME OF THE FORTIETH OFFICER 44. NAME OF THE FORTY-FIRST OFFICER 45. NAME OF THE FORTY-SECOND OFFICER 46. NAME OF THE FORTY-THIRD OFFICER 47. NAME OF THE FORTY-FOURTH OFFICER 48. NAME OF THE FORTY-FIFTH OFFICER 49. NAME OF THE FORTY-SIXTH OFFICER 50. NAME OF THE FORTY-SEVENTH OFFICER 51. NAME OF THE FORTY-EIGHTH OFFICER 52. NAME OF THE FORTY-NINTH OFFICER 53. NAME OF THE FIFTIETH OFFICER 54. NAME OF THE FIFTY-FIRST OFFICER 55. NAME OF THE FIFTY-SECOND OFFICER 56. NAME OF THE FIFTY-THIRD OFFICER 57. NAME OF THE FIFTY-FOURTH OFFICER 58. NAME OF THE FIFTY-FIFTH OFFICER 59. NAME OF THE FIFTY-SIXTH OFFICER 60. NAME OF THE FIFTY-SEVENTH OFFICER 61. NAME OF THE FIFTY-EIGHTH OFFICER 62. NAME OF THE FIFTY-NINTH OFFICER 63. NAME OF THE SIXTIETH OFFICER 64. NAME OF THE SIXTY-FIRST OFFICER 65. NAME OF THE SIXTY-SECOND OFFICER 66. NAME OF THE SIXTY-THIRD OFFICER 67. NAME OF THE SIXTY-FOURTH OFFICER 68. NAME OF THE SIXTY-FIFTH OFFICER 69. NAME OF THE SIXTY-SIXTH OFFICER 70. NAME OF THE SIXTY-SEVENTH OFFICER 71. NAME OF THE SIXTY-EIGHTH OFFICER 72. NAME OF THE SIXTY-NINTH OFFICER 73. NAME OF THE SEVENTIETH OFFICER 74. NAME OF THE SEVENTY-FIRST OFFICER 75. NAME OF THE SEVENTY-SECOND OFFICER 76. NAME OF THE SEVENTY-THIRD OFFICER 77. NAME OF THE SEVENTY-FOURTH OFFICER 78. NAME OF THE SEVENTY-FIFTH OFFICER 79. NAME OF THE SEVENTY-SIXTH OFFICER 80. NAME OF THE SEVENTY-SEVENTH OFFICER 81. NAME OF THE SEVENTY-EIGHTH OFFICER 82. NAME OF THE SEVENTY-NINTH OFFICER 83. NAME OF THE EIGHTIETH OFFICER 84. NAME OF THE EIGHTY-FIRST OFFICER 85. 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NAME OF THE HUNDRETH AND EIGHTY-FOURTH OFFICER 188. NAME OF THE HUNDRETH AND EIGHTY-FIFTH OFFICER 189. NAME OF THE HUNDRE	
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